

DOC # 3778476

07/06/2009 03:50:36 PM

Requested By  
KILEY RANCH COMMUNITIES  
Washoe County Recorder  
Kathryn L. Burke - Recorder  
Fee: \$286.00 RPTT: \$0.00  
Page 1 of 248

APN: (Not required  
Per NRS 111.312.1)

When recorded, mail to  
Cityworks: Planning Department  
1675 East Prater Way, Suite 107  
Sparks, NV 89434



(Space above for recorder's use only)

**NOTICE OF ADOPTION OF DEVELOPMENT PLAN**  
(NRS Chapter 278A)

**Name of Development:** Kiley Ranch North, Phase 5  
**Name of Plan:** Kiley Ranch North, Phase 5, Development Handbook  
**City No.** PCN09003  
**Date of Approval:** March 23, 2009

NOTICE IS HEREBY GIVEN that on the above indicated date, the City Council of the City of Sparks, Nevada, gave final approval to the above described plan as the development plan for the above named development to include current Title 20 at the time of recording, whose legal description is attached as Exhibit A.

Pursuant to NRS 278A.570 (2) after this plan is recorded, all zoning and subdivision regulations applicable to the property described in Exhibit A cease to apply and are replaced with the plan attached as Exhibit B hereto.

Dated this 24<sup>th</sup> day of June, 2009

City of Sparks, Nevada

By Linda K. Patterson  
Linda K. Patterson  
City Clerk



State of Nevada )  
 ) Acknowledgement in representative capacity  
County of Washoe ) (NRS 240.1665)

This instrument was acknowledged before me on June 24, 2009  
By LINDA K. PATTERSON as the City Clerk of Sparks, Nevada



Carrie Brooks  
Notary Public

Table of Approvals and Amendments

City File #	Item Approved	Approval Date	Recorded in Official Records of Washoe County
PCN09003	Final Approval of Kiley Ranch North Phase 5 Handbook	03-23-09	

**EXHIBIT "A"**  
**LEGAL DESCRIPTION**

All that certain real property situate in a portion of Section Ten (10), Township Twenty (20) North, Range Twenty (20) East, Mount Diablo Meridian, City of Sparks and Washoe County, Nevada, being a portion of Parcel A of Parcel Map No. 4825, recorded August 31, 2007 as File No. 3571960, a portion of Parcel E-4 of Record of Survey No. 4844, recorded January 18, 2007 as File No. 3487939 and a portion of Parcels T1 and T3 of Parcel Map No. 4923, recorded June 25, 2008 as File No. 3663345, all in the Official Records of Washoe County, Nevada, more particularly described as follows:

**BEGINNING** at the northwest corner of said Parcel A of said Parcel Map No. 4825, marked by a 5/8" rebar and cap stamped PLS 17098, said corner also being on the easterly right-of-way of Pyramid Way;

**THENCE** departing said easterly right-of-way, South 48°26'18" East a distance of 1539.87 feet;

**THENCE** South 88°05'38" East a distance of 688.70 feet;

**THENCE** South 01°31'22" West a distance of 7.39 feet to the beginning of a tangent curve;

**THENCE** 274.05 feet along the arc of a 600.00 foot radius curve to the left through a central angle of 26°10'11" to the beginning of a reverse curve;

**THENCE** 561.23 feet along the arc of a 1000.00 foot radius curve to the right through a central angle of 32°09'22";

**THENCE** South 82°29'27" East a distance of 51.00 feet to the beginning of a non-tangent curve;

**THENCE** from a radial line which bears North 82°29'27" West, 11.74 feet along the arc of a 1051.00 foot radius curve to the right through a central angle of 00°38'25" to the beginning of a reverse curve;

**THENCE** 67.49 feet along the arc of a 73.00 foot radius curve to the left through a central angle of 52°58'02";

**THENCE** South 44°49'04" East a distance of 56.43 feet to the beginning of a tangent curve;

**THENCE** 36.17 feet along the arc of a 73.00 foot radius curve to the left through a central angle of 28°23'21" to the beginning of a compound curve;

**THENCE** 80.89 feet along the arc of a 1908.00 foot radius curve to the left through a central angle of 02°25'45";

**THENCE** South 14°21'50" West a distance of 124.00 feet to the beginning of a non-tangent curve;

**THENCE** from a radial line which bears South 14°21'50" West, 164.70 feet along the arc of a 373.00 foot radius curve to the left through a central angle of 25°17'56" to the beginning of a compound curve;

**THENCE** 85.51 feet along the arc of a tangent 63.00 foot radius curve to the left through a central angle of 77°46'08" to the beginning of a reverse curve;

**THENCE** 92.38 feet along the arc of a 475.00 foot radius curve to the right through a central angle of 11°08'36";

**EXHIBIT "A"**  
**LEGAL DESCRIPTION**  
**(CONTINUED)**

**THENCE** South 12°26'22" West a distance of 161.14 feet to the beginning of a tangent curve;

**THENCE** 263.70 feet along the arc of a 2949.00 foot radius curve to the left through a central angle of 05°07'24" to the beginning of a reverse curve;

**THENCE** 313.34 feet along the arc of a 3051.00 foot radius curve to the right through a central angle of 05°53'04";

**THENCE** South 13°12'02" West a distance of 184.66 feet to the beginning of a tangent curve;

**THENCE** 75.14 feet along the arc of a 1051.00 foot radius curve to the right through a central angle of 04°05'47";

**THENCE** South 17°17'49" West a distance of 303.71 feet;

**THENCE** North 72°42'11" West a distance of 102.00 feet to the beginning of a non-tangent curve;

**THENCE** from a radial line which bears North 72°42'11" West, 47.12 feet along the arc of a 30.00 foot radius curve to the left through a central angle of 90°00'00";

**THENCE** North 72°42'11" West a distance of 134.81 feet to the beginning of a tangent curve;

**THENCE** 283.79 feet along the arc of a 956.00 foot radius curve to the left through a central angle of 17°00'29";

**THENCE** North 89°42'40" West a distance of 290.35 feet to the beginning of a tangent curve;

**THENCE** 299.01 feet along the arc of a 744.00 foot radius curve to the right through a central angle of 23°01'38";

**THENCE** North 66°41'02" West a distance of 133.18 feet to the beginning of a tangent curve;

**THENCE** 19.08 feet along the arc of a 273.00 foot radius curve to the left through a central angle of 04°00'15";

**THENCE** North 70°41'17" West a distance of 82.17 feet to the beginning of a tangent curve;

**THENCE** 17.05 feet along the arc of a 244.00 foot radius curve to the right through a central angle of 04°00'15";

**THENCE** North 66°41'02" West a distance of 3.01 feet to the beginning of a tangent curve;

**THENCE** 176.97 feet along the arc of a 373.00 foot radius curve to the left through a central angle of 27°11'00" to the beginning of a compound curve;

**THENCE** 91.53 feet along the arc of a 73.00 foot radius curve to the left through a central angle of 71°50'22";

**THENCE** North 75°42'24" West a distance of 99.00 feet to the beginning of a non-tangent curve;

**THENCE** from a radial line which bears North 75°42'24" West, 146.80 feet along the arc of a 398.00 foot radius curve to the left through a central angle of 21°08'04" to the beginning of a reverse curve;

**EXHIBIT "A"**  
**LEGAL DESCRIPTION**  
**(CONTINUED)**

**THENCE** 139.88 feet along the arc of a 98.00 foot radius curve to the right through a central angle of 81°46'51" to the beginning of a reverse curve;  
**THENCE** 103.88 feet along the arc of a 98.00 foot radius curve to the left through a central angle of 60°43'51" to the beginning of a reverse curve;  
**THENCE** 75.02 feet along the arc of a 472.00 foot radius curve to the right through a central angle of 09°06'26";  
**THENCE** North 23°18'58" East a distance of 229.91 feet to the beginning of a tangent curve;  
**THENCE** 312.86 feet along the arc of a 989.00 foot radius curve to the left through a central angle of 18°07'30";  
**THENCE** North 05°11'28" East a distance of 105.13 feet to the beginning of a tangent curve;  
**THENCE** 178.06 feet along the arc of a tangent 118.00 foot radius curve to the left through a central angle of 86°27'28" to the beginning of a reverse curve;  
**THENCE** 508.37 feet along the arc of a 1999.00 foot radius curve to the right through a central angle of 14°34'16";  
**THENCE** North 66°41'44" West a distance of 457.44 feet to the beginning of a tangent curve;  
**THENCE** 125.65 feet along the arc of a 80.00 foot radius curve to the left through a central angle of 89°59'26";  
**THENCE** South 23°18'50" West a distance of 5.00 feet;  
**THENCE** North 66°41'10" West a distance of 15.00 feet to a point on the easterly right-of-way of said Pyramid Way;  
**THENCE** along said easterly right-of-way, North 23°18'50" East a distance of 1617.52 feet to the beginning of a non-tangent curve;  
**THENCE** continuing along said easterly right-of-way from a radial line which bears South 67°24'58" East, 385.12 feet along the arc of a 4930.00 foot radius curve to the right through a central angle of 04°28'33" to the **POINT OF BEGINNING**;

**Containing** 130.02 acres of land, more or less.

**NOTE:** This legal description is provided as a convenience and is not intended for the purpose of subdividing or conveying land not in conformance with Nevada Revised Statutes.

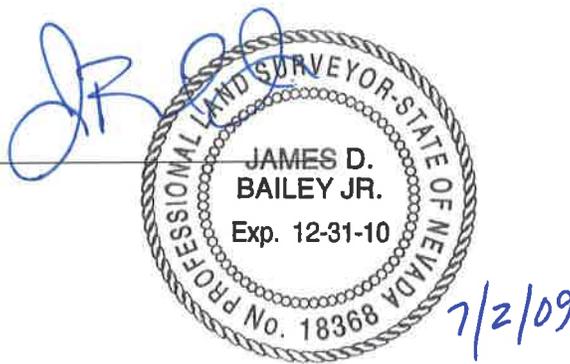
The basis of bearings for this description is identical to that of Parcel Map No. 4825 Recorded August 31, 2007 as File No. 3571960, Official Records of Washoe County, Nevada.

**EXHIBIT "A"**  
**LEGAL DESCRIPTION**  
**(CONTINUED)**

*See Exhibit "B", plat to accompany legal description, attached hereto and made a part hereof:*

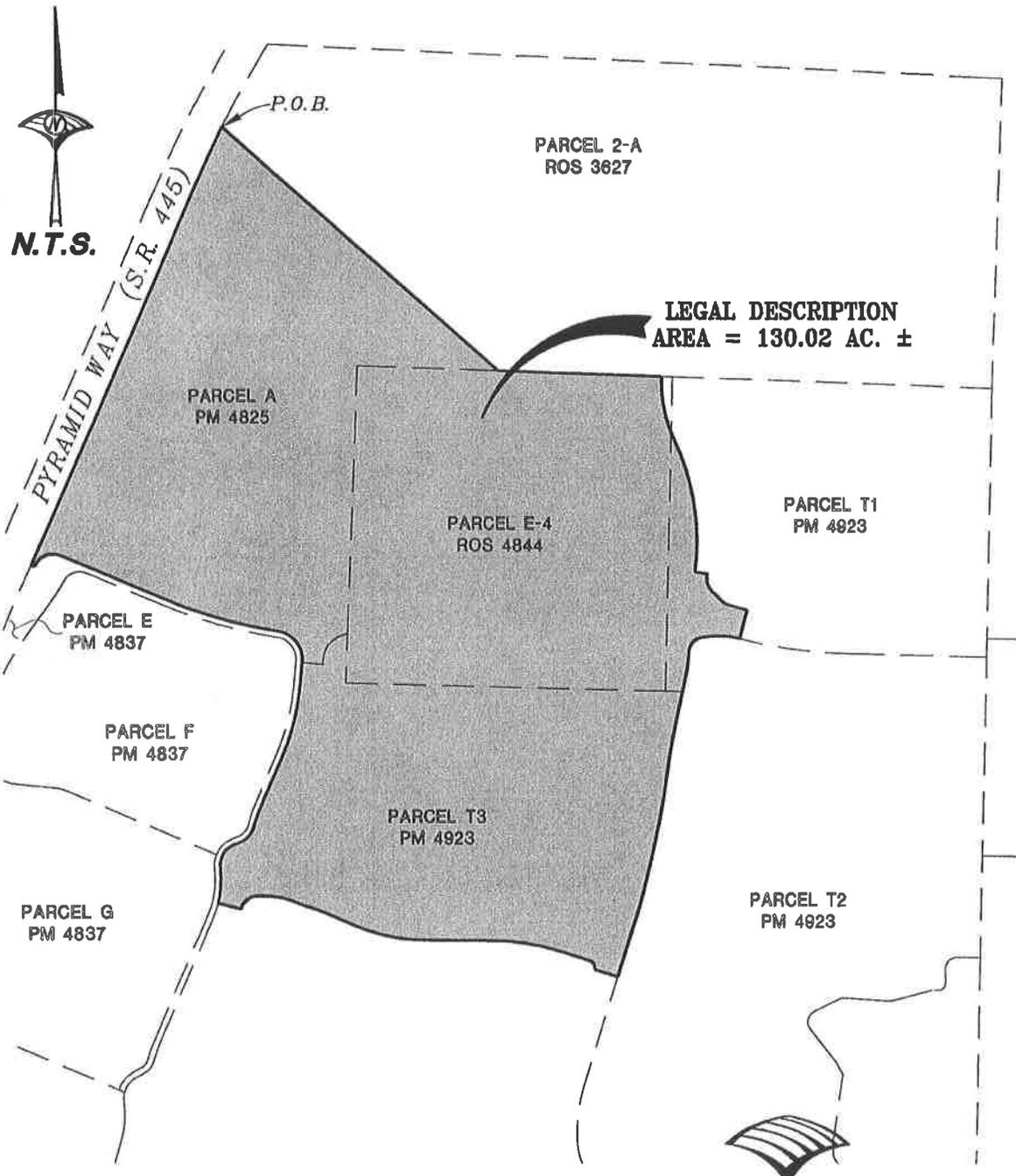
Prepared by:  
Western Nevada Survey and Mapping, L.L.C.  
8725 Technology Way, Suite "C"  
Reno, NV 89521

James D. Bailey,  
P.L.S. 18368



**EXHIBIT "B"**  
PLAT TO ACCOMPANY  
DESCRIPTION

PORTION OF SECTION 10  
T. 20 N., R. 20 E., M.D.M  
SPARKS WASHOE COUNTY NEVADA



**WOOD RODGERS**  
ENGINEERING • MAPPING • PLANNING • SURVEYING

575 Double Eagle Court Tel 775.823.4068  
Reno, NV 89521 Fax 775.823.4066

# Kiley Ranch North Phase Five Final Development Handbook

Adopted:  
March 23, 2009

City of Sparks, Nevada

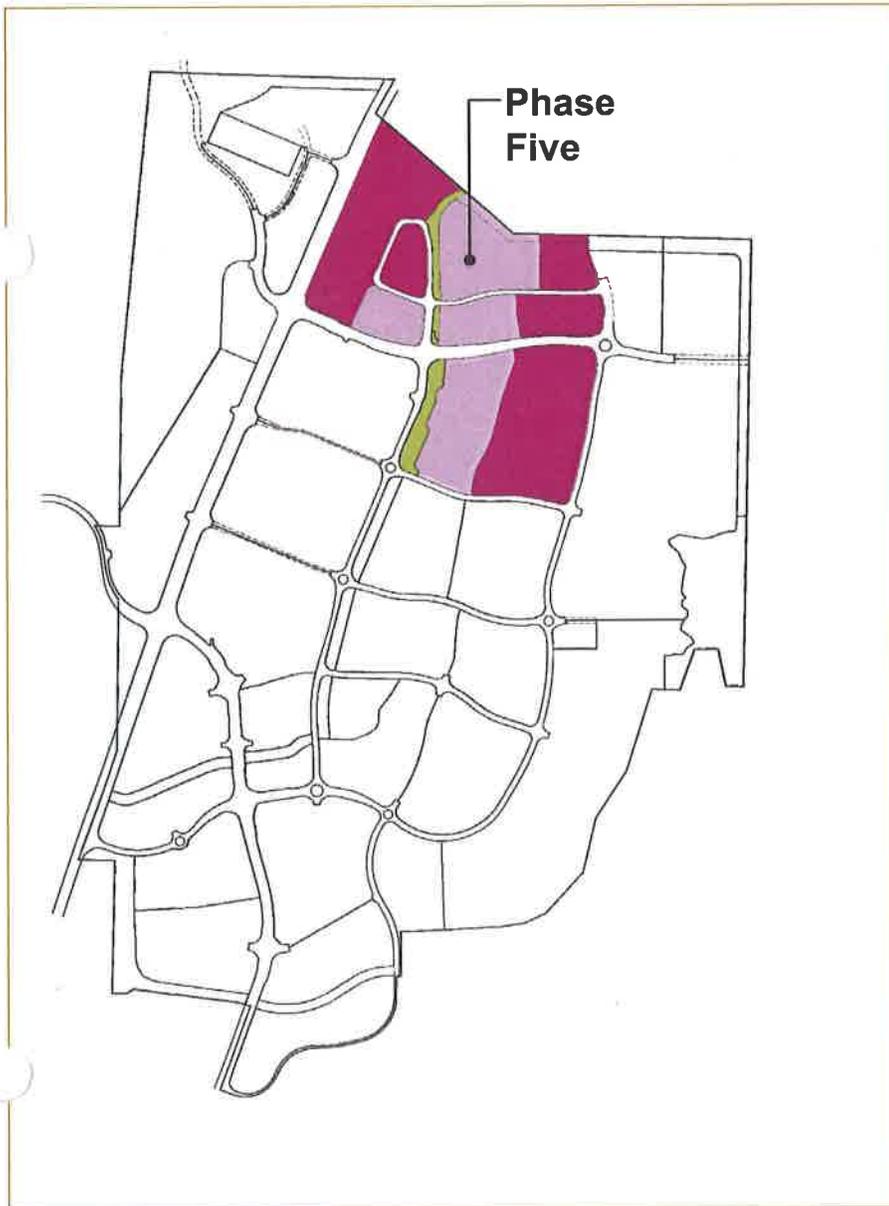


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## 1 INTRODUCTION AND IMPLEMENTATION

### 1.1 PURPOSE

The purpose of this Development Handbook is to provide for the orderly development of Kiley Ranch North as envisioned, while assuring that the stated desired level of quality is achieved. Since implementation of public and private improvements will occur in multiple phases, over many years, the standards and guidelines contained herein establish a common framework to guide individual improvement plans. The development of the property is controlled and restricted by these development requirements as well as by all applicable government codes and regulations. The Kiley Ranch North Design Review Committee (DRC) and the City of Sparks shall enforce all provisions and standards including the graphic and textual elements of this Development Handbook. This Development Handbook is not intended to limit creativity or prevent variation necessary to respond to unique site conditions, but rather to generate consistency and quality throughout Kiley Ranch North.

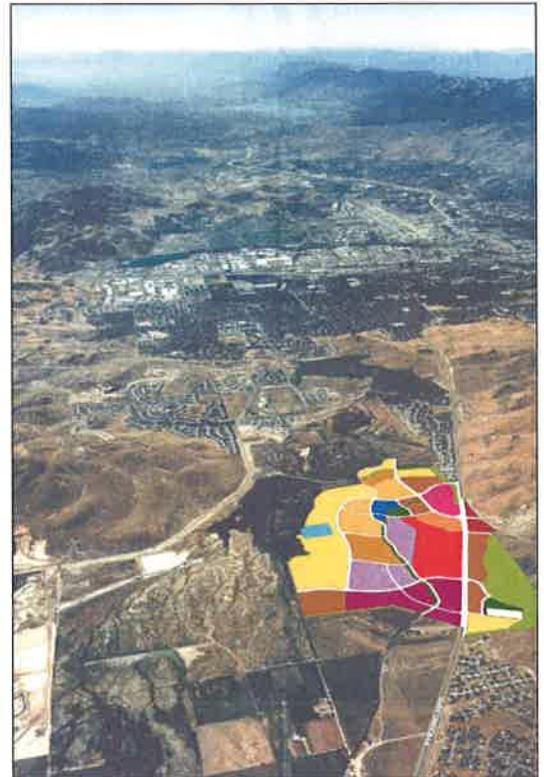
Improvement of public areas within Kiley Ranch North will be the responsibility of individual developers and/or the landowner unless assigned by agreement to other public or private parties. All improvements shall be designed consistent with these standards and guidelines. Maintenance of public areas within Kiley Ranch North, including streets, parks, community gateways and landscape development zones (LDZ) will be the responsibility of the Kiley Ranch North Landscape and Lighting District (LLD), the Kiley Ranch North Maintenance Corporation (MC) or the City of Sparks unless assigned by agreement to other public or private parties. Specific responsibilities for the improvement and maintenance of these areas are further addressed in Chapters Two and Three of this Development Handbook.

### 1.2 COMMUNITY VISION

Kiley Ranch North borrows from the traditional and timeless American community of tree-lined neighborhoods, town greens and “Main Street” shops tied together by a system of pedestrian and bicycle paths and further complemented with an abundance of local jobs. It is the combination of modern design and connectivity with the values and look of a simpler era.

Kiley Ranch North includes three activity centers that focus on providing employment opportunities, commercial retail and public gathering places. They are the Business Park, Marketplace and Town Center (Refer to Exhibit 1-5, Community Activity Centers). Surrounding the activity centers are several residential neighborhoods of varying densities. Linking the activity centers to the residential neighborhoods are the Orr Ditch Linear Park and an elaborate system of pedestrian and bicycle paths and trails.

**The Kiley Ranch North mission is to create a thoughtfully planned community that contains a harmonious balance of residential, recreational, and economic uses and provides high quality design standards and amenities for a rich and satisfying life style.**





The Kiley Ranch North Business Park will be an ideal location for corporate headquarters and offices.



The Kiley Ranch North Town Center will include parks, plazas and housing with a traditional American "Main Street" atmosphere.



Kiley Ranch North will offer diverse housing options set within pedestrian friendly neighborhoods.



The Orr Ditch Linear Park is the "spine" of an extensive interconnected trails system.

The Kiley Ranch North Business Park will offer a diverse jobs base ranging from corporate offices to light industrial, cottage industries to mom and pop family businesses. The Business Park will incorporate modern architecture styles in contrast with the Arts and Crafts vernacular used in other areas of Kiley Ranch North. However, it will be a place of charismatic structures featuring relaxing plazas and outdoor seating.

The Kiley Ranch North Marketplace provides the community with an array of commercial services including national retail stores, grocery markets, restaurants, and local shops and boutiques. Strategically located along Pyramid Way between Lazy Five Parkway and Sparks Boulevard, the Marketplace is the visitors' first window into the community and will set the tone for the rest of Kiley Ranch. Taking its design cue from the residential neighborhoods, the Marketplace will incorporate the Craftsman and Farmhouse architectural styles into its quality design.

The Kiley Ranch North Town Center will be the focal point of the community and serve as its entertainment hub offering residents a "turn-of-the-century" Main Street atmosphere. The Town Center will feature restaurants, coffee houses, bookstores, movie theatres, and professional offices situated along a promenade of classic two to three story buildings fronting a tree-lined main street. Residents and visitors alike will be able to dine at sidewalk cafes in the cool evenings of summer and watch ice skaters dance around an outdoor ice-skating rink during the winter months. The architectural theme will incorporate elements of the traditional American "Main Street" with specific attention given to ornate details and natural materials in order to recall the craftsmanship and styles of the early 19th Century.

The residential neighborhoods of Kiley Ranch North will evoke the charming and classic neighborhoods of the American past with Craftsman, Farmhouse and Victorian homes featuring front porches, situated along tree-lined streets. The pedestrian-friendly neighborhoods, with pocket parks and trails, will inspire community interaction and involvement. Couples taking evening walks, children walking dogs and families gathering at pocket parks will be a common sight in Kiley Ranch North.

Complementing the activity centers and neighborhoods is the Orr Ditch Linear Park and Kiley Ranch Common. Located in the Kiley Ranch North Town Center area, the Kiley Ranch Common is a neighborhood park featuring opportunities for sports and recreation. Furthermore, an extensive network of trails and sidewalks are located throughout the community, providing non-vehicular connectivity to the various internal and regional components of the area. Landscaping of these areas will be designed to accentuate the community's charm and incorporate the style of the Kiley Ranch homestead which is located within the neighborhood park. Throughout Kiley Ranch North, public right-of-ways will be landscaped to provide a feeling of openness and recall the region's pastoral environment. The intent is to establish a "sense of place" where residents can arrive home and feel the embrace of community pride.

## 1.2.1 Guiding Principles

Kiley Ranch North is planned to become an emerging regional commercial and employment business center, situated at a strategic location within the City of Sparks' Northern Sparks Sphere of Influence (NSSOI) Master Plan area. The Vision for the project is to create a place that is identifiably unique and regionally serving, an intensely suburban core harmoniously balanced with community activity amenities, employment, housing, recreation, and commercial uses. From this Vision, five Guiding Principles have been established to guide the development, growth and design of Kiley Ranch North. Each principle serves as a foundation for the Vision that will create a desirable and successful community.

1. Efficient Land Use Patterns.
2. Economic Sustainability.
3. A Distinct Sense of Place with People Gathering Places Built-in and Walkability.
4. Neighborhood Diversity: A New Urbanism/Suburban Eclectic.
5. Environmental Responsibility.

### 1.2.1.1 Efficient Land Use Pattern

The integration and concentration of a variety of land uses creates a village structure within the greater community. This mixture of uses at varying levels of compatible densities and intensities creates a synergy that attracts residents, business and visitors. It also supports walkability within the community to commercial, recreational, employment, and public activities. Additionally, it also minimizes the consumption of land associated with traditional suburban development by encouraging and creating a more compact development pattern that is efficient for infrastructure, public services and maintenance.

### 1.2.1.2 Economic Sustainability

Kiley Ranch North encourages a live-work community by providing the land uses to support a jobs/housing balance within the development and marketing its resources intelligently by drawing reputable corporations, new and expanding firms, and identifying "target" industries that seek a prominent, quality business center development. By providing diverse choices in housing, commercial activity and recreational amenities, the quality and character of the development creates a thriving, self-sustaining and attractive community accessible to a wide range of residents and employers.

### 1.2.1.3 Sense of Place, People Gathering Places and Walkability

Place-making is one of the key components in creating a vibrant and balanced community. A sense of place is fostered within Kiley Ranch North by creating human-scale environments in which the individual can feel both comfortable and safe. The Kiley Ranch North Master Plan organizes movement by providing connectivity between various activity centers. Integration of people gathering places that contain aesthetically pleasing and attractive amenities help promote social interaction and walkability within the community.



Kiley Ranch North is ideally located and positioned to be a self sufficient community providing a regional commercial, business and employment center in concert with the City of Sparks vision for Kiley Ranch.



The variety of land uses within Kiley Ranch North promotes a vibrant community that attracts residents, business and visitors alike.



Kiley Ranch North aims to increase the economic base of the City of Sparks by targeting business and industry to locate within the development.



Kiley Ranch North fosters community interaction and pride by providing places for recreation and people gathering.



Kiley Ranch North provides an array of housing types from single family homes to apartments, all conforming to the community theme and meeting the quality required within the development.

### 1.2.1.4 Neighborhood Diversity: A New Urbanism/ Suburban Eclectic

Kiley Ranch North provides for neighborhood diversity by allowing innovative residential dwelling design to support specific human interests and niches of different lifestyle and life stages. The variety of land uses create a wide-ranging palette of housing styles that encourage creativity through controlled flexibility. The densities of these neighborhoods support surrounding business and commercial centers while adding to the vitality of the community. Furthermore, this diversity breaks up the monotony of traditional residential development by reinforcing the dynamics of character and identity within each of the neighborhoods.

### 1.2.1.5 Environmental Responsibility

Environmentally responsible planning and design includes improving design and construction practices so that the roads, parks, and buildings we build today will last longer, cost less to maintain and don't pose any health risks for employees and residents. It is also about protecting our precious natural resources. Kiley Ranch North aims to be a resource efficient and environmentally sensitive master planned community – unlike any other in Northern Nevada. This will be accomplished through thoughtful and rigorous master planning and adherence to low impact and environmental design guidelines.

### 1.2.2 Implementing the Vision

The vision for Kiley Ranch North will be carried out through the guidance provided by these five overarching principles. Its visual identity will be further defined and coordinated by the streetscape and landscape themes described in this handbook. Innovative use of materials, methods of construction and site planning proposed herein will also ensure the quality and character of the community as it develops over time. This Development Handbook will be used by the City of Sparks and the DRC as a guide for reviewing individual projects within Kiley Ranch North.

### 1.3 PROJECT DESCRIPTION

Kiley Ranch North is located within the Spanish Springs Valley (Refer to Exhibit 1-1, Regional Location Map). The conceptual master plan for the ranch property was approved by the City of Sparks and included in the adopted City of Sparks Sphere of Influence Plan (Refer to Exhibit 1-2, Northern Sparks Sphere of Influence Master Plan). The southern 743 acres of the ranch, known as the Southern Development Division, was annexed to the City of Sparks and is guided by a separate Development Design Handbook. The Southern Development Division of the ranch is comprised of multi-family, single family and commercial land uses.

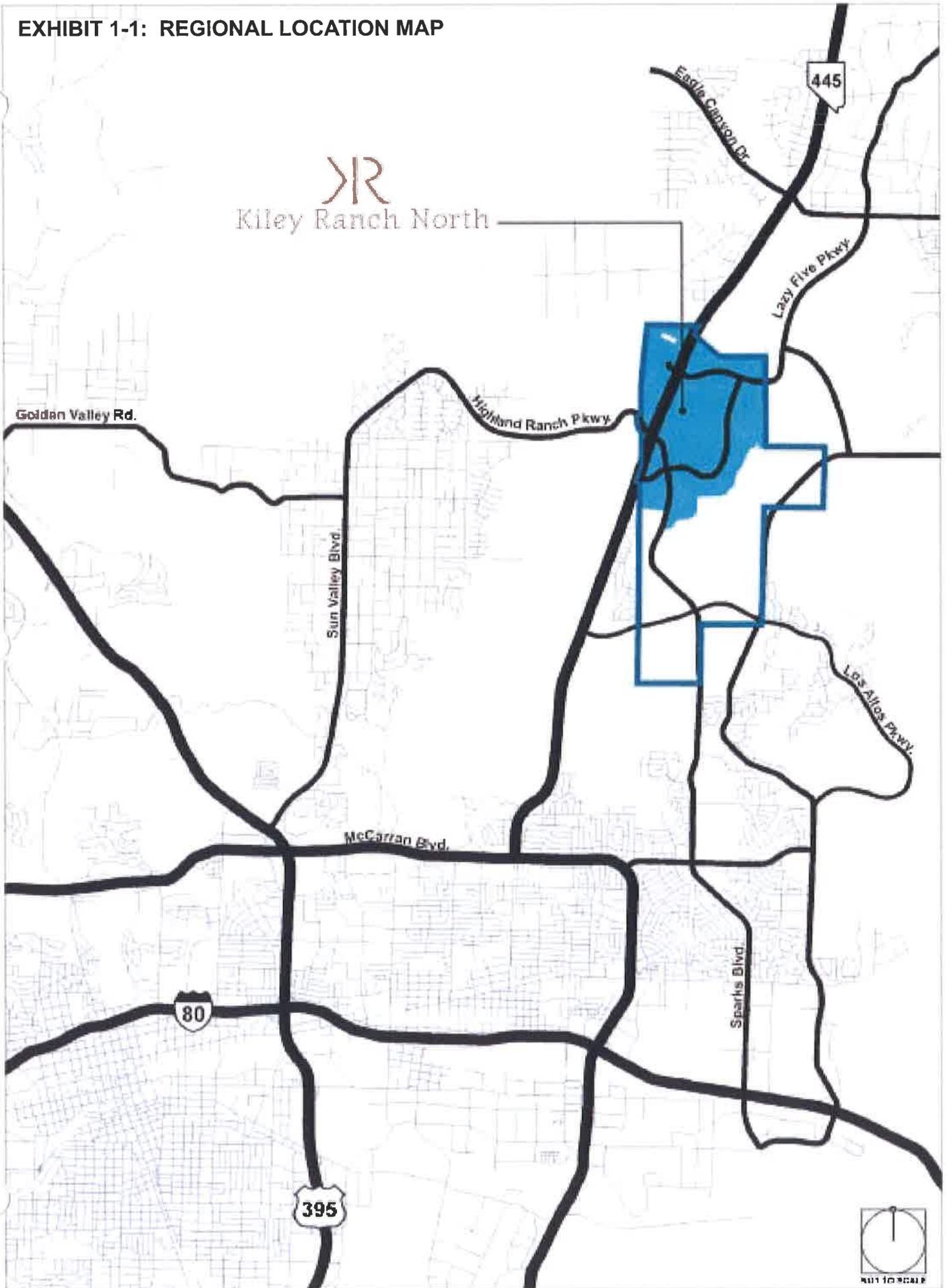
The Northern Development Division, herein referred to as Kiley Ranch North, is comprised of approximately 840.11 acres. However 31.71 acres, comprised of Pyramid Way, Sparks Boulevard and Highland Ranch Parkway, have previously been dedicated to the City of Sparks, leaving a total of 808.4 acres of development. The remaining acres consist of a wide variety of uses including: commercial, office/business park, public/institutional, multi-family and single family residential, school/park, neighborhood park, and open space. The entire property was zoned for agricultural (A-40) uses at the time of annexation and will require a zone change to New Urban District (NUD) as individual parcels are developed within Kiley Ranch North. The development will also provide a significant portion of the retail shopping needs for the regional area, including the City of Sparks to the south, Spanish Springs Valley and Palomino Valley to the north, and Sun Valley and Golden Valley to the west. The region to the west will have access to the project from Highland Ranch Parkway which connects Sun Valley Boulevard to Pyramid Way. Sparks Boulevard, which connects to Highland Ranch Parkway at Pyramid Highway Way, provides circulation to the regions south and east of the project. To the north, Lazy Five Parkway provides a connection from Pyramid Highway Way to areas northeast of the project.

Due to the project's significant regional location, it has a great opportunity to develop into a suburban core center for the northern Sparks area. The intensity of the project is maximized at the intersection of Sparks Boulevard and Pyramid Way and through the Pyramid Way corridor where most of the community's commercial and office/business park uses are located. This highly visible and well traveled corridor is enhanced with the placement of a Village Center supported by an adjacent mix of quality high density residential apartments and townhomes. As the project develops toward the edges of the property, residential densities decrease, allowing compatibility with surrounding land uses. Kiley Ranch North will foster economic growth and excellence in development for the region, furthering innovation and creating great places to live, work and play.



Orr Ditch

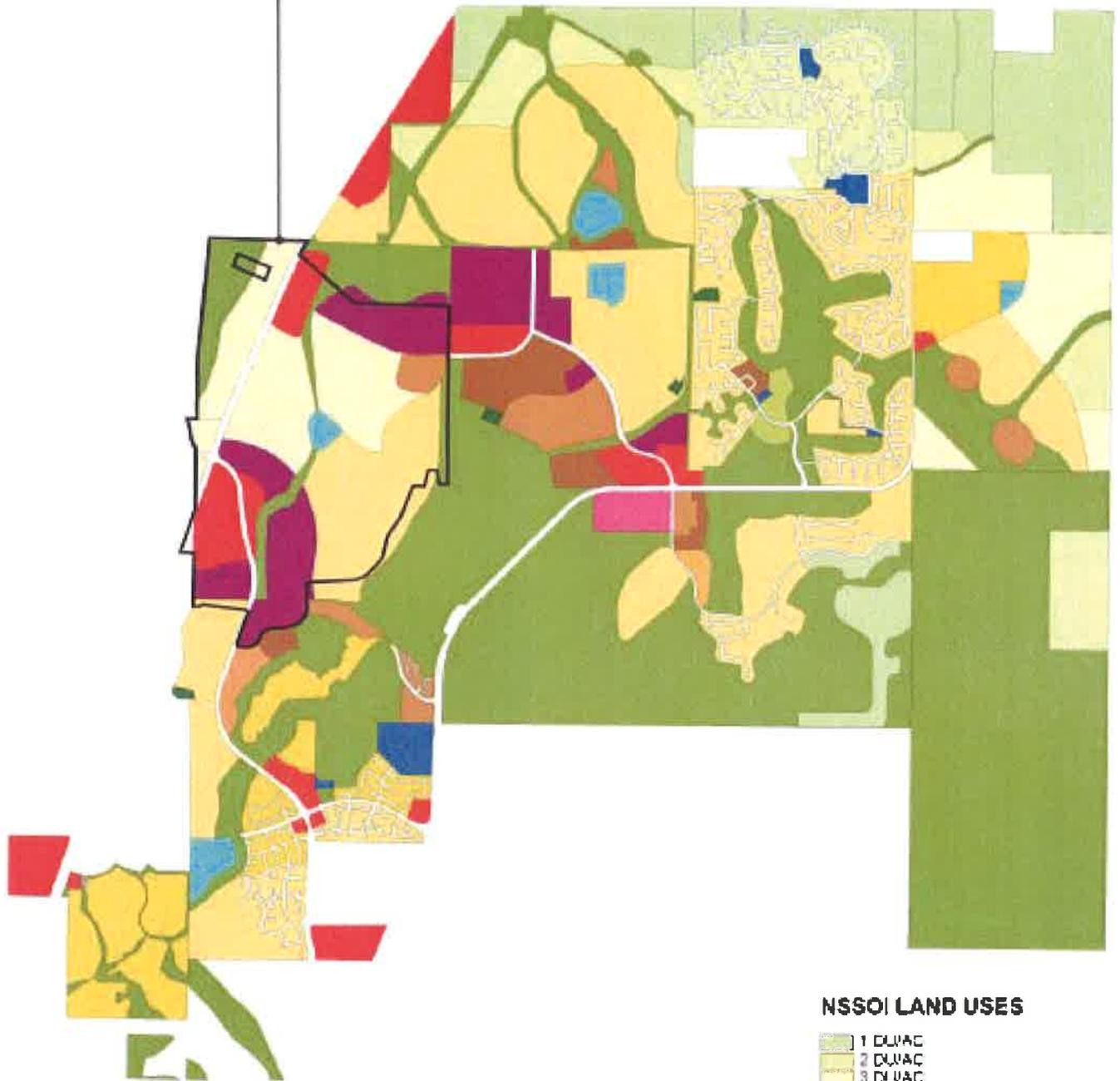
EXHIBIT 1-1: REGIONAL LOCATION MAP



### EXHIBIT 1-2: NORTHERN SPARKS SPHERE OF INFLUENCE MASTER PLAN



Kiley Ranch North



#### NSSOI LAND USES

- 1 DUAC
- 2 DUAC
- 3 DUAC
- 4 DUAC
- 5 DUAC
- 6 DUAC
- 7 DUAC
- 10 DUAC
- 15 DUAC
- General Commercial
- Town Center
- Business Park
- School/Park
- Public Facilities
- Golf
- Park
- Open Space



### 1.3.1 Site Context

The 808.4 acre Kiley Ranch North development is located within Spanish Springs Valley within the Northern Sparks, Sphere of Influence (Exhibit 1-2, Northern Sparks Sphere of Influence Master Plan). The project area lies on the west side of Spanish Springs Valley and is bisected by the Pyramid Way (State Route 445). Towards the east, it extends from the east margin of the Hungry Range almost to the central, nearly flat axis of Spanish Springs Valley. The project area west of the highway is in steeper, more hilly terrain, while the area east of Pyramid Way is a gently sloping alluvial fan.

Kiley Ranch North is surrounded by open space, single-family residential communities and pockets of commercial and business park developments (Refer to Exhibit 1-3, Site Context). To the north, the Washoe County Parks Department operates a regional recreation facility, library and picnic grounds. On the west side of Pyramid Way near the northern edge of the property, a proposed low density residential planning area will be compatible with the adjacent residential development to the north and satisfies the Cooperative Planning Adjacency Standards of the Sparks Municipal Code. On the property's southern edge is the Kiley Ranch Southern Development Division which will provide an edge of new residential development. East of the project is an areas proposed for wetland protection. Finally, on the western edge of the property are hillsides of open space that encompasses the Spanish Springs Valley. The proposed development near the western boundary of the project is restricted to land adjacent to Pyramid Way where the intensity of the corridor is complemented with arterial commercial uses and multi-family residential development.

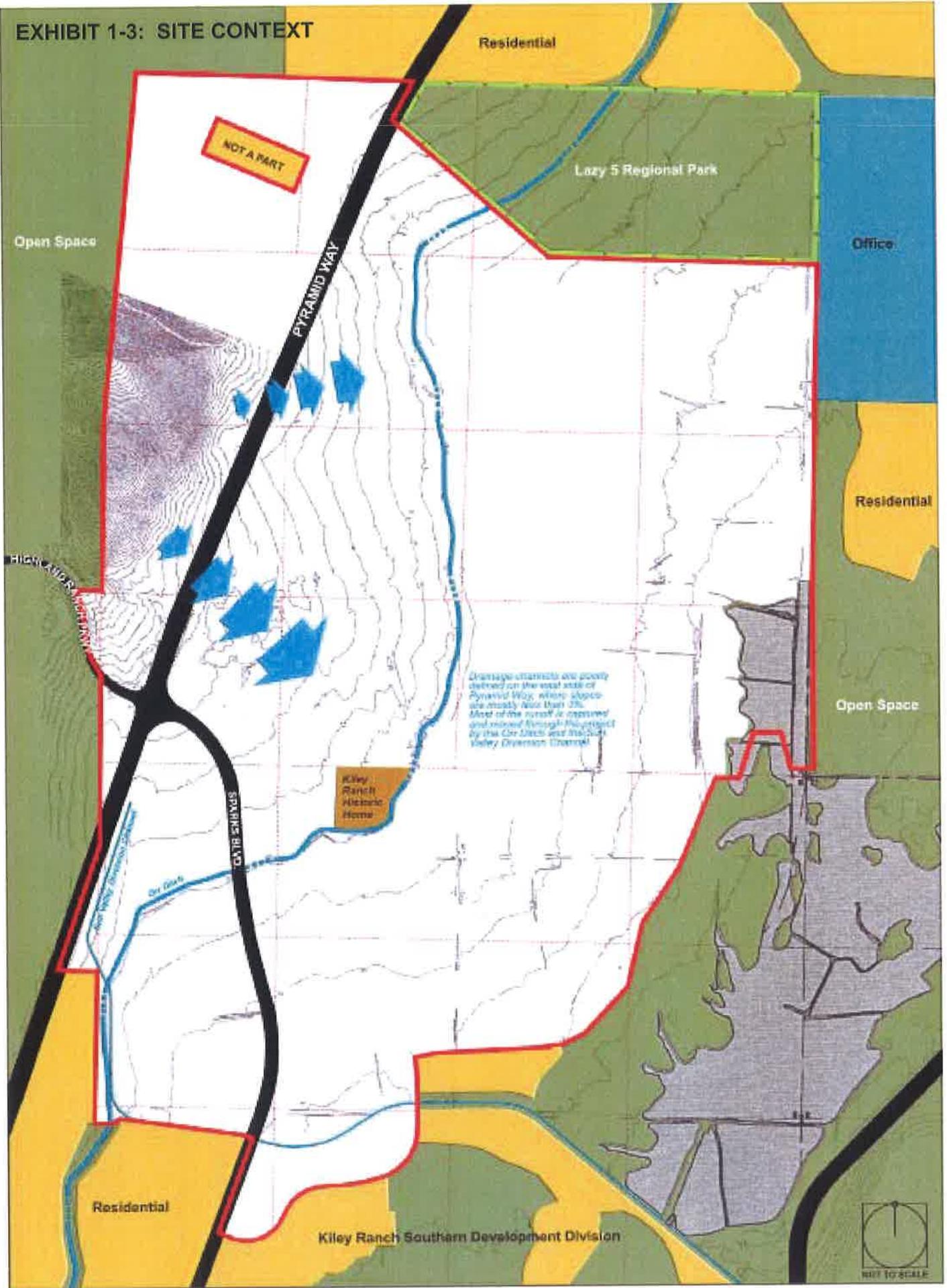
Due to limited physical site constraints, Kiley Ranch North is favorable to development (Refer to Exhibit 1-3, Site Context). Portions of the project are within the east margin of the Hungry Range. This area has steep topography (10% slopes) and well-defined, incised channels. The eastern part of the project lies on the mid to lower portions of alluvial fans along the west side of Spanish Springs Valley. Channels are poorly defined with slopes mostly less than 3%. Runoff generally flows from west to east in the mountainous portion of the project, then from northwest to southeast after crossing Pyramid Way. It currently sheet flows into the existing jurisdictional wetlands and the City of Sparks flood detention area on the eastern edge of the plan area. The south portion of the site currently sheet flows north to south into the Sun Valley Diversion Channel. The Federal Emergency Management Agency (FEMA) has designated the project area as Zone X (outside the 500-year flood plain).

The Orr Ditch generally runs south to north and is strictly an irrigation supply canal. Parts of the Orr Ditch have been realigned and piped underground. The open sections of the Orr Ditch are massed by native and riparian vegetation. It is only through this area of the site and the land immediately surrounding the Kiley Homestead, where mature trees can be found. Throughout the rest of the site, vegetation consists of mainly of sagebrush, alfalfa and grass understory. The Kiley home was built over 50 years ago and is considered a historical and architectural landmark and has greatly influenced the design theme and materials proposed for the Kiley Ranch North project. More detailed site analysis of traffic, hydrology, geology, archaeology, and infrastructure is further identified and examined in the Appendix of this Development Handbook.

### 1.3.2 Kiley Ranch North Master Plan

The Kiley Ranch North Master Plan introduces an intense and diversified mix of land uses within the Northern Sparks Sphere of Influence (Refer to Exhibit 1-4, Kiley Ranch North Master Plan). Of the property's 808.4 acres, approximately 39 percent of the project is dedicated for residential development, 29 percent for commercial and business park uses and 19 percent for public facilities, schools, neighborhood parks, trails and open space. Table 1-1 summarizes the project's land use components.

EXHIBIT 1-3: SITE CONTEXT



1. INTRODUCTION AND IMPLEMENTATION

Table 1-1: Master Plan Land Use Summary \* (\*This table has been modified from the Tentative Development Handbook)

Land Use Designation	Net Acres	% Of Total Net Acres (1)	Maximum Density or F.A.R.	Permitted Units (2)	Approximate Allowable Square Feet	
<b>RESIDENTIAL USES</b>						
Low-Medium	5.0-7.9 du/ac	LMR	161.8	20.01%	7.9 du/ac	1295
Medium	6.0-11.9 du/ac	MR	53.1	6.57%	11.9 du/ac	632
Medium-High	12.0-17.9 du/ac	MHR	51.4	6.36%	17.9 du/ac	931
High	15.0-23.9 du/ac	HR	44.7	5.53%	23.9 du/ac	1219
<b>TOTAL RESIDENTIAL</b>			<b>311.0</b>	<b>38.47%</b>		<b>4077</b>
<b>NON-RESIDENTIAL USES</b>						
Community Commercial	CC	52.0	6.43%	0.3		679,536
Neighborhood Commercial	NC	27.6	3.41%	0.4		480,902
Arterial Commercial	AC	6.2	0.77%	0.4		108,029
Village Center Commercial	VC	25.5	3.15%	0.9	82 (3)	999,702
<b>Subtotal Commercial</b>			<b>111.3</b>	<b>13.77%</b>		<b>2,268,169</b>
<b>OFFICE / BUSINESS PARK</b>						
Office/Business Park	OBP	60.0	7.42%	0.6		1,568,160
Business Park	BP	67.0	8.29%	0.6		1,751,112
<b>Subtotal Office/Business Park</b>			<b>127.0</b>	<b>15.71%</b>		<b>3,319,272</b>
<b>MISCELLANEOUS</b>						
School	S	18.8	2.33%	0.3	294 (4)	245,678
Public Institutional	PI	13.9	1.72%	0.4		242,194
Neighborhood Park	NP	12.0	1.48%			
Open Space	OS	111.2	13.76%			
<b>Subtotal Miscellaneous</b>			<b>155.9</b>	<b>19.29%</b>		<b>487,872</b>
<b>TOTAL NON-RESIDENTIAL</b>			<b>394.2</b>	<b>48.76%</b>		<b>6,075,313</b>
Roadways (5)			49.5	6.12%		
Landscape Development Zones (6) (Walks & Trails)			53.7	6.64%		
<b>PROJECT TOTAL</b>			<b>808.4</b>	<b>100.00%</b>		<b>4463 (7)</b>
Pyramid Way, Sparks Blvd., and Highland Ranch Pkwy. (Previously dedicated to City)			31.7			
<b>GRAND TOTAL</b>			<b>840.1</b>			

(1) - Net acres is defined as the sum of the gross acres minus any adjacent landscape development zone and the area to the center line of the adjacent right-of-way.

(2) - Permitted units is calculated by multiplying net acres by maximum allowed density.

(3) - Additional units may be transferred to the Village Center as defined in Section 1.7.5 Permitted Unit Transfers.

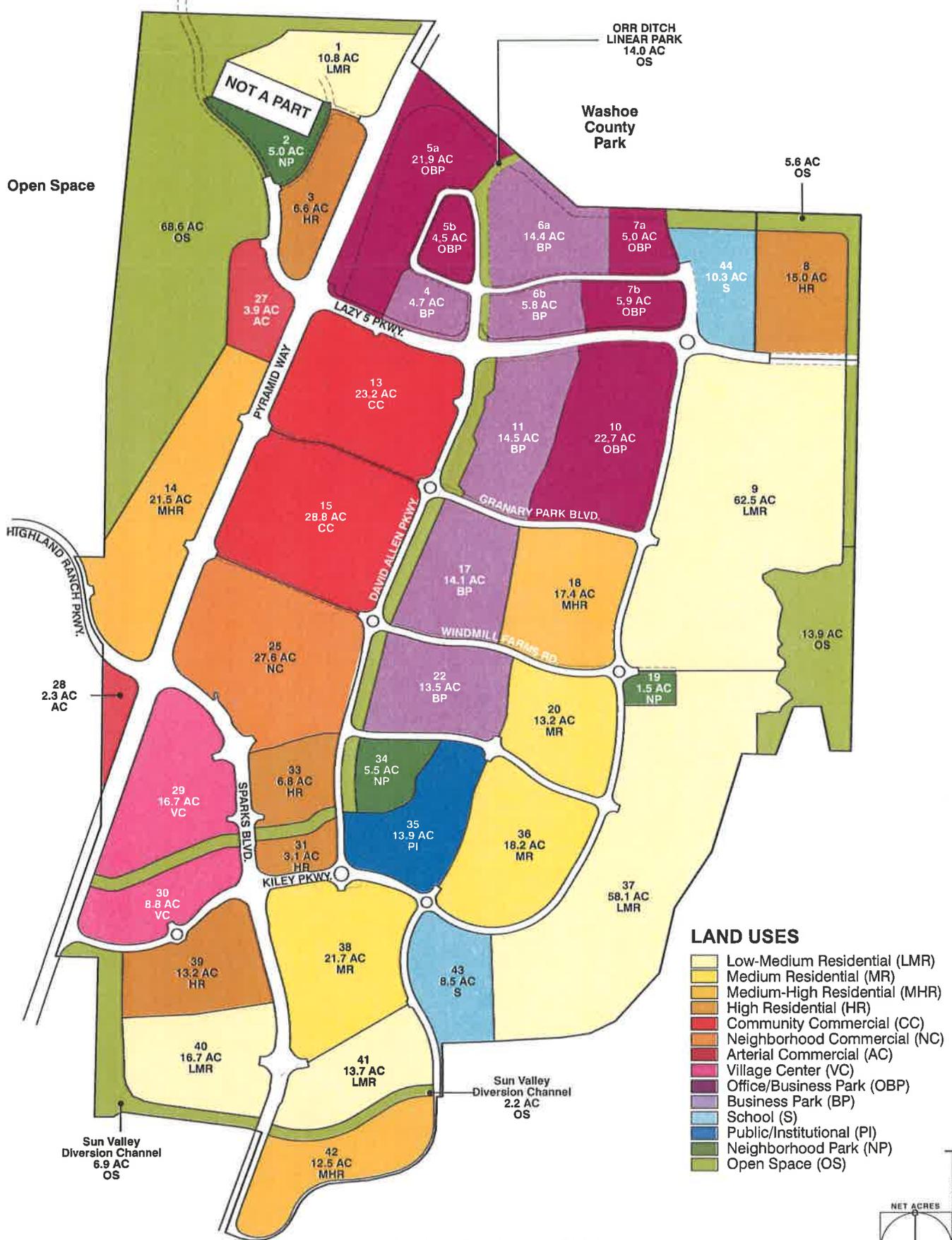
(4) - A maximum of 294 units will be permitted within the school site(s) if the school is not built. The allowable density of the adjoining residential area will be applied to the school site. If the school is built these units may be transferred to the Village Center.

(5) - Roadways do not include Pyramid Way, Sparks Boulevard and Highland Ranch Parkway.

(6) - A landscape development zone is required along all arterial streets and collector roads as described in Section 2.3.

(7) - The maximum amount of units allowed within Kiley Ranch North is 4,463 based on the approved Tentative Planned Development Handbook

**EXHIBIT 1-4: KILEY RANCH NORTH MASTER PLAN NET ACREAGE - PHASE 5\***



Kiley Ranch Southern Development Division

\* THIS MAP HAS BEEN MODIFIED FROM THE TENTATIVE DEVELOPMENT HANDBOOK

### **1.3.3 Community Structure**

Kiley Ranch North is a model for regional activity centers supported by multiple residential neighborhoods that complete a balanced community. Integrating the major land uses is the Orr Ditch Linear Park, whose length is adjoined by a variety of land uses that provide a continuously changing environment and experience. The components of the community are organized and connected by this unique feature, which serves as the backbone for the community's trails network. The three components, which include the activity centers, residential neighborhoods and the Orr Ditch Linear Park, are fundamental to the organization of the community hierarchy and its cohesive physical structure.

#### **1.3.3.1 Activity Centers**

Kiley Ranch North is essentially composed of three activity centers that focus on providing employment, commercial retail and service, and community gathering and social interaction. The location of these centers is visually prominent and easily accessible along the Pyramid Way corridor, sharing the regional market area and providing a transitional edge of project serving retail and business to neighboring Kiley Ranch North residences. These three centers are most easily identified as the "Kiley Ranch North Business Park", the "Kiley Ranch North Marketplace" and the "Kiley Ranch North Village Center". Exhibit 1-5, Community Activity Centers, portrays the essential structure of these core areas.

#### **1.3.3.2 Residential Neighborhoods**

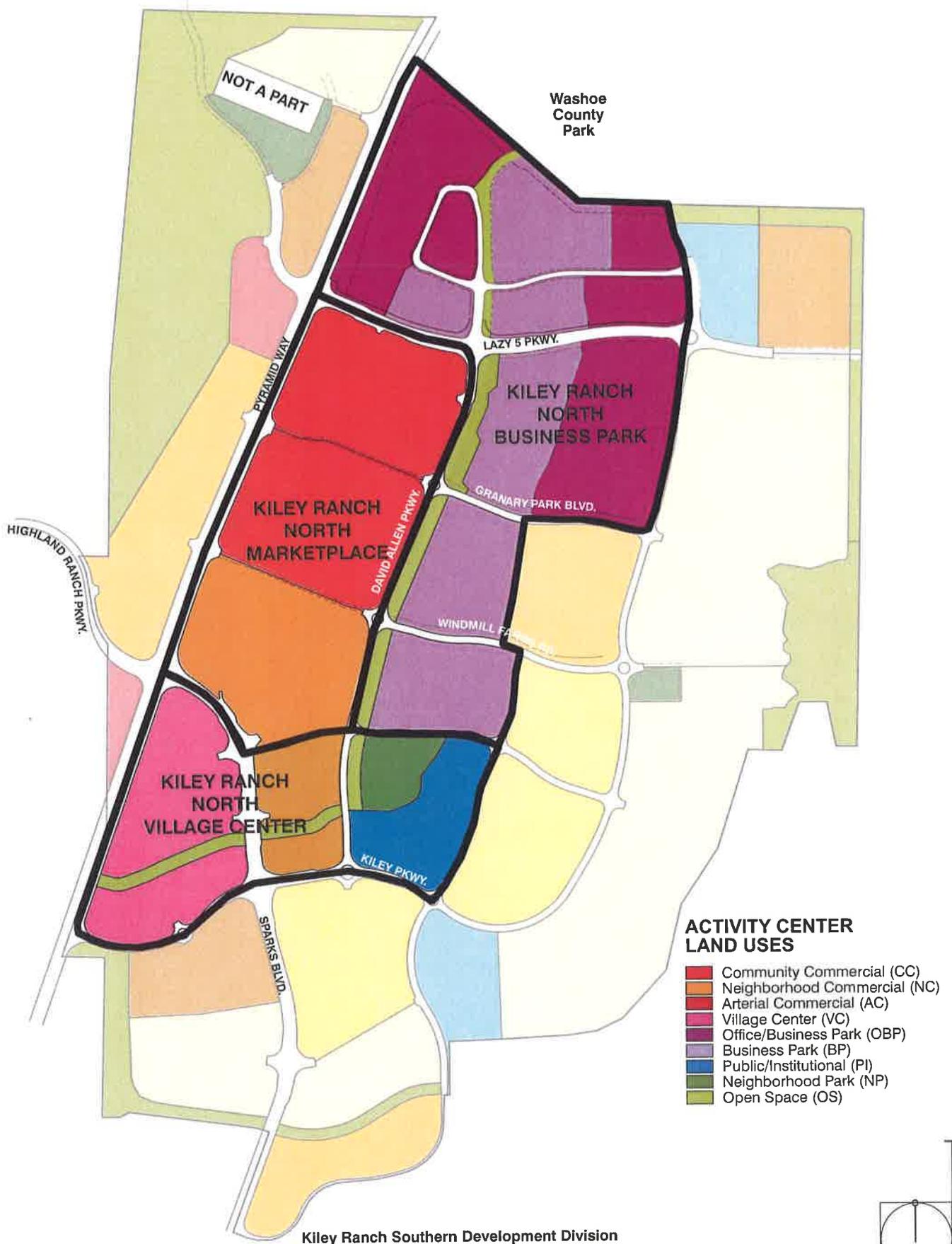
Surrounding the activity centers are several neighborhoods, each of them distinguished by density and function as they relate to adjacent uses. Neighborhoods introduce another level of diversity within Kiley Ranch North, by introducing living opportunities different from the predominantly low density housing that is already provided in northern Sparks. The Kiley Ranch North Master Plan provides for approximately 311 net acres of residential development at densities ranging from 5 to 23.9 units per acre. This residential variety encourages social diversity while the visual identity of the greater community is unified through consistent design features such as entry monumentation, landscaping, building materials and streetscape plans.

The density and diversity of neighborhoods increase as they approach the activity centers of Kiley Ranch. This arrangement encourages pedestrian activity and access, particularly to the "Kiley Ranch Village Center" from residences to the south and east. The "Village Center" is the true community core containing elements that encourage social gathering places such as "main street" commercial areas, multi-family residential housing, and recreational areas such as the Kiley Ranch Common and Orr Ditch Linear Park.

#### **1.3.3.3 Orr Ditch Linear Park**

The Orr Ditch Linear Park is a 14 net acre passive recreational corridor aligned with portions of the existing Orr Ditch and along portions of David Allen Parkway. A multi-use regional trail connecting the community, runs along the entire length of the Park (Refer to Section 2.3.6.3).

**EXHIBIT 1-5: COMMUNITY ACTIVITY CENTERS \***



\* THIS MAP HAS BEEN MODIFIED FROM THE TENTATIVE DEVELOPMENT HANDBOOK



**1.4 KILEY RANCH MASTER PLAN POLICY CONFORMANCE**

This entire section has been retained in its original form from the Tentative Development Handbook.

**1.4.1 Conformance with NSSOI Master Plan**

The Northern Sparks Sphere of Influence (NSSOI) plan was originally prepared as a requirement of the adopted regional plan. The NSSOI plan went through several approval steps as a joint plan between the City of Sparks and Washoe County and was adopted by the Regional Governing Board in 1992. Since that time, the City of Sparks has quantified the original schematic land use plan for the purposes of determining gross acreages and densities for the adopted financing plan (Refer to Exhibit 1-2, Northern Sparks Sphere of Influence Master Plan). The following summarizes how the Kiley Ranch North Master Plan is in conformance with the adopted Regional Plan.

**1.4.1.1 Land Use**

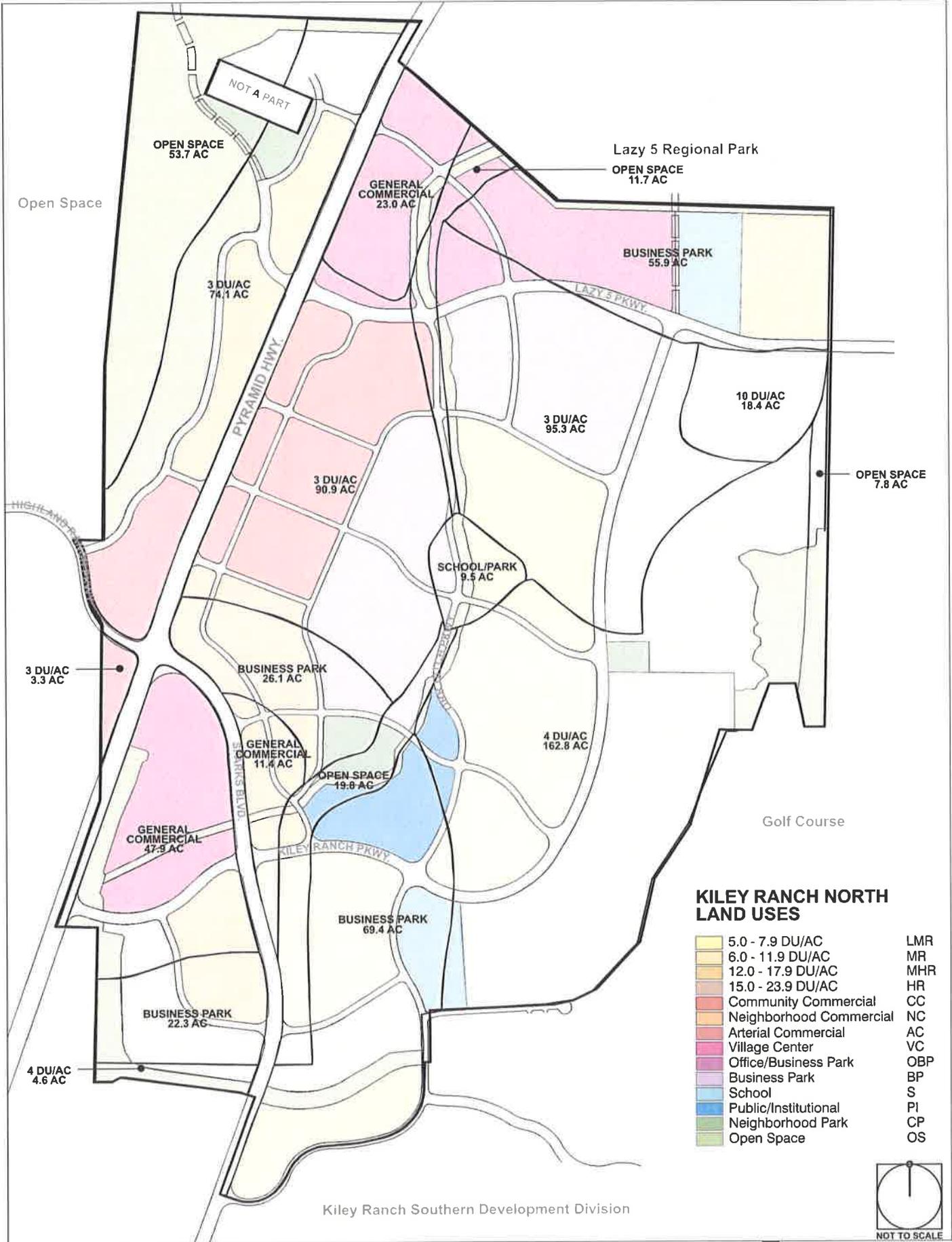
The City of Sparks has quantified the original schematic Northern Sparks Sphere of Influence land use plan for the purposes of determining gross acreages and densities for the adopted financing plan. The Kiley Ranch North Master Plan area comprises of approximately 808.4 gross acres of the NSSOI Master Plan area. Exhibit 1-6, Conformance with NSSOI Master Plan, illustrates the adopted NSSOI plan superimposed on the proposed Kiley Ranch Master Plan. Table 1-2, Conformance Statistical Summary, summarizes the approved NSSOI gross acres compared to the proposed Kiley Ranch Master Plan gross acres.

Table 1-2: Conformance Statistical Summary<sup>1</sup>

Land Use Designation		Approved NSSOI	Kiley Ranch North Master Plan
		Gross Acres	Gross Acres
<b>RESIDENTIAL USES</b>			
3 DU/AC		263.6	
4 DU/AC		167.2	
10 DU/AC		18.4	255.2
20 DU/AC			117.0
<b>TOTAL Residential</b>		<b>449.2</b>	<b>372.2</b>
Land Use Designation		Approved NSSOI	Kiley Ranch North Master Plan
		Gross AC	Gross AC
<b>NON-RESIDENTIAL USES</b>			
Retail Commercial Service		82.3	122.7
Business Park/Office Business Park		173.7	141.9
School/Park		9.5	20.0
Public/Institutional		0.0	17.7
Neighborhood Park		0.0	13.6
Open Space		93.7	120.3
<b>TOTAL Non-Residential</b>		<b>359.2</b>	<b>436.2</b>
<b>PROJECT TOTAL</b>		<b>808.4</b>	<b>808.4</b>

1. Per approved Tentative Planned Development Handbook

**EXHIBIT 1-6: CONFORMANCE WITH NSSOI MASTER PLAN**



## RESIDENTIAL

The Kiley Ranch North Master Plan has designated 372.2 acres to residential uses. This is 77 acres less than the 449.2 acres designated for residential uses in the NSSOI plan. The primary redesignation of residential uses to commercial uses occurs around the Pyramid Highway/Sparks Boulevard intersection where the extension of Highland Ranch Parkway now connects to Sparks Boulevard. This was not part of the original NSSOI plan, nor anticipated at the time of its adoption. This new extension creates a major connection from Sun Valley that will generate a substantial amount of traffic to support commercial development of the entire four-way intersection. Additionally, land designated for business park uses in the southern portion of the project area within the NSSOI plan has been redesignated as residential uses in the Kiley Ranch Master Plan. The redesignation of residential to commercial or business park uses will require a minor amendment to the adopted NSSOI plan map that shifts planned land uses and densities around, in the same general area.

The NSSOI plan permits 1,644 units within the Kiley Ranch North project area. However, the City of Sparks envisions Kiley Ranch North to become an emerging regional commercial and employment business center due to its strategic location within the City of Sparks' Sphere of Influence. In an effort to minimize regional traffic and provide for a jobs-housing balance within Kiley Ranch North, the Master Plan allows a maximum of 4,463 units of varying densities. The increase in units is necessary to support the amount of land designated for office/business park within Kiley Ranch North.

## OFFICE/BUSINESS PARK

The Kiley Ranch North Master Plan has designated 141.9 acres for office/business park uses. This is 31.8 acres less than the 173.7 acres designated for office/business park uses in the NSSOI plan. The majority of office/business park uses are concentrated in the northern half of the project area along Pyramid Highway and Lazy Five Parkway. As previously stated, the City of Sparks envisions Kiley Ranch North to become an emerging regional commercial and employment business center. The Kiley Ranch North Plan provides for an appropriate balance of land uses to promote a jobs/housing balance.

## RETAIL COMMERCIAL SERVICE

The Kiley Ranch North Master Plan has designated 122.7 acres to retail commercial service uses. This is 40.4 acres more than the 82.3 acres designated for retail commercial service in the NSSOI plan. An increase in land designated for commercial uses is necessary to meet the projected regional demand for these type of uses and provide a balance of land uses within Kiley Ranch North. As stated earlier, the primary redesignation of residential uses to commercial uses occurs around the Pyramid Highway/Sparks Boulevard intersection. This area will receive a substantial amount of traffic to support the additional commercial development.

## PARKS AND OPEN SPACE

The Kiley Ranch North Master Plan has designated 120.3 acres to natural open space. This is 26.6 acres more than the 93.7 acres designated for open space in the NSSOI plan. In addition, 13.6 acres have been designated for neighborhood parks and approximately 14 acres of pocket parks are required within single family residential areas. Included within the gross acre total of each planning area is a required landscape buffer adjacent to all arterial and collector roads. The landscape buffer contains sidewalks and trails and provides 43 acres of landscaped areas and recreation. The total common open space for Kiley Ranch North will be 190.9 acres, or approximately 24 percent of the Kiley Ranch North project. In addition, the Development Standards in Chapter Two require a minimum 10 to 25 percent of site area for each project to be landscaped.

#### 1.4.1.2 Transportation Plan

The proposed Kiley Ranch North Master Plan conforms to the currently adopted Regional Transportation Commission plan and the transportation plan contained within the NSSOI plan. The recently completed westerly two lanes of Sparks Boulevard were originally planned to be part of the first Phase improvements to the development; additionally, the extension of Highland Ranch Parkway, which has been approved and constructed is also incorporated in this submittal. There continues to be ongoing discussion concerning the Kiley Ranch Parkway section between Sparks Boulevard and Pyramid Highway. We believe this is an important component to the future development of the City of Sparks and the Kiley Ranch North development and it needs to remain on the adopted transportation plan. Based on meetings with Nevada Department of Transportation (NDOT) officials in 2001, this section will be allowed by NDOT with movements restricted to right-in/right-out.

#### 1.4.1.3 Other Plan Elements

The Kiley Ranch North Master Plan is in conformance with other plan elements of the Northern Sparks Sphere of Influence plan. The drainage master plan was recently amended by the City of Sparks and FEMA in 2001. Accommodating the increased storm water run off from Sun Valley required a review of the previously approved storm water master plan for this basin. After this analysis, it was determined that the most cost effective solution was to divert the Sun Valley flows and most of the Kiley Ranch flows to behind the Sparks Detention Dam and eliminate one of the other potential detention ponds further south. This revision is now incorporated into the latest Drainage Master Plan for Kiley Ranch and the recent Conditional Letter of Map Revision (CLOMR) approval by Federal Emergency Management Agency (FEMA).

#### 1.4.1.4 NSSOI Master Plan Goals, Objectives and Policy Conformance Review

The Kiley Ranch project meets the intent or implements the following goals, objectives or policies:

##### NSSOI PLAN

GOAL SIP 1: Ensure that the primary scenic views of the planning area from Pyramid Highway and Spanish Springs Road are protected.

*The landscape buffers, building setbacks and grading criteria will preserve scenic views. Refer to Chapter Two, Development Standards and Chapter Three, Design Standards and Guidelines.*

SIP 1a. A minimum 25-foot *buffers* should be provided between all property lines and pavement along all arterial streets. Fences, walls or structures should be discouraged in these areas. At time of subdivision application review, a landscape/xeriscape plan should be evaluated.

*The 25 to 50-foot landscape buffers on all arterial streets exceeds the minimum buffer. (Refer to Chapter Two, Development Standards for more detail).*

SIP 1b. Encourage undergrounding of overhead lines and other utilities for any new development within the planning area and along major arterial streets.

*All new utilities to be installed will be underground (Refer to Chapter Four, Infrastructure and Phasing for more detail).*

SIP 1c. The development design should be encouraged to provide open space linkages to establish a trail network system throughout the planning area.

*The proposed trails plan will implement this goal (Refer to Chapter Two, Development Standards for more detail).*

GOAL SIP 10: Encourage the use of “naturalistic” stabilized (non-geometric or concrete lined) channels to reduce velocities, encourage on-line detention, provide for groundwater recharge where feasible, encourage provision of open space and creation of additional wetlands.

*The Sun Valley Diversion Channel will be a vegetated channel, where possible; with drop structures to manage velocities (Refer to Chapter Two, Development Standards).*

GOAL SIP 11: Encourage the use of detention in existing potential wetland areas, open space and recreation areas, and in areas where soil conditions would provide for groundwater recharge.

*The Sun Valley Diversion Channel will divert storm flows to the existing flood pool/wetlands and provide potential groundwater recharge.*

#### LAND USE

GOAL SIP 22: Support master planned development and master development agreements.

*Development Standards and Design Standards and Guidelines for planned development are included in this Development Handbook.*

SIP 22a. Require developers to prepare development standards handbooks for all residential, commercial and restricted industrial/business park projects that outline architectural guidelines and performance standards in accordance with the policies in this plan.

*Development Standards and Design Standards and Guidelines are included in this Development Handbook.*

GOAL SIP 23: Encourage a mix of land uses and densities to promote a balanced community with residential, commercial, thorough architectural guidelines, signage and development standards, restricted industrial, business, and recreational areas.

*Kiley Ranch North is a master planned mixed-use development.*

SIP 23b. Prohibit strip commercial development. Support nodes of commercial development around the intersections of major arterials.

*The primary commercial node for Kiley Ranch North is located at the intersection of Pyramid Highway and Sparks Boulevard. Chapter Two, Development Standards and Chapter Three, Design Standards and Guidelines provide direction to avoid strip commercial development.*

GOAL SIP 24: Maintain an overall gross density of two dwelling units per acre in the planning area.

*The Kiley Ranch North Master Plan has an overall gross density of approximately five units per acre and will exceed an overall density of two dwelling units per acre. The overall gross density has been increased in order to provide an adequate amount of residential dwelling units to support the office/business park and commercial uses.*

SIP 24b. Support the concept of clustering throughout the planning area.

*The Kiley Ranch North Master Plan promotes clustering by designating fewer acres to residential uses than what is called for in the NSSOI plan, while increasing the density of those residential areas. In addition, higher density residential planning areas have been located near the community’s activity centers, primarily the centrally located Kiley Ranch North Village Center.*

SIP 24c. Require buffer areas between residential and non-residential uses.

*The Kiley Ranch North Master Plan and the Development Standards contained herein implement this goal (Refer to Chapter Two, Development Standards for more detail).*

## TRANSPORTATION

GOAL SIP 30: Encourage the use of design features to support the use of public transportation.

*Trail linkages connecting various neighborhoods to transit corridors are provided within Kiley Ranch North (Refer to Chapter Two, Development Standards for more detail).*

SIP 30a. Encourage higher density development along transit routes.

*Higher density residential planning areas, with a maximum of 23.9 dwelling units per acre, have been located along Pyramid Highway, Sparks Boulevard and Lazy Five Parkway.*

SIP 30b. Support designated “park and ride” lots in or adjacent to commercial areas.

*Park and Ride lots are a permitted use in Arterial Commercial and Community Commercial planning areas.*

GOAL SIP 31: Prohibit direct access onto major arterials, limit turning movements through the use of raised medians, acceleration and deceleration lanes, signals, etc. Prohibit curb parking on arterials and collectors.

*Access onto major arterials is controlled from individual parcels through the use of medians, right-in/right-out driveways, acceleration and deceleration lanes, and signals (Refer to Chapter Four, Infrastructure and Phasing for more details). Parking is prohibited on arterials and collectors.*

SIP 31a. Require the use of joint driveways for commercial and other non-residential developments where feasible. Maintain adequate driveway separation spacing to at least 235 feet from other driveways and intersections.

*Access standards are specified in Chapter Two, Development Standards.*

SIP 31b. Limit the number of signals allowed on arterial streets and encourage intersection spacing to be 1/4-mile or greater.

*The Circulation Plan in Chapter Two implements this goal. The spacing between the Orr Ditch Parkway/Lazy Five Parkway intersection and the Pyramid Highway/Lazy Five Parkway intersection is less than 1/4-mile because of the desire to keep the Orr Ditch Parkway parallel to the Orr Ditch.*

GOAL SIP 32: Encourage curvilinear street designs to fit with topographic constraints.

*Curvilinear streets are used throughout Kiley Ranch North.*

## ANNEXATION

GOAL SIP 33: Encourage and support annexation of all property within the Sphere of Influence by 2007.

*The Planned Development application includes the annexation of 838.7 acres.*

## FINANCING

GOAL SIP 34: Develop a detailed financing plan and establish a mechanism for fee collection, credit provisions and reimbursement potential based on the Improvement Cost Sharing-Financing Plan outlined in the NSSOI Master Plan. Plan to consider financing for roads, sanitary sewer, parks, public facilities, water, storm drainage and gas and electric.

*A development agreement will be prepared upon finalization and approval of the Planned Development.*

## 1.4.2 Conformance with City of Sparks Land Use Plan

Kiley Ranch North has been identified as a location for an emerging employment center in the 2002 Regional Plan. Emerging employment centers are categorized as areas where rapid employment growth is currently occurring, where it is planned, and where job centers are needed to provide for a jobs-housing balance within the region. The intent of emerging employment centers is to support sustainable growth and efficient growth patterns while diversifying the economy. The end result aims to reduce automobile trips and provide for a jobs-housing balance supported by a multi-modal transportation system.

The 2002 Regional Plan provides the following provisions for local government and affected entity master plans to maintain and improve the viability of areas designated as emerging employment centers:

- Provide adequate non-residential land supply.
- Provide convenient access to major roads and/or freeways.
- Require pedestrian connections throughout the areas and to nearby residential areas.
- Plan for transit service.
- Provide adequate residential land supply in the surrounding area to house the anticipated number of employees.
- Require design and intensity standards to maintain the character of nearby residential areas.
- Promote reverse commute and trip reduction strategies.

### 1.4.2.1 City of Sparks Goals, Objectives and Policy Conformance Review

To conform with the Regional Plan, the City of Sparks amended its Master Plan to revise and add policies on emerging employment centers. The Kiley Ranch North project meets the intent or implements the following goals and policies regarding emerging employment centers contained in the Land Use section of the City of Sparks Master Plan.

#### LAND USE

GOAL LU5: To support land uses and development that assures an appropriate balance of population, housing, and employment distribution within the City.

LU5a. The City will encourage land uses and development which maintains a balance of population, housing and employment within urban and emerging growth areas.

*Kiley Ranch North is projected to provide a jobs-housing balance of approximately 1.6 jobs per household.*

LU5b. The City will support sustainable economic development resulting in efficient use of resources.

*Retail commercial areas comprise of 122.7 gross acres within Kiley Ranch North. Based on an "Employees and Salary Analysis" prepared for the project that uses a ratio of one employee for every 520 square feet and a floor area ratio of .25 (typical for commercial development) retail commercial areas will generate 2,570 jobs. The Regional Transportation Commission (RTC) uses a factor of 14.2 employees per acre which projects the generation of 1,742 jobs. When the two methods are averaged an estimated 2,156 jobs will be generated from retail commercial areas.*

*Office/business park areas comprise of 141.9 acres. Based on an "Employees and Salary Analysis" prepared for the project that uses a ratio of one employee for every 300 square feet and assuming a floor area ratio of .25, office/business park areas will generate 5,151 jobs. The RTC uses a factor of 28 employees per acre which projects the generation of 3,973 jobs. The NDOT/I-80 Freeway Corridor Plan uses 35 employees per acre which projects 4,967 jobs created. The ITE manual estimates 43 employees per acre which projects 6,102 jobs created. Using an average of the four methods, the estimated number of projected office/business park employees is 5,048. The total number of projected employees in retail commercial and office/business park areas is 7,204.*

LU5c. The City will provide adequate land for future non-residential development.

*Approximately 17.5 percent and 15.2 percent of the gross acreage of Kiley Ranch North is dedicated to office/business park and retail commercial service uses respectively.*

LU5d. The City will facilitate development of clean manufacturing, high technology, recreational or eco-tourism, professional and corporate business, and health care services.

*Kiley Ranch North devotes approximately 141.9 acres to office/business park uses, which accommodates clean manufacturing, high technology, recreational or eco-tourism, professional and corporate business, and health care services.*

LU5e. The City will ensure development of employment centers that preserve and enhance the character of neighborhoods, the natural environment, and visual integrity of surrounding viewsheds.

*Landscape buffers ranging from 15 feet to 50 feet are provided along arterial and collector right-of-ways. In addition, development standards contained in this handbook will ensure the appropriate development of the employment centers (Refer to Chapter 2, Development Standards).*

LU5f. The City will ensure development of employment centers in close proximity to established or developing residential areas, along major arterials or freeways, on public transit routes, or implementation of other vehicle trip reduction strategies.

*The primary employee generating uses, such as office/business park and retail commercial service, are located adjacent to Pyramid Highway, Sparks Boulevard and Lazy Five Parkway.*

LU5h. The City will ensure pedestrian connections throughout emerging employment center developments and to nearby residential areas.

*Office/business park and retail commercial service uses are integrated into the community trail system. (Refer to Chapter 2, Development Standards.)*

LU5i. The City will promote trip reduction as well as reverse commute strategies.

*Kiley Ranch North provides a jobs-housing balance which will promote a reduction in the dependence on the automobile and reduce vehicle trips.*

### **1.4.3 Conformance with Planned Development Findings**

Kiley Ranch North “furthers the mutual interest of the residents and owners of the planned unit development and of the public in the preservation of the integrity of the plan as finally approved,” NRS 278A.380 (2).

#### **1.4.3.1 Planned Development Findings**

The Kiley Ranch North project meets the intent or implements the following findings:

FINDING PD1: The plan is consistent with the objective of furthering the public health, safety, morals and general welfare by providing for housing of all types and design.

*The Kiley Ranch North Master Plan provides a wide range of housing types from 5.0 dwelling units per acre to 23.9 dwelling units per acre.*

FINDING PD2: The plan is consistent with the objective of furthering the public health, safety, morals and general welfare by providing for necessary commercial and industrial facilities conveniently located to the housing.

*The Kiley Ranch North Master Plan provides approximately 122.7 gross acres of retail commercial service uses and approximately 141.9 gross acres of office/business park uses located adjacent to various housing types.*

FINDING PD3: The plan is consistent with the objective of furthering the public health, safety, morals and general welfare by providing for the efficient use of land and public or private services.

*The Kiley Ranch North Master Plan provides for residential, commercial office/business park, and public/institutional uses, as well as open space, community parks and a school site.*

FINDING PD4: The plan is consistent with the objective of furthering the public health, safety, morals and general welfare by providing for changes in technology of land development so that resulting economies may be available to those in need of homes.

*The Kiley Ranch North Master Plan provides for flexibility to allow for changes in the development.*

FINDING PD5: The plan is consistent with the objective of furthering the public health, safety, morals and general welfare by providing for flexibility of substantive regulations over land development so that proposals for land development are disposed of without undue delay.

*The Kiley Ranch North Master Plan and this Development Handbook provides guidance in the orderly development of the property.*

FINDING PD6: The plan does depart from zoning and subdivision regulations otherwise applicable to the property, and these departures are in the public interest for density.

*The Kiley Ranch North Master Plan has greater housing densities than existing zoning and range from 5.0 dwelling units per acre to 23.9 dwelling units per acre. The City of Sparks envisions Kiley Ranch North to become an emerging regional commercial and employment business center and therefore an increase in the number of allowable units is necessary to secure a jobs-housing balance within Kiley Ranch North and provide a balance of land uses within Kiley Ranch North. A balanced community, such as Kiley Ranch North, will help minimize regional traffic and meet the projected regional demand for growth in all land uses.*

FINDING PD7: The plan does depart from zoning and subdivision regulations otherwise applicable to the property, and these departures are in the public interest for bulk.

*The Kiley Ranch Master Plan is guided this Development Handbook that provides detailed development standards and guidelines regulating site design, building architecture and landscaping that reduce the impact of bulk.*

FINDING PD8: The plan does depart from zoning and subdivision regulations otherwise applicable to the property, and these departures are in the public interest for use.

*The Kiley Ranch North Master Plan is guided by the City of Sparks Master Plan's goals and objectives.*

FINDING PD9: The ratio of residential to non-residential use in the planned development is: 1 to 1.1.

FINDING PD10: Common open space in the planned development exists for what purpose, is located where within the project, and comprises how many acres (or what percentage of the development site taken as a whole)?

*Common open space in Kiley Ranch is comprised of approximately 191 acres or 24 percent of the project area. Common open space includes natural open space, neighborhood parks, pocket parks, and landscape buffers that include the community trails system. In addition, the Development Standards in Chapter Two require a minimum 10 to 25 percent of the site area for each project to be landscaped, adding approximately 88 acres of private landscaped open space.*

FINDING PD11: The plan does provide for the maintenance and conservation of common open space by what method?

*Pocket parks, community gateways, neighborhood entries and landscape buffers adjacent to collector roads will be maintained by the Kiley Ranch North Landscape Maintenance Association (LMA). The Orr Ditch Linear Park, the Orr Ditch and landscape buffers adjacent to Pyramid Highway, Sparks Boulevard, Kiley Ranch Parkway, Lazy Five Parkway and Highland Ranch Parkway will be maintained by the Kiley Ranch North Landscape and Lighting District (LLD). The City of Sparks will be responsible for the maintenance of neighborhood parks and all public sidewalks/trails, including those within landscape buffers, and the Orr Ditch Trail. Refer to Section 2.3 for more detail.*

FINDING PD12: Given the plan's proposed density and type of residential development, the amount and/or purpose of the common open space is determined to be adequate.

*The amount of common open space, including parks and trails, provided in the Kiley Ranch Master Plan is approximately 24 percent of the total land use acreage for the project, which exceeds the 20 percent minimum open space required by the City of Sparks.*

FINDING PD13: The plan does provide for public services. If the plan provides for public services, then these provisions are adequate.

*The Kiley Ranch North Master Plan provides adequate public services (Refer to Chapter Four, Infrastructure and Phasing).*

FINDING PD14: The plan does provide control over vehicular traffic.

*The Kiley Ranch North Master Plan provides control over vehicular traffic (Refer to Chapter Four, Infrastructure and Phasing).*

FINDING PD15: The plan does provide for the furtherance of access to light, air, recreation, and visual enjoyment.

*The Kiley Ranch North Master Plan is guided by this Development Handbook which provides detailed design standards ensuring the furtherance of access to light, air, recreation, and visual enjoyment.*

FINDING PD16: The relationship of the proposed planned development to the neighborhood in which it is proposed to be established is beneficial.

*The Kiley Ranch North Master Plan is a new community located in an area planned for development according the NSSOI plan.*

FINDING PD17: To the extent the plan proposed development over a number of years, the terms and conditions intended to protect the interests of the public, residents and owners of the planned development in the integrity of the plan are sufficient.

*The orderly and proper development of Kiley Ranch North is guided by this Development Handbook. The Development Handbook will have been reviewed under the Planned Development Review process and approved by the City of Sparks signifying the integrity of the Kiley Ranch North Master Plan.*

FINDING PD18: The project, as submitted and conditioned, is consistent with the City of Sparks Master Plan.

*The Kiley Ranch North Master Plan promotes the emerging employment center policy of the City of Sparks.*

FINDING PD19: The project is consistent with surrounding existing land uses.

*The Kiley Ranch North Master Plan is compatible with its surrounding land uses. Adjacent to the northern boundary of the project are residential uses and the Washoe County Park. A 100-foot buffer adjacent to Planning Area 1 and existing residential uses has been provided and will be maintained by the Landscape Maintenance Corporation (MC). To the west, the project is bordered by natural open space, while to the east, a combination of open space wetlands and a golf course is planned. At the southern edge of the property is the Kiley Ranch Southern Development Division where compatible residential uses are located.*

FINDING PD20: Public notice was given and a public hearing held per the requirements of the Sparks Municipal Code.

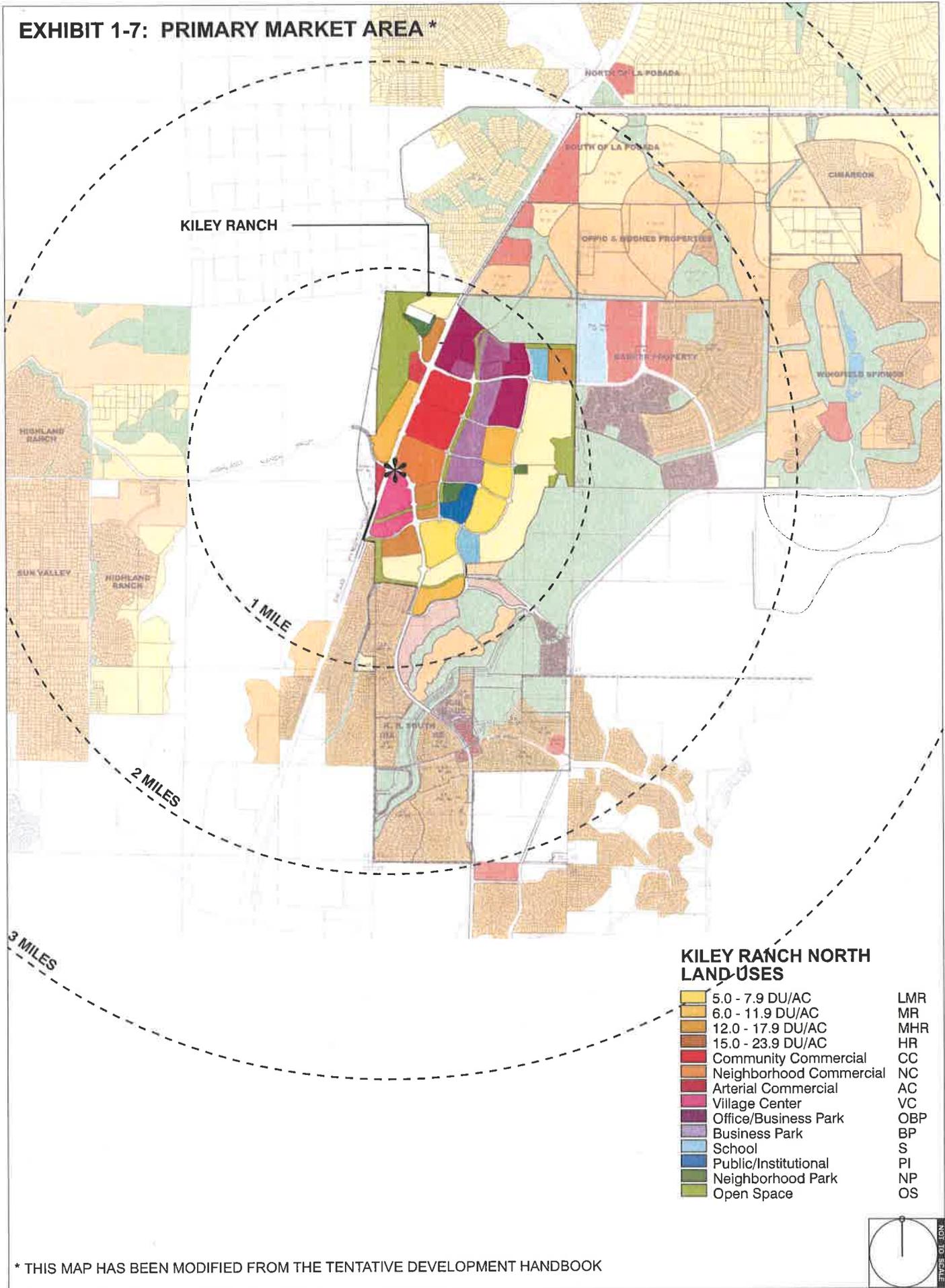
*During the Planned Development Review process public notice will be given and a public hearing will be held.*

## **1.5 MARKET AREA OVERVIEW**

The Spanish Springs Valley is one of the most rapidly growing areas in Washoe County. With the completion of Sparks Boulevard and Highland Ranch Parkway, it is anticipated that a sub-regional shopping center in Spanish Springs could provide more convenient shopping opportunities to serve a market area from Warm Springs to Golden Valley to Northern Sparks, as well as the primary market area of Spanish Springs (Refer to Exhibit 1-7, Primary Market Area).

Based on approved projects and current land use designation on the adopted Land Use Plans, it is estimated there will be a total of 42,621 households in this region at build out. Using the average household size for Washoe County of 2.59 persons per household, it is estimated that there could be 110,390 people living in this sub-regional area of Kiley Ranch North at buildout. This sub-regional area is projected to be a jobs center and as such Kiley Ranch North has been designated as an emerging employment center by the 2002 Regional Plan. Kiley Ranch North will play an integral role in providing a jobs-housing balance and reducing automobile trips within the region.

**EXHIBIT 1-7: PRIMARY MARKET AREA \***



\* THIS MAP HAS BEEN MODIFIED FROM THE TENTATIVE DEVELOPMENT HANDBOOK



## 1.6 HANDBOOK APPROVAL PROCESS

### 1.6.1 Introduction

Section 1.6 sets forth the approval process for this Handbook (as defined below). Section 1.7 sets forth the approval process for Individual Projects (as defined below). A chart depicting the steps in the approval process both as to the Handbook and Individual Projects is set forth in Section 1.8.

### 1.6.2 General Provisions

This Kiley Ranch North Tentative Development Handbook (the "Handbook") describes in general terms when, where and how development will occur within the Kiley Ranch North Development Project ("Kiley Ranch North"). It provides sufficient specificity to establish a base qualitative standard (the "Development Standards") for all of Kiley Ranch North. It provides design parameters (the "Design Parameters") to which each Individual Project built within Kiley Ranch North will conform. It is intended to offer design flexibility while at the same time maintaining minimum standards. Chapter 2 of the Handbook contains standards and regulations relative to development, which establish the Development Standards for Kiley Ranch North. Chapter 3 contains standards and guidelines relative to design, which establish the Design Parameters for Kiley Ranch North.

### 1.6.3 Handbook Approval Process

The Tentative Development Handbook was processed pursuant to the Planned (Unit) Development process set forth in NRS Chapter 278A and SMC Chapter 20.18. The Planned (Unit) Development process is intended to provide an expeditious method for processing a plan and to avoid the delay and uncertainty which would arise if it were necessary to secure approval by a multiplicity of local procedures, as well as the approval of a change in the zoning regulations otherwise applicable to the property. The Planned (Unit) Development process allows all of Kiley Ranch North to be planned and developed in a comprehensive and orderly fashion.

Approval of the Handbook shall occur in two stages:

#### TENTATIVE APPROVAL

First, the Handbook must be tentatively approved by the City of Sparks ("City") Planning Commission and City Council pursuant to NRS 278A.440 – 520 and SMC Chapter 20.18 (the "Tentative Approval").

#### FINAL APPROVAL

Second, final approval of the Handbook, as that term is used in NRS 278A.530 and SMC Chapter 20.18 (the "Final Approval"), shall be obtained through the method set forth in Section 1.6.5 below.

Tentative Approval shall be obtained on the entirety of Kiley Ranch North. Final Approval, however, shall be obtained in one or more phases (each a "Phase"), each containing one or more Individual Projects. Market conditions will dictate to a large degree the timing of development within Kiley Ranch North. Hence, Kiley Ranch North is likely to be developed in multiple Phases over a period of several years.

For purposes of this Handbook, the applicant for Tentative Approval of this Handbook, representing the property owner of Kiley Ranch North, is referred to herein as the "Master Developer." The Master Developer is expected to be the entity who files the applications for Final Approval for each Phase. The portion of Kiley Ranch North included in any particular Phase shall be determined by the Master Developer in its discretion, so long as no Phase is less than five acre. Upon Final Approval of any Phase, the Final Handbook shall be recorded against the property included within such Phase.

Due to the fact the Kiley Ranch North will be developed in multiple Phases, Tentative Approval of this Handbook shall be coupled with a development agreement between the City and the Master Developer pursuant to NRS 278.0201-0207 and SMC Chapter 20.101 (the "Development Agreement"). The Development Agreement was recorded against the entirety of Kiley Ranch North, binding such property to the terms of this Handbook as tentatively approved.

#### 1.6.4 Duration of Tentative Approval

Tentative Approval shall be revoked pursuant to NRS 278A.520 after one (1) year unless an application for Final Approval of the first phase of Kiley Ranch North is filed within such time period. Applications for Final Approval on subsequent Phases may be filed at such time(s) as market conditions dictate. Tentative Approval on the balance of Kiley Ranch North shall remain in effect until Final Approval is granted on the final Phase, so long as an application for Final Approval of a subsequent Phase is filed within five (5) years after Final Approval of the preceding Phase. In addition, prior to the expiration of a 5-year period in which an application for Final Approval has not been filed, the Master Developer may request a 5-year extension from the Planning Commission and the City Council. If the request is granted, the Master Developer shall have five (5) years from the date of City Council approval of the extension to file an application for Final Approval on a Phase.

#### 1.6.5 Final Approval Process

As each Phase is ready for development, an application for Final Approval for that Phase shall be filed with the City. The City Staff shall make a determination whether the Phase is in substantial compliance with the Tentative Approval ("Substantial Compliance"). The Phase submitted for Final Approval is in Substantial Compliance if it does not:

- 1) Vary the proposed gross residential density or intensity of use;
- 2) Vary the proposed ratio of residential to non-residential use;
- 3) Involve a reduction of the area set aside for common open space or the substantial relocation of such area;
- 4) Substantially increase the floor area proposed for non-residential use; or
- 5) Substantially increase the total ground areas covered by buildings or involve a substantial change in the height of buildings.

If the Phase is in Substantial Compliance with the Tentative Approval, it shall be presented to the Planning Commission and City Council as a general business item for Final Approval. If the Phase reviewed is not in Substantial Compliance, the applicant may alter the Phase to make it in Substantial Compliance or may petition the City to review and approve the Phase anyway. Such petition would require a public hearing before the Planning Commission and City Council in accordance with NRS 278A.550.

After Final Approval of a Phase is granted, the Handbook shall be recorded against that portion of Kiley Ranch North included within such Phase. In conjunction with the Final Approval of a Phase, the Master Developer shall create a legal parcel(s) for the portion of Kiley Ranch North included in such Phase pursuant to all applicable laws governing the parcelization of land.

#### 1.6.6 Binding Effect of Handbook and Development Agreement

Pursuant to NRS 278A.520, NRS 278A.570 and the Development Agreement, the Handbook cannot be modified or otherwise impaired by the action of the City without the consent of the Master Developer and any required landowner, except as specified in NRS 278A.410. Similarly, pursuant to NRS 278.0201, as a result of the Development Agreement, the ordinances, resolutions or regulations applicable to Kiley Ranch North and governing the permitted uses of it, the density and standards for design, improvements and construction on it are those in effect at the time the Development Agreement was made.

Hence, the Handbook and the Development Agreement are binding on the City and cannot be changed without the consent of the Master Developer. In the event that either (i) the City is required to consider a request under a discretionary approval process contained herein, or (ii) an application for Final Approval of a Phase is not in Substantial Compliance with Tentative Approval and a public hearing is held to approve such application, then the City's approval of such request or application may be conditioned on a modification to a provision in the Handbook outside the scope of such request or application only if the City finds that there exists a reasonable relationship between such modification and the request or application, such finding to specify how the modification is reasonably related to the request or application. Subject to the foregoing sentence, a Final Approval of one Phase shall not alter, modify or otherwise impair the Handbook as to the remaining Phases of Kiley Ranch North and shall only affect the Phase identified in the Final Approval. Furthermore, the City shall not allow amendments to this Handbook without the approval of master developer and landowner, as required.

### 1.6.7 Annexation and Rezoning

Prior to or in conjunction with Final Approval of any Phase, all property in such Phase shall be (or shall have been) annexed into the City and rezoned to new urban district ("NUD") zoning, in accordance with annexation and zoning procedures set forth in the Nevada Revised Statutes and the Sparks Municipal Code. At the discretion of the Master Developer, such annexation and rezoning may be done on the entirety of the Kiley Ranch North, on a single Phase or on any combination of Phases. Furthermore, pursuant to the waiver of statutory deadlines in the Development Agreement, annexation and rezoning may be done together or separately and at any time (a) in conjunction with Tentative Approval, (b) after Tentative Approval but preceding any application for Final Approval, or (c) in conjunction with any application for Final Approval. The Master Developer shall create a legal parcel(s) for the property being annexed and/or rezoned pursuant to all applicable laws governing the parcelization of land.

The standards set forth in the Final Approval of a Phase, as embodied in the NUD zoning classification and the Handbook shall, in accordance with NRS 278A.570, supersede any zoning and subdivision statutes that may otherwise apply. In case of a conflict, this Handbook and the terms of the Final Approval of any Phase shall control. When not addressed by this Handbook or the terms of a Final Approval, the provisions of the Sparks Municipal Code shall control.

## 1.7 INDIVIDUAL PROJECT APPROVAL PROCESS

### 1.7.1 General Provisions

Each Phase included in a Final Approval will be comprised of one or more commercial or residential projects (each an "Individual Project"). Prior to development of an Individual Project, such Individual Project shall be reviewed to determine that it meets and conforms with the standards and guidelines of the Handbook, following the plan review approval process set forth in this Section 1.7. In addition, any Individual Project requiring a Special Use Permit (as identified in Table 2-1) must adhere to the normal City of Sparks Special Use Permit process; provided that the application for a Special Use Permit may be processed concurrently with the Final Approval of the Phase in which the Individual Project is located and/or the review process set forth in this Section 1.7, pursuant to the waiver of statutory deadlines in the Development Agreement.

A developer or builder of an Individual Project is referred to hereinafter as the "Project Applicant." Prior to submitting for any permit or entitlement for an Individual Project to the City for review and approval, a Project Applicant shall first obtain approval of the plans from the Kiley Ranch Design Review Committee (the "DRC"), pursuant to a review and certification process set forth in covenants and conditions recorded by the Master Developer. After obtaining such certification, the plans shall be submitted to the City Plan Review Committee (the "Plan Review Committee") to assure that each Individual Project meets or exceeds the Development Standards (see Chapter 2) and fits within the Design Parameters (see Chapter 3) established by this Handbook.

With regard to all determinations made by the City under this Section 1.7 (whether by the Plan Review Committee, City Staff, [defined in Section 1.7.2] or any other department of the City), the City may grant a deviation of up to twenty percent (20%) from the standards and guidelines in the Handbook without conducting a hearing, so long as such deviation will not impair the purpose of the Handbook (each a “Minor Deviation”); provided, however, that in no event shall a Minor Deviation be granted to change the maximum number of residential units or commercial building square footage and/or open space acreage, or change or relocate tentatively-approved land use designations as shown on the Master Plan, as set forth on Exhibit 1-4 of this Handbook (provided that adjustments to the boundaries of such land use designations due to changes in the locations of streets dividing two such designations shall not constitute a relocation of a land use designation). In accordance with the Sparks Municipal Code, the Community Development Director may grant minor deviations from requirements established for a zoning district without conducting a public hearing if the applicant for a minor deviation obtains the written consent of the owner of any real property that would be affected by the proposed minor deviation. Minor deviations include – but are not limited to – adjustments of the location and/or dimensions of buildings, parking areas and internal roadways, providing such adjustments do not change any points of ingress or egress to the site, or exceed the approved density. Furthermore, whenever the City (in all the foregoing capacities), at any time in the approval processes set forth in Sections 1.6 or 1.7 of this Handbook, denies the request of a Project Applicant or grants its approval subject to conditions, the City shall state in writing with specificity the standards, guidelines or parameters with which the Individual Project fails to conform. If the Project Applicant does not accept the City’s conclusions or conditions, the Project Applicant may appeal the City’s decision to the Planning Commission, and thereafter to the City Council, pursuant to the general appeal rights in the Sparks Municipal Code (the “Appeal Rights”).

Approval of the plans for an Individual Project may be sought either after Final Approval of the Phase in which the Individual Project is located, or concurrently with the Final Approval process; provided, however, that in no event shall approval from the Plan Review Committee be completed prior to completion of the Final Approval process. In the event of any conflict between the plan review process set forth in this Handbook and any other review process used by the City, this Handbook shall control. Where this Handbook is silent on a particular approval procedure, the Sparks Municipal Code or other regulations governing development of land in effect at the time shall prevail.

Applications for commercial and residential Individual Projects are subject to different approval processes and are addressed separately in the following sections. For definition purposes, an “Individual Residential Project” is defined as one that is built as “for sale” residential housing, whether attached or detached; an “Individual Commercial Project” is defined as one that involves commercial, office/business park and multi-family “for rent” projects.

### **1.7.2 Commercial Project Site Plan Review Approval**

All new non-residential building construction requires a Site Plan Review, unless non-residential construction has been authorized by a Special Use Permit as dictated by Table 2-1, Land Use Matrix. The review process for Individual Commercial Projects consists of three distinct, but interrelated phases:

- 1) The first phase is the pre-application process. It is during this phase that a Project Applicant becomes familiar with the application requirements and obtains feedback on preliminary design ideas from the City of Sparks.
- 2) The second phase is the DRC review/certification process.
- 3) The third phase consists of the City’s process for approving the Individual Commercial Project, including a Special Use Permit approval, if applicable. Here the City will make its determination as to whether the Project meets and conforms to the standards set forth in this Handbook. The Plan Review Committee will be involved in the approval as outlined below.

It is incumbent upon the Project Applicant to become familiar with the City’s review process and application requirements. (Refer to Exhibit 1-8, Individual Project Approval Process - Commercial Track, for schematic of process for project approval.)

## PHASE I: PRE-APPLICATION PROCESS

Step 1: A Project Applicant contacts the DRC and City of Sparks' Community Development Department ("Cityworks") to clarify the requirements, standards and policies as identified in this Handbook and requests a pre-application conference.

Step 2: The Project Applicant submits to the DRC and City Staff a preliminary site analysis, site plan, landscape concept, grading concept, and preliminary utility and infrastructure plan.

Step 3: The Project Applicant attends a pre-application conference first with the DRC and then with the Cityworks Staff and other appropriate City departments. The Project Applicant obtains feedback from attendees and obtains the necessary application(s) and submittal requirements. At this time it shall be determined whether a Special Use Permit will be required for the Project.

## PHASE II: DESIGN REVIEW COMMITTEE (DRC) APPROVAL PROCESS

Step 4: Following the procedures set forth by the Master Developer, the Project Applicant obtains certification of its plans ("DRC Certification") from the DRC.

## PHASE III: CITY OF SPARKS APPROVAL PROCESS

The final phase consists of the City of Sparks' approval process. The process outlined below is somewhat simplified for reference purposes. Project Applicants should familiarize themselves with all City requirements and timelines.

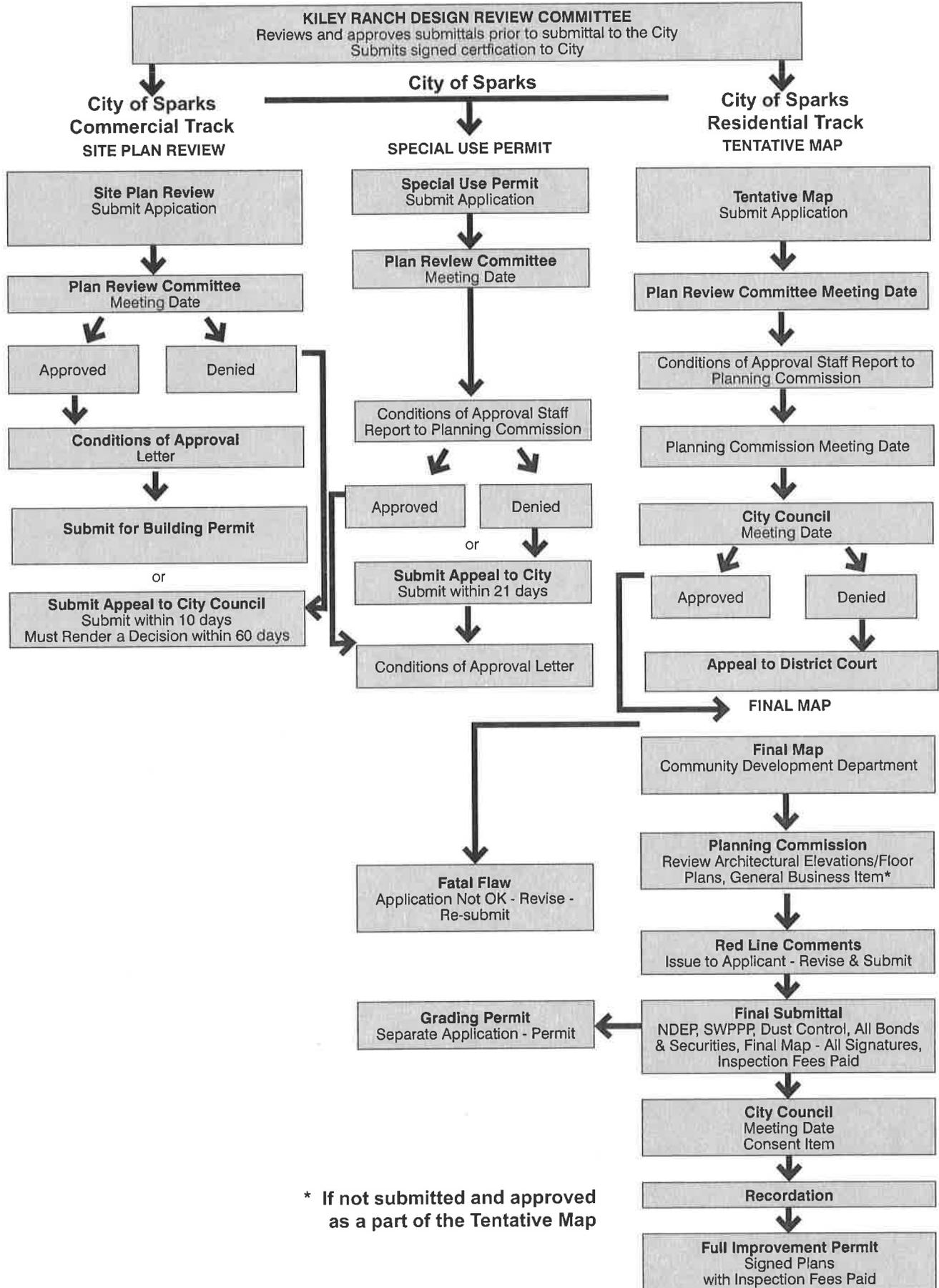
Step 5: A Project Applicant submits the DRC Certification, required fee(s) and completed application(s) to Cityworks (using the City of Sparks Application Checklist obtained from the City). The application is reviewed for completeness by City Staff and distributed to appropriate City departments and commenting agencies for comments.

Step 6: The Project Applicant attends a site plan review meeting(s) with the Plan Review Committee and appropriate City departments to discuss the application and offer comments. The Plan Review Committee will review the Individual Commercial Project's conformance with the Development Standards and Design Parameters set forth in this Handbook. The Plan Review Committee approves/denies the Individual Commercial Project and submits a letter to the Project Applicant specifying any conditions necessary to bring the project into conformance with the Handbook. If the Project Applicant does not accept the Plan Review Committee's conclusions or conditions, the Project Applicant may exercise its Appeal Rights.

Step 7: If the Project requires a Special Use Permit, (a) a Planning Commission public hearing is held to approve the Special Use Permit. If an appeal is filed, a public hearing is held before the City Council to approve the Special Use Permit.

Step 8: Submit for Building Permit

**EXHIBIT 1-8: INDIVIDUAL PROJECT APPROVAL PROCESS**



\* If not submitted and approved as a part of the Tentative Map

### 1.7.3 Review and Permitting “Fast Track” Procedures for Target Industries

Some Individual Commercial Projects may qualify for the following special treatment (“Individual Target Industry Projects”):

Those target industries that are identified by the Economic Development Authority of Western Nevada (EDAWN) shall be encouraged to locate within the Kiley Ranch North Business Park. It is preferred that businesses with a dynamic, educated workforce base locate in the Kiley Ranch North Business Park. Certain target industries, as identified from time-to-time by EDAWN, shall be considered for special permitting procedures and “fast-tracking” to encourage these industries to locate in the Kiley Ranch North Business Park. The following “target” industries were identified by EDAWN: Biological Products; Automotive Stampings; Communications Equipment; Electronic Components; Analytical Instruments; Electromedical Equipment; Sporting and Athletic Goods; Radiotelephone Communications; Non-Deposit Trust Facility; Prepackaged Software; Information Retrieval; and Nonphysical Research (collectively, “Target Industries”).

A management level person will be selected by the City of Sparks as its “Project Facilitator.” This individual will be the only point of contact between the City and the particular Target Industry that has submitted a letter of intent to purchase or lease property in the Kiley Ranch North Business Park. The Project Facilitator will then be responsible for coordinating all activities between the City and the Target Industry. This could potentially include, without limitation, the following:

- Selecting a team of people from within the City to direct the Individual Target Industry Project through their representative departments or agencies. This team will be directly responsible to insure that all necessary communication and required actions are coordinated between their group and the Project Facilitator.
- Agendizing all necessary entitlement actions at the Planning Commission and City Council. This would include scheduling zoning hearings as soon as possible with the Planning Commission, and first and second readings of the zoning ordinance with the City Council as soon as possible thereafter, if necessary.
- Coordinating the Site Plan Review process and initial building permit submittals and reviews simultaneously with the zoning ordinance review and approval process, if possible.
- Tracking any necessary advanced grading or underground utility permits to insure a smooth transition from entitlements to construction.
- Acting as a resource to any and all consultants that may be working with the Target Industry to insure that the right information is produced and included with all submittals for entitlements and building permits, to avoid any unnecessary delays due to incomplete applications.

This commitment of resources is intended to give the Target Industry reasonable assurances that their timeliness for development and operation can be met.

### 1.7.4 Residential Project Approval Process

Like the review process for Individual Commercial Projects, the review process for Individual Residential Projects includes review by both the DRC and the Plan Review Committee as well as other City departments. In addition, the review process for Individual Residential Projects includes approval of a Tentative Map and a Final Map. The process consists of three distinct, but interrelated phases generally described below, but more specifically described in NRS 278.330 - 278.353 and NRS 278.360 - 278.460:

- 1) The first phase is the pre-application process. It is during this phase that the Project Applicant becomes familiar with the application requirements and obtains feedback on preliminary design ideas.
- 2) The second phase consists of both the DRC and the City of Sparks Tentative Map approval process.
- 3) The third phase is the Design Review/Final Map approval process by the DRC and the City of Sparks.

The Individual Residential Project approval process is referenced below but it is incumbent upon the Project Applicant to become familiar with the DRC and City review process and application requirements. (Refer to Exhibit 1-8, Individual Project Approval Process - Residential Track, for schematic of process for project approval.)

#### PHASE I: PRE-APPLICATION PROCESS

Step 1: A Project Applicant contacts the DRC and City of Sparks to clarify the requirements, standards and policies as identified in this Handbook and to request a pre-application conference.

Step 2: The Project Applicant submits to the DRC and City of Sparks a preliminary Tentative Map and a general description of the public and/or private street network and public utilities, landscaping and common open space, a phasing plan, dwelling units per acre, the total number of units and the total acreage within the proposed Individual Residential Project.

Step 3: The Project Applicant attends a pre-application conference first with the DRC and then with City of Sparks Staff. The Project Applicant obtains feedback from attendees and obtains the necessary application(s) and submittal requirements.

#### PHASE II: TENTATIVE MAP APPROVAL PROCESS

Step 4: Following the procedures set forth in the Kiley Covenants, the Project Applicant obtains DRC Certification of its Tentative Map.

Step 5: The Project Applicant shall submit the DRC Certification, required fee(s) and completed application(s) to the City (using the City of Sparks Tentative Map Application Checklist obtained from the City). The application is reviewed for completeness by City of Sparks Staff and distributed to appropriate City departments and commenting agencies for comments.

Step 6: The Project Applicant attends a meeting(s) with the City of Sparks Staff and appropriate City departments to discuss the application and offer comments. Staff will review the Tentative Map's conformance with the Sparks Master Plan, the Handbook, and all applicable statutes, rules, regulations and ordinances.

Step 7: The City of Sparks Staff recommendations and conditions of approval on the Tentative Map will be forwarded to the Planning Commission for their review. The Planning Commission shall review the Tentative Map application and may forward their recommendation with conditions to the City Council.

Step 8: A City Council hearing is held to approve, approve with conditions, or deny the Tentative Map.

### PHASE III: FINAL MAP APPROVAL PROCESS

Step 9: Following the procedures set forth in the Kiley Covenants, the Project Applicant obtains DRC Certification of the Final Map.

Step 10: The Project Applicant shall submit the DRC Certification, required fee(s) and completed final map application to City of Sparks. The City of Sparks staff reviews the proposed Individual Residential Project for compliance with the Tentative Map conditions and the Development Standards of the Handbook.

Step 11: If requested by the Planning Commission, the architectural elevations and floor plans are submitted to the Planning Commission for their review as a general business item.

Step 12: City of Sparks schedules a “fatal flaw review” and a “redline comments” meeting with the Project Applicant.

Step 13: Once the Project Applicant modifies the proposed Individual Residential Project based on the redline comments, the Project Applicant resubmits for final review.

Step 14: The Final Map is scheduled for City Council as a consent item once all map signatures, bonds, and other required documents are submitted.

Step 15: Final Map is recorded.

Step 16: Issuance of Building Permit

#### **1.7.5 Permitted Unit Transfers**

The Kiley Ranch North “Master Plan,” set forth on Exhibit 1-4 of this Handbook, designates several “bubble” areas for residential or mixed residential/commercial uses (each a “Master Plan Area”). The number of dwelling units allowed within any specific Master Plan Area is calculated by multiplying the acreage for such Master Plan Area (as shown in the Master Plan) by the maximum allowed density for the land use designation for that area (the “Permitted Units”). For purposes of this Section 1.7.5, Permitted Units shall refer to dwelling units only. Notwithstanding the Permitted Units allowed within any particular Master Plan Area, Permitted Units may be transferred from one Master Plan Area (the “Sending Area”) to another Master Plan Area (the “Receiving Area”) under the following conditions:

- (1) Permitted Units may be transferred from one Master Plan Area to another within Kiley Ranch North; no such transfers will be allowed to or from development areas outside Kiley Ranch North.
- (2) Before and after each transfer, the sum total of Permitted Units for all of the Master Plan Areas may not exceed 4,463; densities for residential uses may not be exchanged with or converted to non-residential uses under this agreement.
- (3) The number of Permitted Units transferred to any Receiving Area shall not exceed the maximum density for such area (as indicated in the Master Plan) by more than ten percent (10%), provided that the foregoing 10% limitation shall not apply when the Receiving Area is the area designated in the Master Plan as the “Village Center.”
- (4) The owner of the Receiving Area must present evidence satisfactory to Cityworks that there will be adequate infrastructure serving the Receiving Area to accommodate the increase in Permitted Units.

To effectuate a transfer of Permitted Units, the owners of the Sending Area and Receiving Area must jointly petition to the City of Sparks for permission to transfer, using a form obtained from City of Sparks. City of Sparks may approve transfers of Permitted Units as Minor Deviations from the plan so long as the conditions set forth above have been met. If the conditions in the foregoing sentence are not met, the transfer must be processed as an amendment to the Handbook, and, if applicable, an amendment to the City of Sparks Master Plan. Upon completion of the transfer, the Permitted Units become appurtenant to the real property of the Receiving Area.

All transfers shall be logged onto a “transfer log” maintained by the City.

## 1.8 ENTITLEMENT PROCESS SUMMARY

For clarification, the entitlement process for the Handbook and Individual Projects, including the potential overlap of steps in the entitlement process, is summarized below. The Master Developer intends to process Final Approval of the first Phase or shortly after the Tentative Approval and approval of the Project by the Regional Housing Commission, as reflected in the chart.

### ENTITLEMENT PROCESS FOR FIRST PHASE

First Step (This step has been completed.)

- Annexation of First Phase (with appropriate parcelization of property)
- NUD Zoning of First Phase (with appropriate parcelization of property)
- Tentative Approval of Handbook for all of Kiley Ranch North
- Development Agreement (recorded against all of Kiley Ranch North)

Second Step\* (This step has been completed.)

- Final Approval of Handbook as to First Phase (recorded against property in First Phase)

Third Step (Per Individual Project)\*

- Individual Project Approval Process, including Special Use Permit (if any)

\*This step may be commenced prior to completion of the preceding step.

### ENTITLEMENT PROCESS FOR EACH REMAINING PHASE

First Step

- Annexation of Phase (with appropriate parcelization of property)
- NUD Zoning of Phase (with appropriate parcelization of property)

Second Step\*

- Final Approval of Handbook as to Phase (recorded against property in Phase)

Third Step (Per Individual Project)\*

- Individual Project Approval Process, including Special Use Permit (if any)

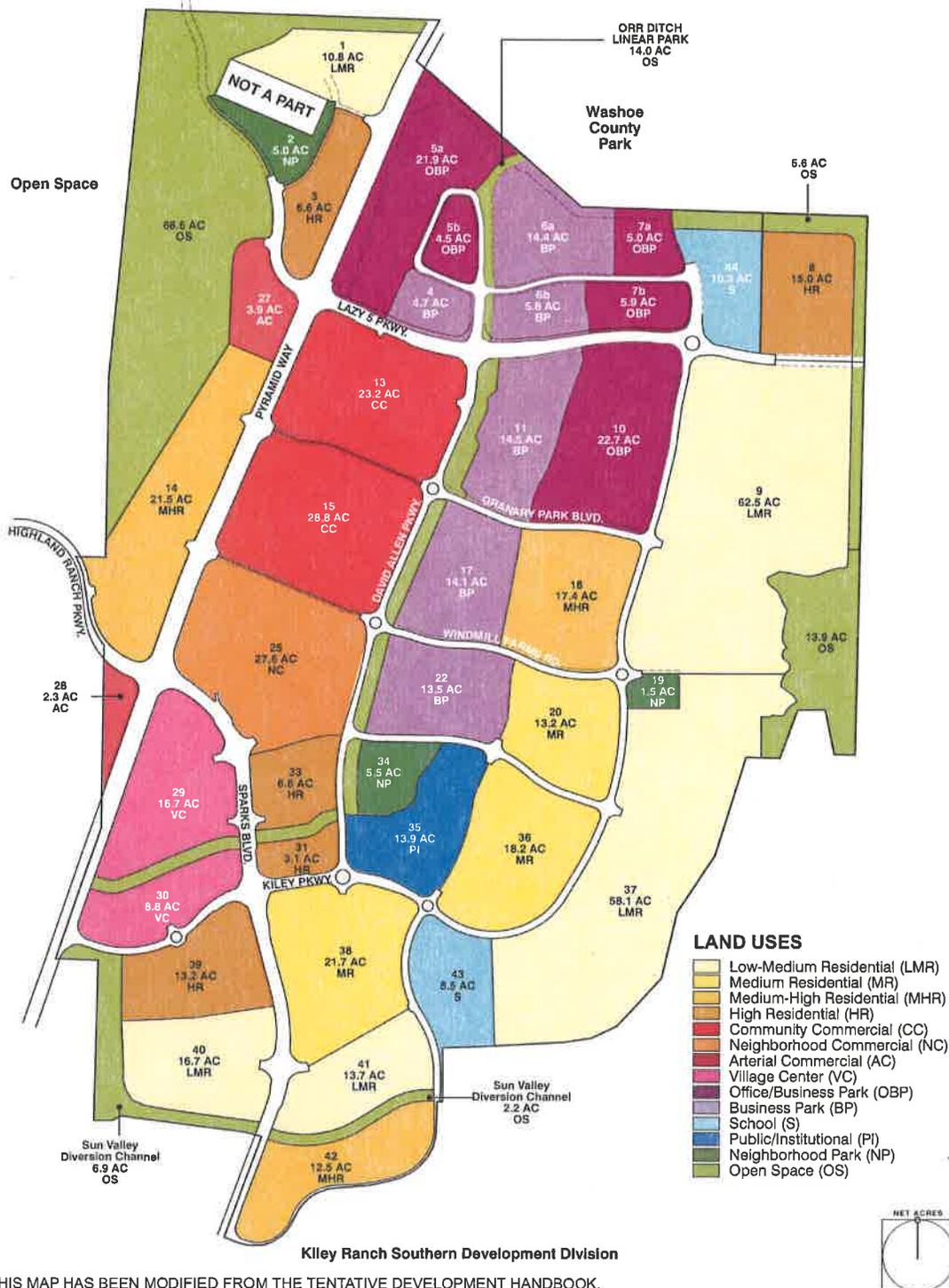
\*This step may be commenced prior to completion of the preceding step.

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2 DEVELOPMENT STANDARDS

2.1 PURPOSE & COMPLIANCE

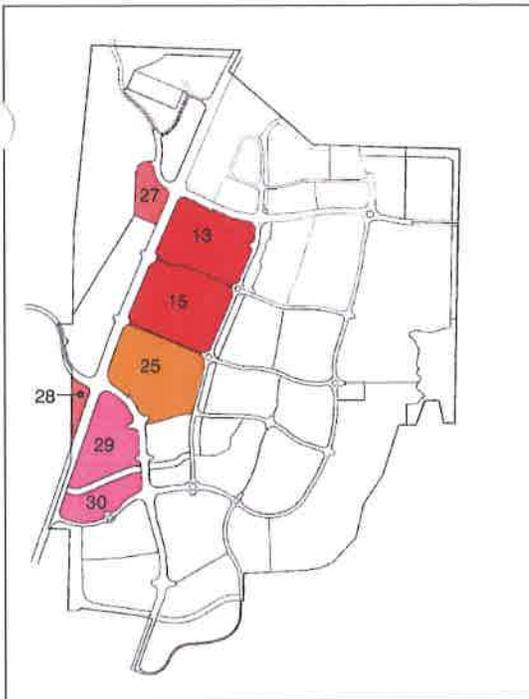
The purpose of Chapter Two is to set regulatory requirements for the various land uses located within the Kiley Ranch North development. These requirements include standards for land use, density/intensity, walls, signs, parking, lighting, and landscaping. In addition, standards for the design of rights-of-way, landscape development zones, trails, parks, and entries are also addressed. All development shall be consistent with the text, policies, standards, and associated tables and exhibits of this Development Handbook. Where a conflict exists between these development standards and the City of Sparks Municipal Code the standards contained herein shall apply. Where this Development Handbook remains silent, the provisions and definitions within the City of Sparks Municipal Code and Subdivision Regulations shall apply.



Kiley Ranch Southern Development Division

\* THIS MAP HAS BEEN MODIFIED FROM THE TENTATIVE DEVELOPMENT HANDBOOK.

**Retail Commercial Service Areas**



Area	Land Use	Net Acres
13	Community Commercial	23.2
15	Community Commercial	28.8
	<b>CC Total</b>	<b>52.0</b>
25	Neighborhood Commercial	27.6
	<b>NC Total</b>	<b>27.6</b>
27	Arterial Commercial	3.9
28	Arterial Commercial	2.3
	<b>AC Total</b>	<b>6.2</b>
29	Village Center Commercial	16.7
30	Village Center Commercial	8.8
	<b>VCC Total</b>	<b>25.5</b>
	<b>TOTALS</b>	<b>111.3</b>

\* Net Acres established in Kiley Ranch Phase 3 Development Handbook

**2.2 LAND USE DEVELOPMENT STANDARDS**

**2.2.1 Retail Commercial Service - CC, NC, AC, and VC**

**2.2.1.1 Description**

The purpose of these land use designations is to provide general commercial and service uses adjacent to Pyramid Highway. These uses will serve the adjoining residential and office uses, as well as providing for the commercial demand of the greater Spanish Springs Valley.

Retail Commercial Service uses provide four general types of commercial categories: Community Commercial, Neighborhood Commercial, Arterial Commercial, and Village Center Commercial. The categories vary in size, locational preference and goods and services provided. Combined retail commercial service uses provide a regional commercial center that serves a “region-wide” population base. Community Commercial generally provides the “buying” market of the greater community with a larger depth of merchandise and is supported by discount or junior department/variety stores. Neighborhood Commercial offers retail and services to the immediate residential neighborhoods and is most commonly anchored by a supermarket and/or drugstore. Arterial Commercial is dependent upon highly accessible site locations, where it can easily provide services often found in corner or convenience centers. These uses do not require an anchor store to viably function. The Village Center Commercial provides a unique shopping experience in which a mixture of restaurants, boutiques, upscale specialty stores, and entertainment create a more leisurely commercial environment. Such a component helps to create the identity and quality of this regional commercial center and is important for generating social activity in an aesthetically pleasing environment.

**2.2.1.2 Land Use**

Permitted uses and those uses requiring a Special Use Permit are contained in Table 2-1, Land Use Matrix, in Section 2.2.8.

## 2.2.1.3 Setbacks and Density/Intensity Requirements

TYPE	COMMUNITY (CC)	NEIGHBORHOOD (NC)	ARTERIAL (AC)	VILLAGE CENTER (VC)
<b>DESCRIPTION</b>	This commercial type provides for regional retail and service uses. Generally, it is anchored by larger scale commercial operations, including home improvement stores, furniture stores, discount stores, etc., and is supported by restaurants and other junior retail stores. Refer to Exhibit 3-1 for a prototype site plan.	This commercial type provides for localized retail and service uses serving adjacent residential neighborhoods. Typical uses include a supermarket, drugstore, restaurant, and other smaller retail and support services such as banks and video rental stores. Refer to Exhibit 3-2 for a prototype site plan.	This commercial type provides for small retail and services that are convenient and easily accessible for both regional and local residents. Generally located on corners, typical uses include gas/service stations, dry cleaners, liquor stores, donut shops, and fast food. Refer to Exhibit 3-3 for a prototype site plan.	This commercial type provides retail, service and entertainment within a vibrant "Main Street" setting. Typical uses target a shopping market with restaurants, entertainment, boutique shops, coffee shops, and bookstores. Refer to Exhibit 3-8 for a prototype site plan. Certain types of office and residential uses are permitted above the first floor. <sup>2</sup>
<b>BUILDING INTENSITY</b>				
Building Coverage	25% max.	30% max.	25% max.	85% max.
Building Height	45 ft. max.	45 ft. max.	45 ft. max.	80 ft. max.
Building Separation	0 ft. or 20 ft. min.	0 ft. or 20 ft. min.	0 ft. or 20 ft. min.	0 ft. or 20 ft. min.
<b>LANDSCAPING</b>				
Landscape Requirement	Min. 15% of dev. area <sup>1</sup>	Min. 15% of dev. area <sup>1</sup>	Min. 15% of dev. area <sup>1</sup>	Min. 20% of dev. area <sup>1</sup>
<b>BUILDING SETBACKS FROM R.O.W.</b>				
Pyramid Highway	50 ft. min.	50 ft. min.	50 ft. min.	50 ft. min.
Sparks Boulevard	N/A	30 ft. min	N/A	30 ft. min.
Highland Ranch Parkway	N/A	N/A	25 ft. min.	N/A
Kiley Ranch Parkway	N/A	N/A	N/A	25 ft. min.
Lazy 5 Parkway	25 ft. min.	N/A	N/A	N/A
Orr Ditch Parkway	15 ft. min/25 ft. min. rear	N/A	N/A	N/A
Collector Roads	15 ft. min.	15 ft. min.	15 ft. min.	N/A
Internal Private Roads	10 ft. min.	10 ft. min.	10 ft. min.	10 ft. min.
Property Line <sup>5</sup>	10 ft. min.	10 ft. min.	10 ft. min.	10 ft. min.
<b>BUILDING PROJECTIONS</b>	See item 3 & 4 below	See item 3 & 4 below	See item 3 & 4 below	See item 3 & 4 below.

1 - Development area does not include any landscape buffer adjacent to a development parcel. The parcel developer is required to install any portion of the landscape buffer adjacent to their parcel. The locations and design requirements for landscape buffer are further described in Section 2.3.

2- The following residential development standards are applicable to the Village Center land use.

- a) All residential units shall be located above the ground floor and cannot be the sole use of the building in which they occupy.
- b) Each residential unit should have private outdoor space where appropriate and feasible. Private outdoor space includes balconies, courtyards, and patios. However it is the intent of the village center to provide the recreation and leisure activities for the residents living within the village center.
- c) Off-street parking and loading shall be provided as required by Chapter 20.49 of the Sparks Municipal Code. Shared parking facilities should be utilized where feasible.

3 - Cornices, overhangs and eaves may extend not more than three (3) feet into any required front, side or rear setback. Decks, balconies and landings above the ground floor elevation of a building, exterior stairways, and portions of uncovered decks or porches may extend not more than two (2) feet into any required front, side or rear setback.

4 - Projections, including awnings and decorative features, must have an eight (8) foot high clearance. Within the Village Center projections must obtain a public easement license to occupy areas above the public right-of-way.

5 - This includes all property lines within Kiley Ranch North that do not border state highways, boulevards, parkways, or collector roads.

**2.2.1.4 Walls and Fences**

- a) Walls and fences within Kiley Ranch North shall comply with the following standards as well as the regulations contained within Sections 20.37.020.B and 20.37.020.D of the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code, the standards contained herein shall apply.
- b) Screen walls shall be used to screen service, loading, trash and/or utility areas where they abut adjacent public rights-of-way, pedestrian plazas, parking lots, or adjacent non-compatible uses.
- c) Screen walls shall be a minimum of six feet in height, but not more than eight feet high and shall incorporate landscape screening. Refer to Section 3.2.1.8.
- d) Refer to Section 3.2.1.7 for design guidelines and standards related to the screening of walls with landscape.
- e) Barbed wire, plain exposed concrete block, and chain link are prohibited except in special cases deemed appropriate by the DRC and the City of Sparks.
- f) Chain link may be used during construction on a temporary basis at construction sites.

**2.2.1.5 Signs**

- a) In addition to the following standards, signs within Kiley Ranch North shall comply with the regulations governing signs contained within Chapter 20.56 of the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code, the standards contained herein shall apply.
- b) These standards may be modified by the developer if unique qualities and standards are required by tenants with particular requirements or identity programs. In this case, a master sign program for each development parcel/center where the number, types and location of signs are best determined by the unique needs of the property owners or tenants, may be submitted to the City of Sparks and the Kiley Ranch Design Review Committee (DRC) for review. The master sign program shall establish the style and type of sign for the entire development parcel/center so the signs are consistent throughout the project. For new development, signs shall be reviewed through the site plan review process. Remodel of an existing tenant space shall be submitted for a sign permit through the City of Sparks. All tenants signs must be approved by the City of Sparks and the DRC.
- c) Refer to Section 3.2.1.6 for design standards and guidelines related to signs.

**2.2.1.6 Parking**

The following parking requirements are maximums for the following typical Retail Commercial Service uses. Joint-use parking should be considered within each planning area at Site Plan Review. All other general parking requirements and minimum number of spaces required shall comply with the Sparks Municipal Code as specified in Chapter 20.49. Refer to Chapter Three for design standards and guidelines addressing parking design and layout.

**RETAIL USES**

<u>General Retail/Commercial</u>	- 1 space/200 sq. ft. of gross floor area (GFA)
	- 1 space/1,000 sq. ft. of GFA (for lumber yards/ancillary storage uses)
<u>Personal Service</u>	- 1 space/150 sq. ft. of GFA
<u>Health Club/Recreation Facility</u>	- 1 space/150 sq. ft. of GFA

**RESTAURANTS**

<u>High Volume</u> (fast food)	- 13 spaces/1,000 sq. ft. of GFA
<u>Low Volume</u> (sit down)	- 10 spaces/1,000 sq. ft. of GFA

**SERVICE/OFFICE USES**

<u>Financial Institutions</u>	- 1 space/250 sq. ft. of GFA
<u>General/Professional Offices</u>	- 1 space/225 sq. ft. of GFA
<u>Medical Office</u>	- 1 space/180 sq. ft. of GFA
<u>Childcare Facility</u>	- 1 space/staff member + 1 drop-off space/6 children

**ENTERTAINMENT**

<u>Movie Theaters</u>	- 1 space/3 seats
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**2.2.1.7 Lighting**

- a) Any light source over ten (10) feet high shall incorporate a cut-off shield to confine illumination to the site and protect adjacent properties from glare.
- b) Exterior lights shall not blink, flash or change intensity. String lights, building or roofline tube lighting, reflective or luminescent wall surfaces are prohibited unless approved by the DRC and the City of Sparks.
- c) All sources of light shall be concealed and directed downward. Parking lot, walkway and area lighting shall be directed downward with no light spilling off-site. The light source shall be kept as low to the ground as possible while ensuring safe and functional levels of illumination.
- d) Light poles and fixtures within each commercial project shall be approved by the Kiley Ranch DRC and the City of Sparks.
- e) A master lighting program for each development parcel/center where the number, types and location of lighting is best determined by the unique needs of the property owners or tenants may be submitted to the City of Sparks and the Kiley Ranch Design Review Committee (DRC) for review. The master lighting program shall establish the style and type of light for the entire development parcel/center so the light poles and fixtures are consistent throughout the project.
- f) Lighting within Kiley Ranch North shall comply with the regulations governing lighting contained within the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code the standards contained herein shall apply.
- g) Refer to Section 3.2.1.5 for design standards and guidelines related to lighting in commercial and office/business park areas. Refer to Section 3.2.2.6 for design standards and guidelines related to lighting in the Village Center commercial area.

**2.2.1.8 Landscape**

- a) The minimum number of trees to be planted in the required landscape area shall be one tree per 500 square feet. Parking lot trees are in addition to this requirement.
- b) For parking lots under 125 parking spaces, a minimum of one shade tree for every six (6) parking spaces shall be provided. For parking lots over 125 spaces, a minimum of one shade tree for every ten (10) parking spaces shall be provided. Refer to the Landscape Palette in Section 2.4 and Sections 3.2.1.3 and 3.2.1.4 for additional design standards and guidelines related to landscaping.
- c) Landscaping within Kiley Ranch North shall comply with the regulations governing landscaping contained within Chapter 20.32 of the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code, the standards contained herein shall apply.

**2.2.1.9 Service, Trash and Utility Areas**

- a) Trash and storage areas shall be screened and gated. Trash enclosures shall be finished using materials that complement the development architecture and shall be screened with landscaping on three sides. Refer to Exhibit 3-7, Service, Trash and Utility Area Design Standards. Gates shall be constructed of visually pleasing durable materials that visually screen the dumpster. Trash collection areas shall be approved by disposal services, DRC and the City of Sparks.
- b) Service, trash and storage areas shall be incorporated into the overall design of the site and building so that the visual and acoustic impacts of these functions are fully contained and out of view from adjacent properties and public streets. Walls used to screen these areas shall have a minimum five (5) foot wide landscaped area located in front.
- c) Exterior onsite utilities, including sewer, gas, water, electric, telephone and communications equipment must be installed underground. Transformers and other utility equipment that must be above ground shall be screened with landscaping and incorporated into the streetscape to the approval of the utility company and the City of Sparks.
- d) Rooftop equipment on buildings shall be shielded from view from public streets. Screening will be compatible with the design, form, material and color of the building. All rooftop equipment shall be organized into major groups to the greatest extent possible. It is the intent to screen groupings of equipment with a single architectural massing made of durable materials incorporated into the building design. Lattice work will not be permitted.
- e) Refer to Section 3.2.1.8 for specific standards.

**2.2.2 Office/Business Park - OBP and BP**

**2.2.2.1 Description**

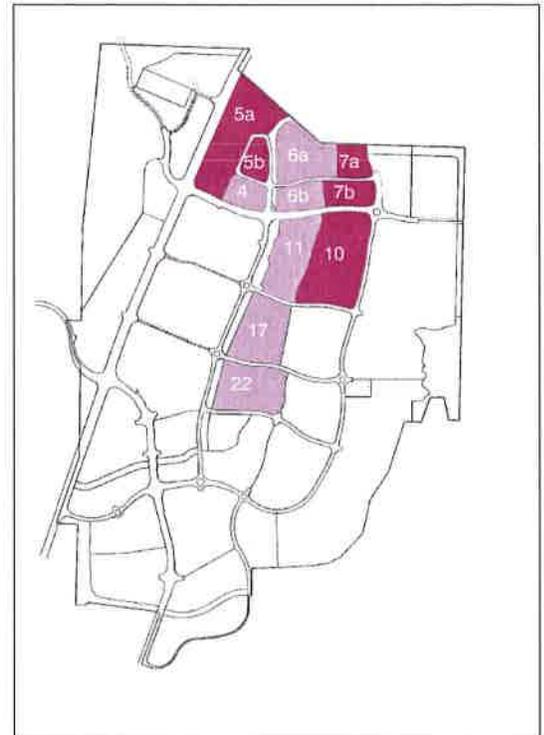
The purpose of these land use designations is to provide for the development of a business park complex that will encourage the emerging employment center policy of the NSSOI region. These areas have been concentrated and strategically located within the community to provide a sufficient employment base for local residents. These land uses are intended to provide office employment uses, research and development space, advanced technology based manufacturing and assembly space, private educational and trade schools/colleges, and corporate business campuses/headquarters. Related retail and service uses may also be present to support these uses. These allowed uses may also be associated with providing services to, or are dependent on, adjacent manufacturing, assembly, production, distribution or warehousing facilities within the Kiley Ranch Business Park.

The intent of the Office/Business Park area is addressed with two types of uses: Office/Business Park and Business Park. Uses allowed in the Business Park are also allowed in the Office/Business Park use with the exception of certain light and medium industrial uses. Both areas however, share the interest of allowing such typical uses as financial institutions, professional offices, administration offices, research and development operations, and advanced technology-based manufacturing, packaging and assembly uses, hospitals, training centers, and design studios.

**2.2.2.2 Land Use**

Permitted uses and those uses requiring a Special Use Permit are contained in Table 2-1, Land Use Matrix, in Section 2.2.8.

**Office/Business Park Areas**



Area	Land Use	Net Acres
4	Business Park	4.7
5a	Office/ Business Park	21.9
5b	Office/ Business Park	4.5
6a	Business Park	14.4
6b	Business Park	5.8
7a	Office/ Business Park	5.0
7b	Office/ Business Park	5.9
10	Office/ Business Park	22.7
11	Business Park	14.5
17	Business Park	14.1
22	Business Park	13.5
<b>TOTALS</b>		<b>127.0</b>

**2.2.2.3 Setbacks and Density/Intensity Requirements**

TYPE	OFFICE/BUSINESS PARK (OBP)	BUSINESS PARK (BP)
<b>DESCRIPTION</b>	This designation is intended to provide for professional office, research and development, advanced technology based manufacturing, assembly, and commercial services required to support these uses.	This designation is intended to provide for professional office, research and development, light and medium industrial, and commercial services required to support these uses.
<b>BUILDING INTENSITY</b>		
Building Coverage <sup>3</sup>	20% max.	50% max.
Building Height <sup>3</sup>	80 ft. max. <sup>4</sup>	55 ft. max. <sup>4</sup>
<b>LANDSCAPING</b>		
Landscape Requirement	Min. 20% of site area <sup>1</sup>	Min. 20% of site area <sup>1</sup>
<b>BUILDING SETBACKS FROM PROPERTY LINE</b>		
Pyramid Way	25 ft. min.	N/A
Kiley Parkway	10 ft. min.	10 ft. min.
Lazy 5 Parkway	10 ft. min.	10 ft. min.
David Allen Parkway	10 ft. min.	10 ft. min.
Collector Roads	15 ft. min.	15 ft. min.
Circulator Roads	15 ft. min.	15 ft. min.
Internal Private Roads	10 ft. min.	10 ft. min.
Adjacent Parcel <sup>2</sup>	10 ft. min	10 ft. min
<p>1 - Site area does not include any Landscape Development Zone adjacent to a development parcel. The locations and design requirements for landscape buffers are further described in Section 2.3.</p> <p>2 - This includes all property lines within Kiley Ranch North that do not border state highways, boulevards, parkways, or collector roads.</p> <p>3 - Definitions:</p> <p>a) Building Coverage - is defined as the ratio between the ground floor area of enclosed buildings and the net area of the site, expressed in a percent form.</p> <p>b) Building Height - is the vertical distance from the average level of the highest and lowest points of the portion of the graded pad covered by the building to the height of the ceiling. A Special Use Permit (SUP) will be required if the building height exceeds 80' for OBP and 55' for BP.</p> <p>4 - Building projections such as towers, gables, spires, cupolas, and like structures including mechanical equipment may extend five (5) feet above the allowed maximum building height. All mechanical equipment must be screened from view at street level and parking lots.</p>		

**2.2.2.4 Walls and Fences**

- a) Walls and fences within Kiley Ranch North shall comply with the following standards as well as the regulations contained within the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code the standards contained herein shall apply.
- b) Screen walls shall be used to screen service, loading, trash and/or utility areas where they abut adjacent public rights-of-way, pedestrian plazas, parking lots, or adjacent non-compatible uses.
- c) Screen walls and/or landscape berming shall be a minimum of six feet in height, but not more than eight feet high and shall incorporate landscape screening.
- d) Refer to Section 3.2.1.7 for design standards and guidelines related to the screening of walls.
- e) Barbed wire, plain exposed concrete block, and chain link are prohibited except in special cases deemed appropriate by the DRC and the City of Sparks.

f) Chain link with approved mesh screening may be used on a temporary basis at construction sites.

### 2.2.2.5 Signs

a) In addition to the following standards, signs within Kiley Ranch North shall comply with the regulations governing signs contained within Chapter 20.56 of the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code, the standards contained herein shall apply. All signs shall be submitted to the City of Sparks for a sign permit. All signs proposed for new development, remodel, or tenant improvement shall be approved by the City of Sparks and the DRC prior to any sign permit being issued.

b) All signs in the Office/Business Park shall conform with the "PO" Professional Office standards contained in the Sparks Municipal Code Sign Regulations except as follows:

1. Maximum allowable sign area per site shall have a minimum allowed sign area per site of 300 square feet.
2. One freestanding sign per site shall be allowed up to a height of 20 feet and a maximum of 200 square feet.
3. Channel letters are required on all wall/building mounted signs.
4. Routed aluminum with push through letters shall be allowed on all free standing/monument signs.

### 2.2.2.6 Parking

The following parking requirements are maximums for the following typical Office/Business Park uses. Joint-use parking should be considered within each planning area at Site Plan Review or Special Use Permit. All other general parking requirements and minimum number of spaces required shall comply with the Sparks Municipal Code. Refer to Chapter Three for design standards and guidelines addressing parking design and layout.

#### OFFICE/SERVICE USES

<u>General/Professional Offices</u>	- 1 space/250 sq. ft. of gross floor area (GFA)
<u>Medical Office</u>	- 1 space/175 sq. ft. of GFA
<u>Financial Institutions</u>	- 1 space/250 sq. ft. of GFA
<u>Childcare Facility</u>	- 1 space/staff member + 1 drop-off space/6 children
<u>Hospital</u>	- 1.25 space/bed

#### BUSINESS PARK USES

<u>Research and Development</u>	-1 space/ 250 sq. ft. of GFA
<u>Manufacturing</u>	-1 space/1000 sq. ft. of GFA
<u>Warehousing</u>	-1 space/3000 sq. ft. of GFA

NOTE: Parking requirements for other permitted uses not listed above shall comply with current City of Sparks Municipal Code.

**2.2.2.7 Lighting**

- a) Any light source over ten (10) feet high shall incorporate technology to confine illumination to the site and protect adjacent properties from glare. Exposed light sources in partially shielded luminaries are prohibited.
- b) Exterior lights that blink, flash or change color/intensity are prohibited. String festoon lights, building or roofline tube lighting, reflective or luminescent wall surfaces are prohibited unless used during holiday season or special events and with prior approval by the DRC or the MC.
- c) All sources of light shall be concealed and directed downward (other than for special landscape lighting). Parking lot, walkway and area lighting shall be directed downward with no light spill on adjacent property when measured at ground level. The light source shall be kept as low to the ground as possible while ensuring safe and functional levels of illumination.
- d) Lighting design, calculation, poles and fixtures within each project shall be approved by the DRC and the City of Sparks.
- e) Lighting shall have a common design and color within the development. All variable lighting components shall have a common design and color and be consistent throughout the project.
- f) Lighting within Kiley Ranch North shall comply with the regulations governing lighting contained within the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code the standards contained herein shall apply.
- g) Appropriate hours of light operation shall be established for each project based on use, occupant convenience, energy efficiency, adjacent land use as well as maximizing dark sky strategies per approval of the DRC.
- h) Refer to Section 3.2.1.5 for design standards and guidelines standards related to lighting.

**2.2.2.8 Landscape**

- a) The minimum number of trees to be planted in the required landscape area shall be one tree per 500 square feet. Parking lot trees are in addition to this requirement.
- b) For parking lots under 125 parking spaces a minimum of one shade tree for every seven (7) parking spaces shall be provided. For parking lots over 125 spaces, a minimum of one shade tree for every ten (10) parking spaces shall be provided. Refer to Sections 3.2.1.3 and 3.2.1.4 for design guidelines and standards related to landscaping.
- c) Landscaping within Kiley Ranch North shall comply with the regulations governing landscaping contained within the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code, the standards contained herein shall apply. The DRC shall review and approve landscape plans prior to City of Sparks approval.

**2.2.2.9 Service, Trash and Utility Areas**

- a) Trash, recycling, and storage areas shall be screened and gated. Trash enclosures shall be finished using materials that complement the development architecture and shall be screened with landscaping. Refer to Exhibit 3-7, Service, Trash and Utility Area Design Standards.

- b) Service, trash and storage areas shall be incorporated into the overall design of the site and building so that the visual and acoustic impacts of these functions are fully contained and out of view from adjacent properties and public streets. Walls used to screen these areas shall have an adjacent minimum five (5) foot wide landscaped area.
- c) Exterior onsite utilities, including sewer, gas, water, electric, telephone and communications equipment must be installed underground. Transformers and other utility equipment that must be above ground shall be screened with landscaping and incorporated into the streetscape to the approval of the utility company and the City of Sparks.
- d) Rooftop equipment on buildings shall be shielded from view from parking lots and public streets. Screening will be compatible with the design, form, material and color of the building. All rooftop equipment shall be organized into major groups to the greatest extent possible. It is the intent to screen groupings of equipment with a single architectural massing made of durable materials incorporated into the building design. Wood lattice work will not be permitted.
- e) Refer to Section 3.2.1.8 for specific standards.

**2.2.3 Public/Institutional Areas - PI**

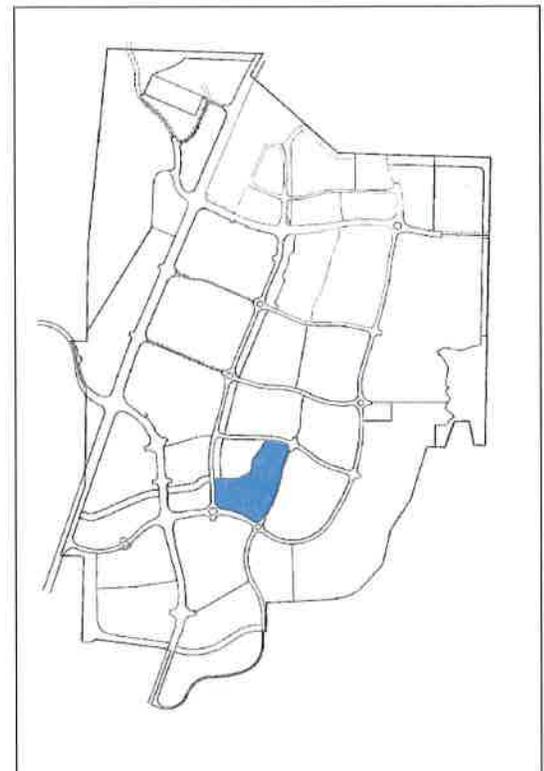
**2.2.3.1 Description**

The purpose of this land use designation is to provide for community serving facilities that are centrally located within the community and promote community gathering and activity. It is planned adjacent to a neighborhood park where the facilities can share and integrate the use of the park. Typical uses in these areas include a range of public serving facilities such as community gardens, clubs and lodges, community recreation center, churches, health centers, fire stations, police or sheriff sub-stations; and civic uses such as libraries and post offices. It is intended that the uses in Public/Institutional areas will create a point of reference and identification shared between the non-residential and residential areas of the community.

**2.2.3.2 Land Use**

Permitted uses and those uses requiring a Special Use Permit are contained in Table 2-1, Land Use Matrix, in Section 2.2.8.

**Public/Institutional Areas**



Area	Land Use	Net Acres
35	Public/Institutional	13.9
<b>TOTALS</b>		<b>13.9</b>

**2.2.3.3 Setbacks and Density/Intensity Requirements**

TYPE	PUBLIC/INSTITUTIONAL (PI)
<b>DESCRIPTION</b>	Public/Institutional uses provide community serving facilities. Typical uses include a fire station, churches, community recreation center, libraries, and clubs and lodges.
<b>BUILDING INTENSITY</b>	
Building Height	45 ft.
Building Separation	0 ft. or 20 ft.
<b>LANDSCAPING</b>	
Landscape Requirement	Minimum 25% of development area <sup>1</sup>
<b>BUILDING SETBACKS FROM R.O.W.</b>	
Kiley Ranch Parkway	25 ft. min.
Orr Ditch Parkway	15 ft. min.
Collector Roads	15 ft. min.
Internal Private Roads	10 ft. min.
Property Line <sup>2</sup>	10 ft. min.
1 - Development area does not include any landscape buffer adjacent to a development parcel. The locations and design requirements for landscape buffers are further described in Section 2.3.	
2 - This includes all property lines within Kiley Ranch North that do not border state highways, boulevards, parkways, or collector roads.	

**2.2.3.4 Walls and Fences**

a) Walls and fences within Kiley Ranch North shall comply with the following standards as well as the regulations contained within Section 20.37.020.D of the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code the standards contained herein shall apply.

b) Screen walls shall be used to screen service, loading, trash and/or utility areas where they abut adjacent public rights-of-way, pedestrian plazas, parking lots, or adjacent non-compatible uses.

c) Screen walls shall be a minimum of six feet in height, but not more than eight feet high and shall incorporate landscape screening.

d) Refer to Section 3.2.1.7 for design standards and guidelines related to the screening of walls.

e) Barbed wire, plain exposed concrete block, and chain link are prohibited except in special cases deemed appropriate by the DRC and the City of Sparks.

f) Chain link may be used on a temporary basis at construction sites.

g) Vinyl coated chain link may be used as a fencing material for outdoor public park facilities such as but not limited to perimeter fencing, baseball backstops, swimming pools, or tennis courts.

**2.2.3.5 Signs**

a) Signs for Public/Institutional areas shall be designed to identify and locate individual facilities for proper visibility to passing motorists, without being obtrusive to surroundings uses and a danger to passing traffic.

b) One monument sign per parcel shall be permitted with a maximum height of six (6) feet. No additional freestanding signs shall be permitted with the exception of directional signs or traffic control signs. Pylon or pole signs are specifically prohibited.

c) Signs within Kiley Ranch North shall comply with the regulations governing signs contained within Chapter 20.56 of the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code the standards contained herein shall apply.

d) Refer to Section 3.2.1.6 for design guidelines and standards related to signs.

### 2.2.3.6 Parking

The following parking requirements are maximums for the following typical Public/Institutional uses. Joint-use parking should be considered within each planning area at Site Plan Review. All other general parking requirements and minimum number of spaces required shall comply with the Sparks Municipal Code as specified in Chapter 20.49. Refer to Chapter Three for design standards and guidelines addressing parking design and layout.

#### PUBLIC/INSTITUTIONAL USES

<u>Churches</u>	- 1 space/3 seats + 1 space/300 sqft of additional usable gross floor area (GFA)
<u>Community Recreation Center</u>	- 1 space/200 sq. ft. of GFA
<u>Clubs and Lodges</u>	- 1 space/250 sq. ft. of GFA
<u>Library</u>	- 1 space/200 sq. ft. of GFA
<u>Government Offices</u>	- 1 space/225 sq. ft. of GFA
<u>Atheletic Fields/Courts</u>	- To be determined at site plan review

### 2.2.3.7 Lighting

a) Any light source over ten (10) feet high shall incorporate a cut-off shield to confine illumination to the site and protect adjacent properties from glare.

b) Exterior lights shall not blink, flash or change intensity. String lights, building or roofline tube lighting, reflective or luminescent wall surfaces are prohibited unless approved by the DRC and the City of Sparks.

c) All sources of light shall be concealed and directed downward. Parking lot, walkway and area lighting shall be directed downward with no light spilling off-site. The light source shall be kept as low to the ground as possible while ensuring safe and functional levels of illumination.

d) Lighting shall be placed along primary pedestrian pathways, at pedestrian bridge crossings, parks, and other special high use areas.

e) Lighting shall have a common design and color within the development.

f) Bollards shall have a maximum height of 45 inches.

g) Pedestrian lighting shall be spaced at intervals appropriate to facilitate the safety of the pedestrian.

h) Light poles and fixtures within each project shall be approved by the Kiley Ranch DRC and the City of Sparks.

i) Lighting within Kiley Ranch North shall comply with the regulations governing lighting contained within the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code the standards contained herein shall apply.

j) Refer to Section 3.2.1.5 for design guidelines and standards related to lighting.

**2.2.3.8 Landscape**

a) The minimum number of trees to be planted in the required landscape area shall be one tree per 500 square feet. Parking lot trees are in addition to this requirement.

b) For parking lots under 125 parking spaces a minimum of one shade tree for every six (6) parking spaces shall be provided. For parking lots over 125 spaces, a minimum of one shade tree for every ten (10) parking spaces shall be provided. Refer to the Landscape Palette in Section 2.4 and Sections 3.2.1.3 and 3.2.1.4 for design guidelines and standards related to landscaping.

c) Landscaping within Kiley Ranch North shall comply with the regulations governing landscaping contained within Chapter 20.32 of the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code the standards contained herein shall apply.

**2.2.3.9 Service, Trash and Utility Areas**

a) Trash and storage areas shall be screened and gated. Trash enclosures shall be finished using materials that complement the development architecture and shall be screened with landscaping on three sides. Refer to Exhibit 3-7, Service, Trash and Utility Area Design Standards. Gates shall be constructed of durable materials that visually screen the dumpster. Trash collection areas shall be approved by disposal services, DRC and the City of Sparks.

b) Service, trash and storage areas shall be incorporated into the overall design of the site and building so that the visual and acoustic impacts of these functions are fully contained and out of view from adjacent properties and public streets. Walls used to screen these areas shall have a minimum five (5) foot wide landscaped area located in front.

c) Exterior onsite utilities, including sewer, gas, water, electric, telephone and communications equipment must be installed underground. Transformers and other utility equipment that must be above ground shall be screened with landscaping and incorporated into the streetscape to the approval of the utility company and the City of Sparks.

d) Rooftop equipment on buildings shall be shielded from view from public streets. Screening will be compatible with the design, form, material and color of the building. All rooftop equipment shall be organized into major groups to the greatest extent possible. It is the intent to screen groupings of equipment with a single architectural massing made of durable materials incorporated into the building design. Lattice work will not be permitted.

**2.2.3.10 Architecture**

a) Development projects within the Public/Institutional land use designation shall be reviewed by the DRC and the City of Sparks through the site plan review process unless the use requires a special use permit. The architectural style shall be one of the three architectural styles identified in Chapter Three, Design Standards and Guidelines.

**2.2.4 School Area - S**

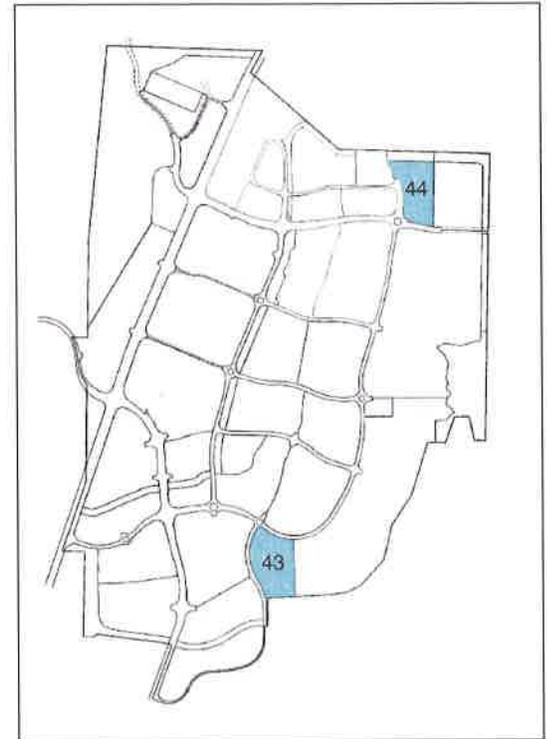
**2.2.4.1 Description**

The purpose of this land use designation is to provide land for a public elementary school that will serve the project. It is planned that the Washoe County School District will purchase the property for the school from the owners of Kiley Ranch North. The property must be purchased within five (5) years of the final approval of the Development Handbook for the particular phase the school property is located. In the event the School District does not acquire the property the use may convert to residential at the density of the adjacent residential land use. If this occurs then a maximum of 294 additional units will be permitted, of which 227 units are located in PA 44, and 67 units are located in PA 43. The new residential areas are subject to their corresponding land use design standards and guidelines contained in this handbook. The general locations are shown conceptually on the Master Plan. Ultimately, its location and size will be determined by the School District as development occurs. If the final location of the school site shifts from the conceptual location shown on the Master Plan to an adjacent residential planning area, then the existing number of allowable units within that planning area will still be permitted. The intent of the School designation is to insure integration of school sites into the neighborhoods that they serve.

**2.2.4.2 Land Use**

Permitted uses and those uses requiring a Special Use Permit are contained in Table 2-1, Land Use Matrix, in Section 2.2.8.

School Area



Area	Land Use	Net Acres
43	School	8.5
44	School	10.3
<b>TOTALS</b>		<b>18.8</b>

**2.2.4.3 Setbacks and Density/Intensity Requirements**

TYPE	SCHOOL (S)
DESCRIPTION	The School/Park designation provides for the development of a public elementary or junior high school, supported by a neighborhood park.
<b>BUILDING INTENSITY</b>	
Building Height	40 ft. max.
Building Separation	0 ft. or 20 ft. min.
<b>LANDSCAPING</b>	
Landscape Requirement	Minimum 20% of development area <sup>1</sup>
<b>BUILDING SETBACKS FROM R.O.W.</b>	
Kiley Ranch Parkway	35 ft. min.
Lazy 5 Parkway	35 ft. min.
Orr Ditch Parkway	25 ft. min.
Collector Roads	20 ft. min.
Internal Private Roads	15 ft. min.
Property Line <sup>2</sup>	10 ft. min.
1 - Development area does not include any landscape buffer adjacent to a development parcel. The locations and design requirements for landscape buffers are further described in Section 2.3.	
2 - This includes all property lines within Kiley Ranch North that do not border state highways, boulevards, parkways, or collector roads.	

**2.2.4.4 Walls and Fences**

- a) Walls and fences within Kiley Ranch North shall comply with the following standards as well as the regulations contained within Section 20.37.020.D of the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code, the standards contained herein shall apply.
- b) Screen walls shall be used to screen service, loading, trash and/or utility areas where they abut adjacent public rights-of-way, pedestrian plazas, parking lots, or adjacent non-compatible uses.
- c) Screen walls shall be a minimum of six feet in height, but not more than eight feet high and shall be shielded with landscape screening.
- d) Refer to Section 3.2.1.7 for design guidelines and standards related to screening walls.
- e) Barbed wire, plain exposed concrete block, and chain link are prohibited except in special cases deemed appropriate by the DRC and the City of Sparks.
- f) Black-vinyl coated chain link fences or electro-galvanized steel mesh fence coated in polyester plastic may be used if the fence is not visible from adjacent public rights-of-way, pedestrian plazas, parking lots, or adjacent non-compatible uses.
- g) Chain link may be used on a temporary basis at construction sites.

**2.2.4.5 Signs**

- a) Signs for School areas shall be designed to identify the campus facility for proper visibility to passing motorists, without being obtrusive to surroundings uses and a danger to passing traffic.

- b) One monument sign per school shall be permitted with a maximum height of six (6) feet. No additional freestanding signs shall be permitted with the exception of directional signs or traffic control signs. Luminescent wall surfaces are permitted only for the announcement of school activities. Pylon or pole signs are specifically prohibited.
- c) Signs within Kiley Ranch North shall comply with the regulations governing signs contained within Chapter 20.56 of the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code, the standards contained herein shall apply.
- d) Refer to Section 3.2.1.6 for design guidelines and standards related to signs

#### **2.2.4.6 Parking**

The following parking requirements are maximums for the following typical school uses. Joint-use parking should be considered within each planning area at Site Plan Review. All other general parking requirements and minimum number of spaces required shall comply with the Sparks Municipal Code as specified in Chapter 20.49.

#### **SCHOOL/PARK USES**

School (K-8) - 2.25 spaces/staff

#### **2.2.4.7 Lighting**

- a) Any light source over ten (10) feet high shall incorporate a cut-off shield to confine illumination to the site and protect adjacent properties from glare.
- b) Exterior lights shall not blink, flash or change intensity. String lights, building or roofline tube lighting, reflective or luminescent wall surfaces are prohibited unless approved by the DRC and the City of Sparks.
- c) All sources of light shall be concealed and directed downward. Parking lot, walkway and area lighting should be directed downward with no projection of light off-site. The light source shall be kept as low to the ground as possible while ensuring safe and functional levels of illumination.
- d) Lighting shall be placed along primary pedestrian pathways, at pedestrian bridge crossings, parks, and other special high use areas.
- e) Lighting shall have a common design and color within the development.
- f) Bollards shall have a maximum height of 45 inches.
- g) Pedestrian lighting shall be spaced at intervals appropriate to facilitate the safety of the pedestrian.
- h) Light poles and fixtures within each project shall be approved by the Kiley Ranch DRC and the City of Sparks.
- i) Lighting within Kiley Ranch North shall comply with the regulations governing lighting contained within the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code, the standards contained herein shall apply.
- j) Refer to Section 3.2.1.5 for design guidelines and standards related to lighting.

**2.2.4.8 Landscape**

a) The minimum number of trees to be planted in the required landscape area shall be one tree per 500 square feet. Parking lot trees are in addition to this requirement.

b) For parking lots under 125 parking spaces a minimum of one shade tree for every six (6) parking spaces shall be provided. Refer to the Landscape Palette in Section 2.4 and Sections 3.2.1.3 and 3.2.1.4 for design guidelines and standards related to landscaping.

c) Landscaping within Kiley Ranch North shall comply with the regulations governing landscaping contained within Chapter 20.32 of the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code, the standards contained herein shall apply.

**2.2.4.9 Service, Trash and Utility Areas**

a) Trash and storage areas shall be screened and gated. Trash enclosures shall be finished using materials that complement the development architecture and shall be screened with landscaping on three sides. Refer to Exhibit 3-7, Service, Trash and Utility Area Design Standards. Gates shall be constructed of durable materials that visually screen the dumpster. Trash collection areas shall be approved by disposal services, DRC and the City of Sparks.

b) Service, trash and storage areas shall be incorporated into the overall design of the site and building so that the visual and acoustic impacts of these functions are fully contained and out of view from adjacent properties and public streets. Walls used to screen these areas shall have a minimum five (5) foot wide landscaped area located in front.

c) Exterior onsite utilities, including sewer, gas, water, electric, telephone and communications equipment must be installed underground. Transformers and other utility equipment that must be above ground shall be screened with landscaping and incorporated into the streetscape to the approval of the utility company and the City of Sparks.

d) Rooftop equipment on buildings shall be shielded from view from public streets. Screening will be compatible with the design, form, material and color of the building. All rooftop equipment shall be organized into major groups to the greatest extent possible. It is the intent to screen groupings of equipment with a single architectural massing made of durable materials incorporated into the building design. Lattice work will not be permitted.

e) For specific standards refer to Section 3.2.1.8.

**2.2.5 Residential Areas - LMR, MR, MHR, and HR**

**2.2.5.1 Description**

The residential land uses within Kiley Ranch North allow a variety of housing densities and types. Four residential land use designations are permitted in the community, including: Low-Medium, Medium, Medium-High, and High Residential. Each category is intended to provide for a variety of housing types over density ranges that may overlap in density with another category. Uses such as community recreation facilities, parks, childcare facilities, and other Public/Institutional uses which are determined to be compatible with and oriented towards the needs of these residential neighborhoods, may also be allowed. The following is a description of each of these residential categories.

**LOW-MEDIUM (LMR): 5.0 - 7.9 du/net acre**

This designation allows single family detached homes in a variety of lot configurations and styles. Lot sizes range from 3,000 to 5,000 square feet. Typical housing types include standard single family detached, detached zero lot line, alley-loaded design, and cluster detached housing. This land use designation is generally located on the edge of the community.

**MEDIUM (MR): 6.0 - 11.9 du/net acre**

This designation allows single family detached and attached homes. Lot sizes range from 2,000 to 4,500 square feet. Typical housing types include small town lot single family detached, detached zero lot line, and alley-loaded design. It also includes townhomes, cluster detached and attached housing, and condominiums. This land use designation is primarily located near commercial uses and community facilities.

**MEDIUM-HIGH (MHR): 12.0 - 17.9 du/net acre**

This designation allows rental and for-sale single family attached products and multi-family dwellings. Typical product types include townhomes, attached cluster products, row houses, and condominiums. This designation is located adjacent to business park uses and the Village Center.

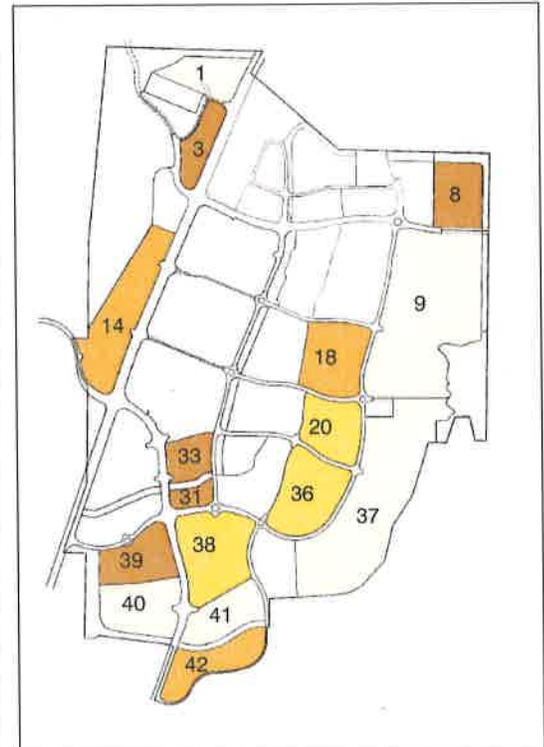
**HIGH (HR): 15.0 - 23.9 du/net acre**

This designation allows rental and for-sale multi-family dwellings. Typical product types include apartments, condominiums, row houses, and townhomes. This designation is primarily located near high activity areas of the community.

**2.2.5.2 Land Use**

Permitted uses and those uses requiring a Special Use Permit are contained in Table 2-1, Land Use Matrix, in Section 2.2.8.

**Residential Areas**



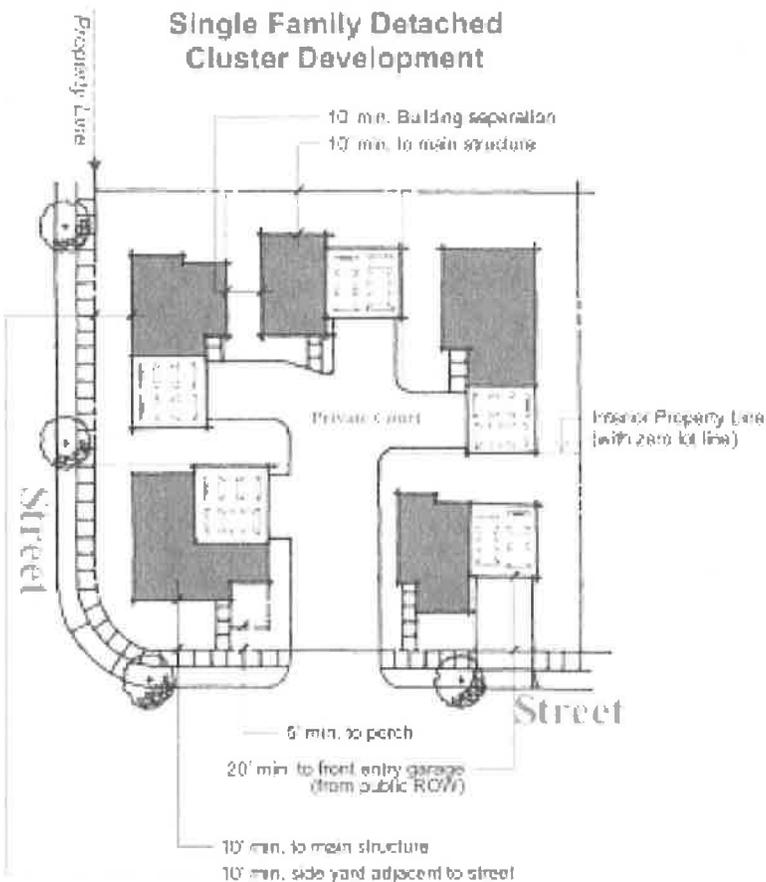
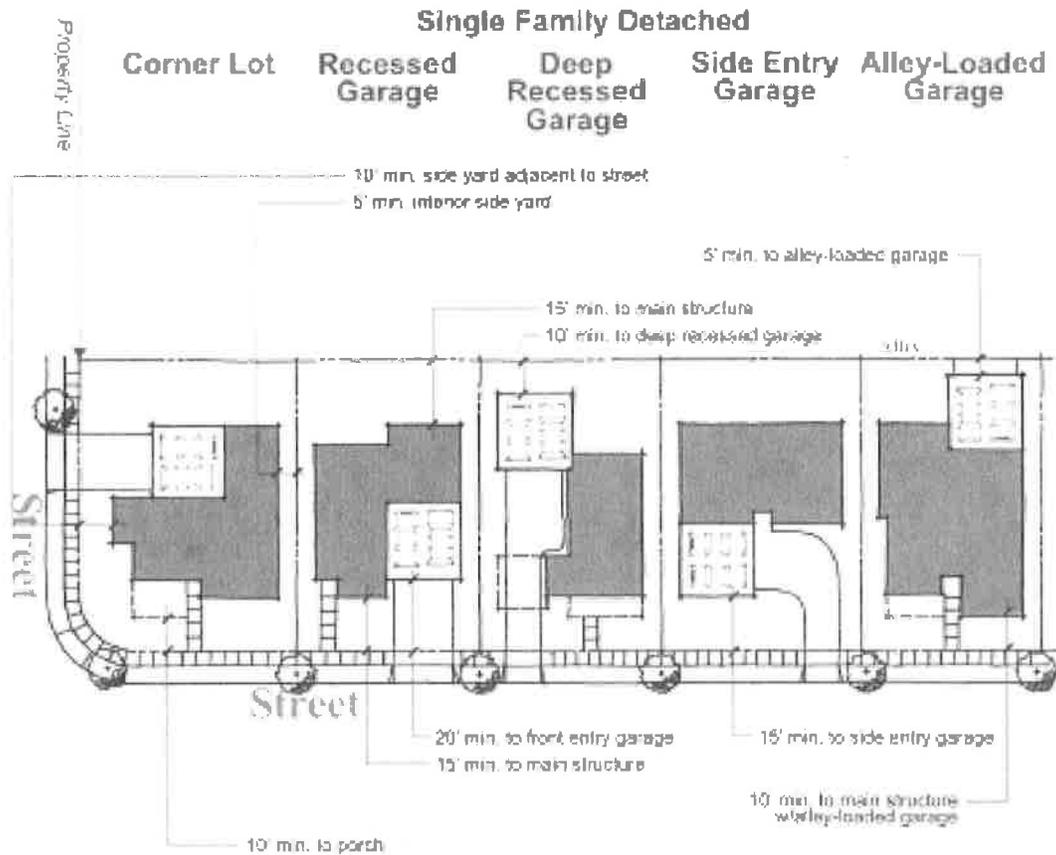
Area	Land Use	Net Acres
1	Low-Medium Residential	10.8
9	Low-Medium Residential	62.5
37	Low-Medium Residential	58.1
40*	Low-Medium Residential	16.7
41*	Low-Medium Residential	13.7
20	Medium Residential	13.2
36	Medium Residential	18.2
38*	Medium Residential	21.7
14	Medium-High Residential	21.5
18	Medium-High Residential	17.4
42*	Medium-High Residential	12.5
3	High Residential	6.6
8	High Residential	15.0
31	High Residential	3.1
33	High Residential	6.8
39*	High Residential	13.2
<b>TOTALS</b>		<b>311.0</b>

\* Net acres established in previous phases

**2.2.5.3 Setbacks and Density/Intensity Requirements**

TYPE	LOW-MEDIUM RESIDENTIAL (LMR) - 5.0 - 7.9 du/ac		
DESCRIPTION	This designation is intended to provide single family detached homes in a variety of lot configurations and styles. Typical housing types include standard single family detached, detached zero lot line, alley-loaded design, and cluster detached housing.		
	STANDARD SFD	CLUSTER SFD	NOTES
<b>BUILDING INTENSITY</b>			
Maximum Net Density (du/ac)	7.9	7.9	
Lot Size	3,000 sq. ft. min.	3,000 sq. ft. min.	
Minimum Lot Width	35 ft.	35 ft.	
Building Height	35 ft. max.	35 ft. max.	
<b>LANDSCAPING</b>			
Landscape Requirement	Min. 20% of lot	Min. 20% of lot	
<b>BUILDING SETBACKS FROM PROPERTY LINES</b>			
<b>FRONT YARD SETBACKS</b>			
To Main Structure w/ Front Entry Garage	15 ft. min.	10 ft. min.	
To Porch	10 ft. min.	5 ft. min.	
To Front Entry Garage (from public ROW)	20 ft. min.	20 ft. min.	
To Side Entry Garage	15 ft. min.	10 ft. min.	
To Main Structure w/ Alley Loaded Garage	10 ft. min.	10 ft. min.	
<b>SIDE YARD SETBACKS</b>			
Interior Side Yard	0 or 5 ft. min.*	0 or 5 ft. min.*	*10 ft. min. building separation.
Side Yard Adjacent to Street	10 ft. min.	10 ft. min.	
<b>REAR YARD SETBACKS</b>			
To Main Structure	15 ft. min.	10 ft. min.	
To Alley Loaded Garage	5 ft. min.	5 ft. min.	
To Deep Recessed Garage	10 ft. min.	10 ft. min.	
BUILDING PROJECTIONS	Refer to Section 20.34.030 of the Sparks Municipal Code		
<b>ACCESSORY USES</b>			
Accessory uses shall be permitted pursuant to Chapter 20.43 of the Sparks Municipal Code			

**EXHIBIT 2-1A: LOW-MEDIUM RESIDENTIAL (LMR) PROTOTYPES**

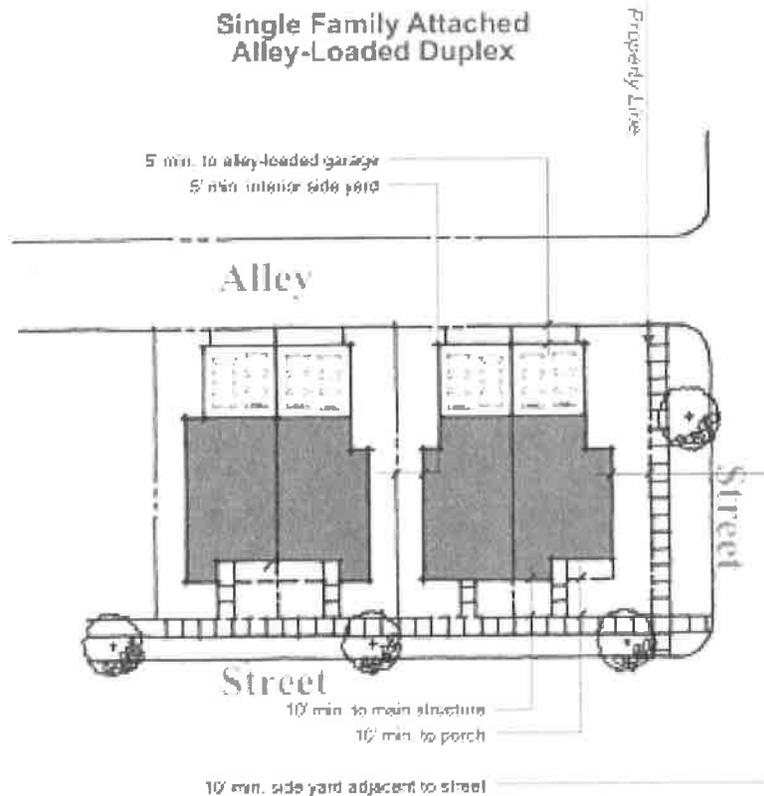
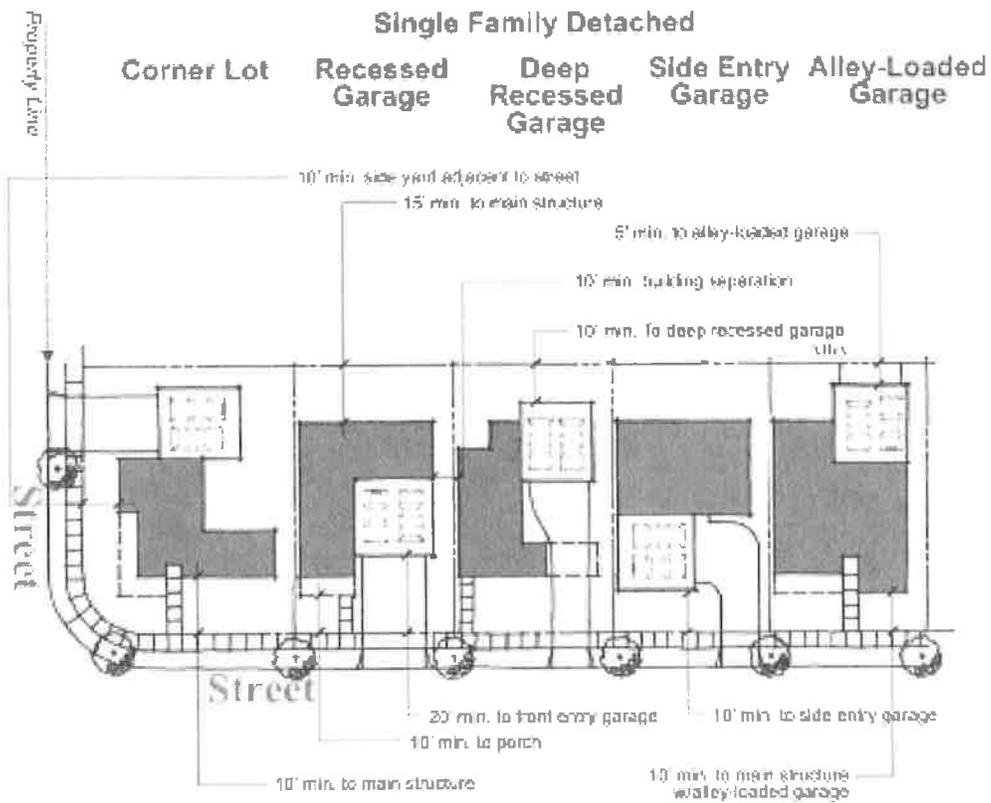


NOTE: These prototype site plans are conceptual in nature and are only two of many design solutions that are permitted in this land use designation.

2. DEVELOPMENT STANDARDS

TYPE/DESCRIPTION		MEDIUM RESIDENTIAL (MR) - 6.0 - 11.9 du/net acre	
		This designation is intended to provide single family detached and attached homes in a highly segmented range of product types. Typical housing types include small town lot single family detached, detached zero lot line, alley-loaded design, townhomes, cluster detached and attached housing, and condominiums.	
	<b>SINGLE FAMILY DETACHED</b>	<b>SF ATTACHED</b>	<b>NOTES</b>
<b>BUILDING INTENSITY</b>			
Maximum Net Density (du/ac)	11.9	11.9	
Lot Size	2,000 sq. ft. min.	2,000 sq. ft. min.	
Minimum Lot Width	30 ft.	30 ft.	
Building Height	35 ft. max.	35 ft. max.	
<b>LANDSCAPING</b>			
Landscape Requirement	Min. 20% of lot	Min. 15% of parcel	
<b>BUILDING SETBACKS FROM PROPERTY LINES</b>			
<b>FRONT YARD SETBACKS</b>			
To Main Structure w/ Front Entry Garage	10 ft. min.	10 ft. min.	
To Porch	10 ft. min.	10 ft. min.	
To Front Entry Garage (from public ROW)	20 ft. min.	20 ft. min.	
To Side Entry Garage	10 ft. min.	10 ft. min.	
To Main Structure w/ Alley Loaded Garage	10 ft. min.	10 ft. min.	
<b>SIDE YARD SETBACKS</b>			
Interior Side Yard	0 or 5 ft. min.	0 or 5 ft. min.*	*10 ft. min. building separation.
Side Yard Adjacent to Street	10 ft. min.	10 ft. min.	
<b>REAR YARD SETBACKS</b>			
To Main Structure	15 ft. min.*	10 ft. min.	*10 ft. min. for cluster SFD
To Alley Loaded Garage	5 ft. min.	5 ft. min.	
To Deep Recessed Garage	10 ft. min.	10 ft. min.	
<b>BUILDING PROJECTIONS</b>	Refer to Section 20.34.030 of the Sparks Municipal Code		
<b>ACCESSORY USES</b>			
Accessory uses shall be permitted pursuant to Chapter 20.43 of the Sparks Municipal Code			

**EXHIBIT 2-1B: MEDIUM RESIDENTIAL (MR) PROTOTYPES**

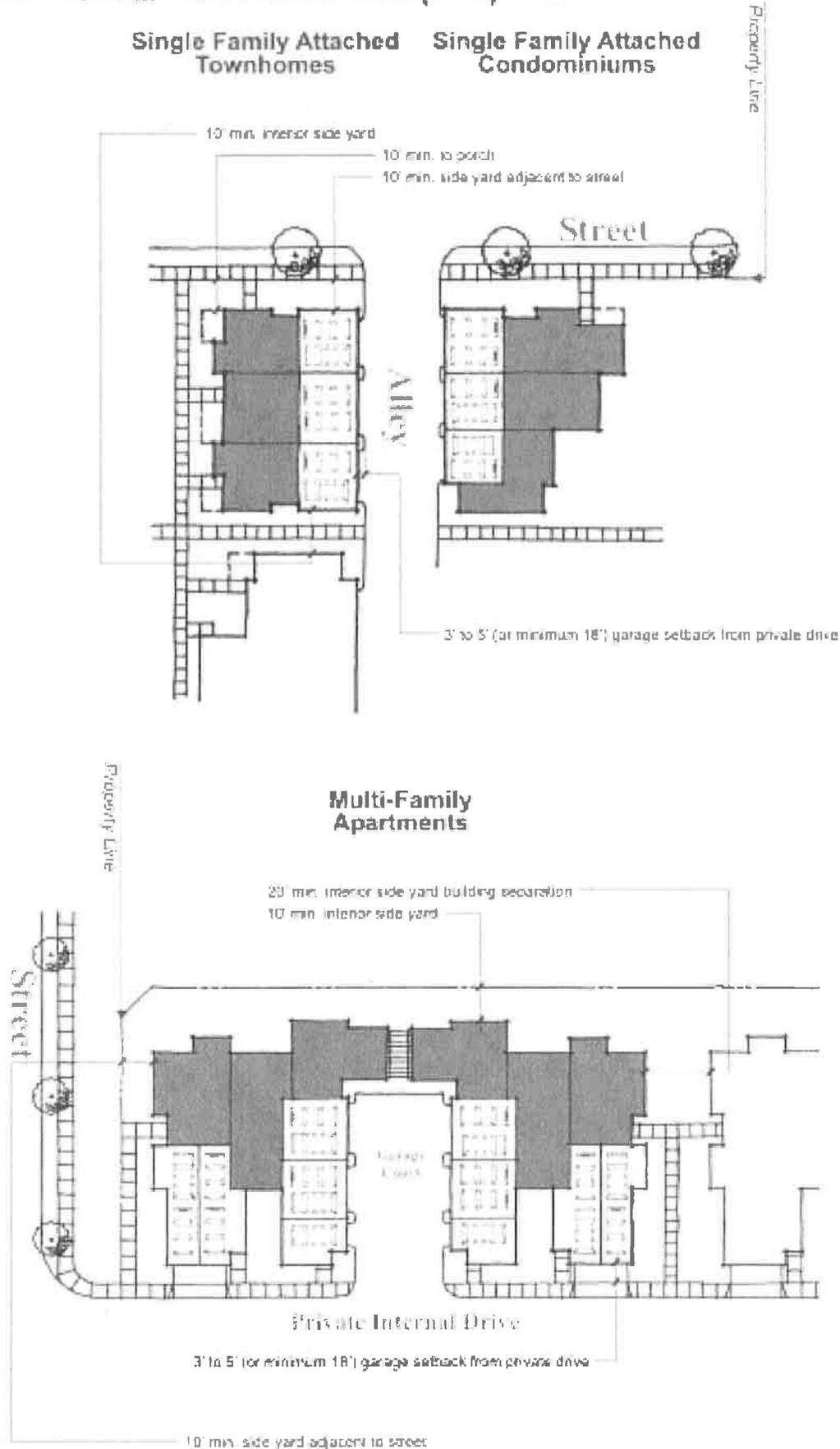


NOTE: These prototype site plans are conceptual in nature and are only two of many design solutions that are permitted in this land use designation.

2. DEVELOPMENT STANDARDS

TYPE/DESCRIPTION	MEDIUM-HIGH RESIDENTIAL (MHR) - 12.0 - 17.9 du/net acre		
	This designation is intended to provide for a wide range of single family attached products and multi-family dwellings. Typical product types include townhomes, attached cluster products, row houses, and condominiums.		
	SF ATTACHED	MULTI-FAMILY	NOTES
<b>BUILDING INTENSITY</b>			
Maximum Net Density (du/ac)	17.9	17.9	*12 ft. min. between porches, patios or balconies.
Building Coverage	65% max.	70% max.	
Building Separation	0 ft. or 10 ft. min.	20 ft. min.*	
Building Height	40 ft. max.	40 ft. max.	
<b>LANDSCAPING</b>			
Landscape Requirement	Min. 15% of parcel	Min. 20% of parcel	
<b>BUILDING SETBACKS FROM PROPERTY LINES</b>			
<b>FRONT YARD SETBACKS</b>			
To Structure	10 ft. min.	10 ft. min.	
To Porch/Patio	10 ft. min.	10 ft. min.	
To Front Entry Garage (from public ROW)	20 ft. min.	20 ft. min.	
<b>SIDE YARD SETBACKS</b>			
Interior Side Yard	0 ft. or 10 ft. min.*	20 ft. min.*	*Building separation.
Side Yard Adjacent to Street	10 ft. min.	10 ft. min.	
<b>REAR YARD SETBACKS</b>			
To Main Structure	10 ft. min.	10 ft. min.	
To Porch/Patio	10 ft. min.	10 ft. min.	
To Garage (from private drive)	3' to 5' or min 18'	3' to 5' or min 18'	
<b>BUILDING PROJECTIONS</b>	Refer to Section 20.34.030 of the Sparks Municipal Code		
<b>ACCESSORY USES</b>			
Accessory uses shall be permitted pursuant to Chapter 20.43 of the Sparks Municipal Code			

**EXHIBIT 2-1C: MEDIUM-HIGH RESIDENTIAL (MHR) PROTOTYPES**

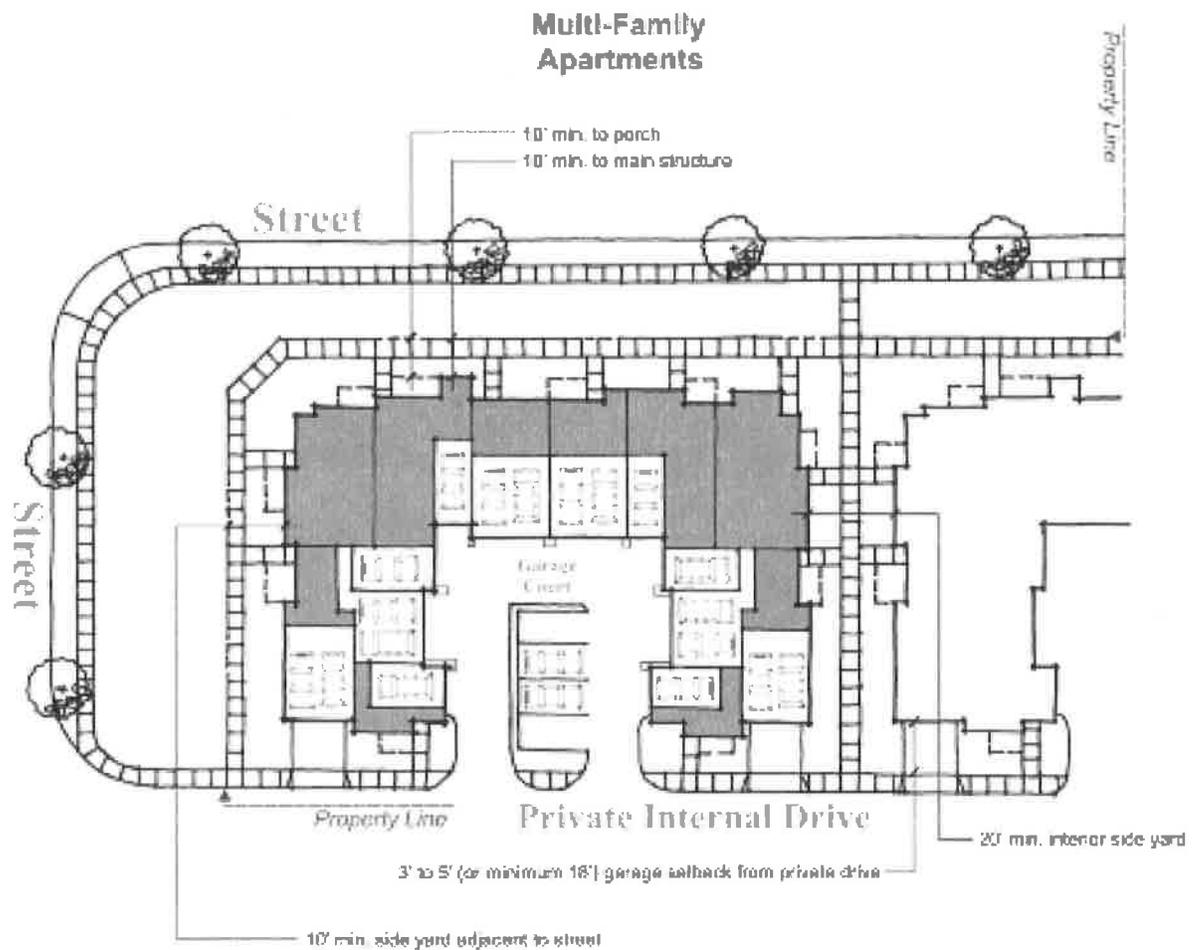


NOTE: These prototype site plans are conceptual in nature and are only two of many design solutions that are permitted in this land use designation.

2. DEVELOPMENT STANDARDS

TYPE/DESCRIPTION		HIGH RESIDENTIAL (HR) - 15.0 - 23.9 du/net acre	
		This designation is intended to provide attached homes in a highly segmented range of product types. Typical housing types include townhomes, condominiums and apartments.	
		MULTI-FAMILY	NOTES
BUILDING INTENSITY			
Maximum Net Density (du/ac)	23.9	*12 ft. min. separation between porches, patios or balconies	
Building Coverage	40% max.		
Building Separation	20 ft. min.*		
Building Height	50 ft. max.		
LANDSCAPING			
Landscape Requirement	20% of parcel		
BUILDING SETBACKS FROM PROPERTY LINES			
FRONT YARD SETBACKS			
To Structure	10 ft. min.		
To Porch/Patio	10 ft. min.		
SIDE YARD SETBACKS			
Interior Side Yard	20 ft. min.*	*Building separation	
Side Yard Adjacent to Street	10 ft. min.		
REAR YARD SETBACKS			
To Structure	10 ft. min.		
To Porch/Patio	10 ft. min.		
To Garage (from private drive)	3' to 5' or min 18'		
BUILDING PROJECTIONS	Refer to Section 20.34.030 of the Sparks Municipal Code		
ACCESSORY USES			
Accessory uses shall be permitted pursuant to Chapter 20.43 of the Sparks Municipal Code			

**EXHIBIT 2-1D: HIGH RESIDENTIAL (HR) PROTOTYPE**



NOTE: This protolyps site plan is conceptual in nature and is only one of many design solutions that are permitted in this land use designation.

**2.2.5.4 Walls and Fences**

- a) Walls and fences within Kiley Ranch North shall comply with the following standards as well as the regulations contained within Sections 20.37.020.A and 20.37.020.D of the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code the standards contained herein shall apply.
- b) Walls shall be used to separate individual residential lots or between residential parcels. Walls shall be a maximum six (6) feet in height and be constructed of wood and/or masonry material.
- c) Decorative front yard fencing shall be a maximum of three (3) feet in height for solid construction and four (4) feet in height for open construction and not be within the visibility triangle for motorists. The fencing must also be incorporated into the architectural design of the house.
- d) All side yard walls and fences shall be set back a minimum of two (2) feet from the front facade of the home.
- e) When changes in elevation occur, all walls shall be stepped in equal, vertical intervals. No step should exceed 12 inches, where feasible.
- f) Refer to Section 3.2.3.5 for design standards and guidelines related to the screening of walls.
- g) Chain link may be used on a temporary basis at construction sites.
- h) Vinyl coated chain link may be used as a fencing material for outdoor private or public park facilities such as but not limited to perimeter fencing, baseball backstops, swimming pools, spas, or tennis courts.
- i) Barbed wire, plain exposed concrete block, and chain link are prohibited except in special cases deemed appropriate by the DRC and the City of Sparks.

**COMMUNITY WALLS**

- j) Community walls shall be located where necessary to provide privacy, security and protection from roadway noise associated with arterial and collector roads.
- k) Community walls shall not exceed six (6) feet in height.
- l) Community walls shall be constructed of masonry or other permanent, durable, low maintenance decorative materials and be of a consistent design throughout the community of Kiley Ranch North.
- m) The use of berms may be used to minimize wall height, but the combined height of the wall and berm shall not exceed six (6) feet.
- n) Long continuous lengths of perimeter walls shall be landscaped with trees and shrubs and shall not exceed 50 feet without incorporating at least one of the following for the entire length of the wall:
  - 1) A minimum two (2) foot change in the wall plane for at least 10 feet;
  - 2) A minimum 18-inch raised planter for at least 10 feet;
  - 3) Use of pilasters at 50-foot intervals, at property corners or at changes in wall planes;
  - 4) A section of view fencing a minimum of four (4) feet in height for at least 10 feet.
- o) Community walls shall only be used in conjunction with multi-family and attached single family residential structures when they are necessary for protection from roadway noise or screening of service and utility areas from public rights-of-way.
- p) Refer to Section 3.2.3.5 for design standards and guidelines related to community walls.

**VIEW FENCES**

- q) View fences shall be used where residential uses abut parks, open space, trails, and golf courses.
- r) View fences shall not exceed six (6) feet in height.
- s) View fences shall be constructed of decorative wrought iron, tubular steel, simulated wood post and rail or other similar quality materials.
- t) View fences may include a solid base a maximum of two (2) feet in height, with open fencing above the solid portion.

**2.2.5.5 Signs**

- a) Signs within Kiley Ranch North shall comply with the regulations governing signs contained within Chapter 20.56 of the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code the standards contained herein shall apply.
- b) Monument signs identifying a single family residential development or multi-family residential project shall be provided at the main entry(s) of each residential development or project.
- c) Monument signs shall have a maximum height of six (6) feet. No additional freestanding signs shall be permitted with the exception of directional signs or traffic control signs. Pylon or pole signs are specifically prohibited.
- d) Neighborhood/project entry signs shall have a consistent design within each development.
- e) Multi-family developments shall provide a directory of the complex at an easily accessible location for visitors. Wayfinding signs shall be placed throughout the complex where appropriate to assist visitors in locating units.

**2.2.5.6 Parking**

The following parking requirements are maximums for the following Residential uses. All other general parking requirements and minimum number of spaces required shall comply with the Sparks Municipal Code as specified in Chapter 20.49. Refer to Chapter Three for design standards and guidelines addressing parking design and layout.

**SINGLE FAMILY RESIDENTIAL**

Parking Required - 1 space/bedroom, but not less than 2 per dwelling unit (DU)

**MULTI-FAMILY RESIDENTIAL**

Resident Parking

- 1 space/efficiency DU (no separate bedroom)
- 1.5 spaces/1 bedroom DU
- 2 spaces/2 bedroom DU
- 2 spaces/3 bedroom DU
- 2.5 spaces/DU larger than 3 bedrooms + 0.5 space/additional bedroom

Guest Parking - 1 space/10 DUs

**2.2.5.7 Lighting**

- a) Any light source over ten (10) feet high shall incorporate a cut-off shield to confine illumination to the site and protect adjacent properties from glare.
- b) Exterior lights shall not blink, flash or change intensity. String lights, building or roofline tube lighting, reflective or luminescent wall surfaces are prohibited unless approved by the DRC and the City of Sparks.
- c) All sources of light shall be concealed and directed downward. Parking lot, walkway and area lighting shall be directed downward with no light spilling off-site. The light source shall be kept as low to the ground as possible while ensuring safe and functional levels of illumination.
- d) Lighting shall be placed along primary pedestrian pathways, at pedestrian bridge crossings, parks, and other special high use areas.
- e) Lighting shall have a common design and color within the development.
- f) Bollards shall have a maximum height of 45 inches.
- g) Pedestrian lighting shall be spaced at intervals appropriate to facilitate the safety of the pedestrian.
- h) Light poles and fixtures within each project shall be approved by the Kiley Ranch DRC and the City of Sparks.
- i) Lighting within Kiley Ranch North shall comply with the regulations governing lighting contained within the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code, the standards contained herein shall apply.
- j) Refer to Sections 3.2.3.4 (Single-family) and 3.2.4.5 (Multi-family) for design guidelines and standards related to lighting.

**2.2.5.8 Landscape**

- a) The minimum number of trees to be planted in the required landscape area shall be one tree per 300 square feet.
- b) Multi-family developments shall have a minimum of 10% of the net buildable area or lot area dedicated to usable open space, whether common or private, for recreation and social activities. The 10 percent is not in addition to the 20% minimum total landscape requirement for multi-family developments.
- c) Refer to Section 3.2.3.3 for additional standards and guidelines addressing landscaping within single-family developments. Refer to Section 3.2.4.4 for additional standards and guidelines addressing landscaping within multi-family projects.
- d) Landscaping within Kiley Ranch North shall comply with the regulations governing landscaping contained within Chapter 20.32 of the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code the standards contained herein shall apply.

**2.2.5.9 Service, Trash and Utility Areas**

- a) Trash and storage within multi-family developments shall be screened and gated. Trash enclosures shall be finished using materials that complement the development architecture and shall be screened with landscaping on three sides. Refer to Exhibit 3-7, Service, Trash and Utility Area Design Standards. Gates shall be constructed of durable materials that visually screen the dumpster. Trash collection areas shall be approved by disposal services, DRC and the City of Sparks.
- b) Service, trash and storage areas shall be incorporated into the overall design of the site and building so that the visual and acoustic impacts of these functions are fully contained and out of view from adjacent properties and public streets. Walls used to screen these areas shall have a minimum five (5) foot wide landscaped area located in front.
- c) Exterior onsite utilities, including sewer, gas, water, electric, telephone and communications equipment must be installed underground. Transformers and other utility equipment that must be above ground shall be screened with landscaping and incorporated into the streetscape to the approval of the utility company and the City of Sparks.
- d) Rooftop equipment on buildings shall be shielded from view from public streets. Screening will be compatible with the design, form, material and color of the building. All rooftop equipment shall be organized into major groups to the greatest extent possible. It is the intent to screen groupings of equipment with a single architectural massing made of durable materials incorporated into the building design. Lattice work will not be permitted.
- e) Refer to Section 3.2.4.7 for specific standards.

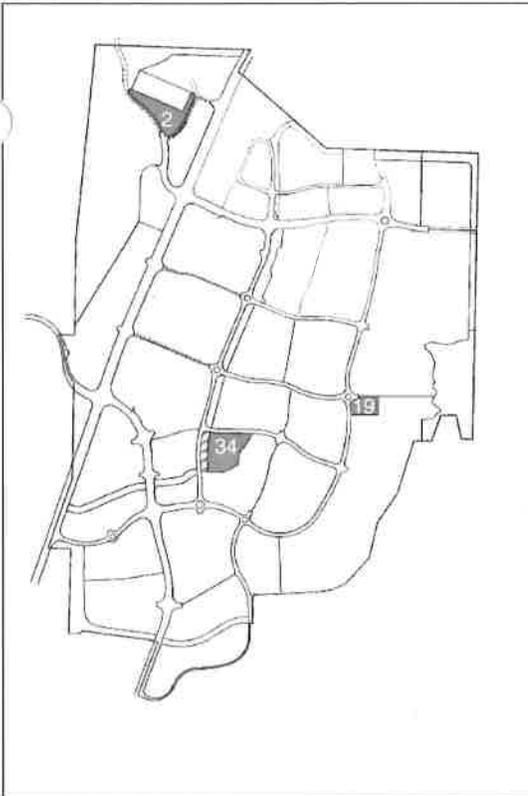
**2.2.5.10 Alleys**

- a) Alleys within single-family residential developments shall have a minimum width of 24 feet with no parking. Alleys shall not be used as an emergency access road. Refer to Exhibit 2.8A for a cross-section of an alley.

**2.2.5.11 Miscellaneous**

- a) All multi-family attached developments shall incorporate outdoor barbecue areas in centrally located courtyards or recreation areas of the project. Barbecues and other outdoor cooking devices are specifically prohibited from use in individual unit patios and decks.
- b) All units shall have at a minimum, a washer and dryer hook up.
- c) Multi-family/attached single family development over 25 units shall incorporate five (5) of the following recreational facilities: swimming pool, tennis courts, horseshoes, spa, exercise equipment, game room, community room, par course, walking trails (minimum ¼ mile in length), picnic areas to include tables with barbecues, volleyball court, basketball court, and lawn areas for field games as approved by the City of Sparks.
- d) The recreational facilities shall be conveniently and centrally located for the majority of the units.
- e) Multi-family/attached single family development over 25 units shall have a secure children's play area with play equipment that is visible from as many units as possible.
- f) All multi-family units shall have a outdoor patio/deck for each unit with a minimum depth of six (6) feet or provide a design solution that satisfies the intent of this standard. The alternative design is subject to the approval of the DRC and the City of Sparks.

**Neighborhood Park Areas**



Area	Land Use	Net Acres
2	Neighborhood Park	5.0
19	Neighborhood Park	1.5
34	Neighborhood Park	5.5
<b>TOTALS</b>		<b>12.0</b>

**2.2.6 Neighborhood Park - NP**

**2.2.6.1 Description**

The purpose of this land use designation is to provide neighborhood park areas that allow for both passive and active recreational activities. Neighborhood parks have been identified in key locations throughout Kiley Ranch North.

The neighborhood park identified on the west side of Pyramid Highway provides access to the residential areas without having to cross a major arterial to access Washoe County Park. The Kiley Ranch Commons park located in the heart of the project also provides recreational park space and further serves as a symbolic amenity for the Kiley Ranch North development. The park serves adjacent public/institutional uses and features the historic Kiley home, an important element in the community's overall design theme. Furthermore, it is integrated within the Orr Ditch Linear Park that serves as the pedestrian spine of the community and the network of internal trails that extend regionally.

**2.2.6.2 Land Use**

Permitted uses and those uses requiring a Special Use Permit are contained in Table 2-1, Land Use Matrix, in Section 2.2.8.

**2.2.6.3 Setbacks and Density/Intensity Requirements**

TYPE	NEIGHBORHOOD PARK (NP)
DESCRIPTION	The Neighborhood Park designation provides for the development of active and passive recreational facilities.
<b>BUILDING INTENSITY</b>	
Minimum Size	1.5 net acres
Building/Facility Height	35 ft. max
Building Separation	0 ft. or 20 ft. min.
<b>LANDSCAPING</b>	
Landscape Requirement	Site specific to use.
<b>BUILDING SETBACKS</b>	
Collector Roads	20 ft. min.
Internal Private Roads	15 ft. min.
Property Line <sup>1</sup>	10 ft. min.

1 - This includes all property lines within Kiley Ranch North that do not border state highways, boulevards, parkways, or collector roads.

**2.2.6.4 Walls and Fences**

- a) Walls and fences within Kiley Ranch North shall comply with the following standards as well as the regulations contained within Chapter 20.37.020.D of the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code, the standards contained herein shall apply.
- b) Walls shall be used where service, loading, trash and/or utility areas abut adjacent public rights-of-way, pedestrian plazas, parking lots, or adjacent non-compatible uses.
- c) Walls shall be a minimum of six feet in height, but not more than eight feet high and shall incorporate landscape screening.
- d) Refer to Section 3.2.1.7 for design guidelines and standards related to the screening of walls.
- e) Barbed wire, plain exposed concrete block, and chain link are prohibited except in special cases deemed appropriate by the DRC and the City of Sparks.
- f) Chain link may be used on a temporary basis at construction sites.
- g) Vinyl coated chain link may be used as a fencing material for outdoor public park facilities such as but not limited to perimeter fencing, baseball backstops, swimming pools, or tennis courts.

**2.2.6.5 Signs**

- a) Signs for Neighborhood Parks shall be designed to identify and locate individual facilities for proper visibility to passing motorists, without being obtrusive to surroundings uses and a danger to passing traffic.
- b) One monument sign per parcel shall be permitted with a maximum height of six (6) feet. No additional freestanding signs shall be permitted with the exception of directional signs or traffic control signs. Pylon or pole signs are specifically prohibited.
- c) Signs within Kiley Ranch North shall comply with the regulations governing signs contained within Chapter 20.56 of the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code, the standards contained herein shall apply.

**2.2.6.6 Parking**

Parking requirements for all uses are dependant on site specific facilities and estimated users and will be subject for consideration at site plan review. All other general parking requirements and minimum number of spaces required shall comply with the Chapter 20.49 of the Sparks Municipal Code. Refer to Chapter Three for design standards and guidelines addressing parking design and layout.

**2.2.6.7 Lighting**

- a) Any light source over ten (10) feet high shall incorporate a cut-off shield to confine illumination to the site and protect adjacent properties from glare.
- b) Exterior lights shall not blink, flash or change intensity. String lights, building or roofline tube lighting, reflective or luminescent wall surfaces are prohibited unless used during holiday seasons or special events.
- c) All sources of light shall be concealed and directed downward. Parking lot, walkway and area lighting shall be directed downward with no light spilling off-site. The light source shall be kept as low to the ground as possible while ensuring safe and functional levels of illumination.
- d) Lighting shall be placed along primary pedestrian pathways, at pedestrian bridge crossings, athletic fields, skate parks, tennis courts, and other special high use areas.
- e) Lighting shall have a common design and color within the development.
- f) Bollards shall have a maximum height of 45 inches.
- g) Pedestrian lighting shall be spaced at intervals appropriate to facilitate the safety of the pedestrian.
- h) Light poles and fixtures within each project shall be approved by the Kiley Ranch DRC and the City of Sparks.
- i) Lighting within Kiley Ranch North shall comply with the regulations governing lighting contained within the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code, the standards contained herein shall apply.

**2.2.6.8 Landscape**

- a) Refer to Section 2.4, Landscape Palette and Section 2.3.6 for design standards and guidelines.
- b) Landscaping within Kiley Ranch North shall comply with the regulations governing landscaping contained within Chapter 20.32 of the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code, the standards contained herein shall apply.

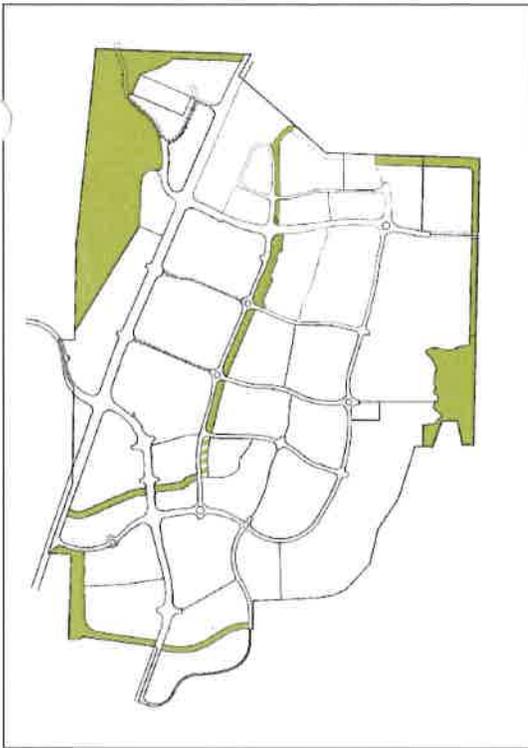
**2.2.6.9 Service, Trash and Utility Areas**

- a) Trash and storage areas shall be screened and gated. Trash enclosures shall be finished using materials that complement the development architecture and shall be screened with landscaping on three sides. Refer to Exhibit 3-7, Service, Trash and Utility Area Design Standards. Gates shall be constructed of durable materials that visually screen the dumpster. Trash collection areas shall be approved by disposal services, DRC and the City of Sparks.
- b) Service, trash and storage areas shall be incorporated into the overall design of the site and building so that the visual and acoustic impacts of these functions are fully contained and out of view from adjacent properties and public streets. Walls used to screen these areas shall have a minimum five (5) foot wide landscaped area located in front.
- c) Exterior onsite utilities, including sewer, gas, water, electric, telephone and communications equipment must be installed underground. Transformers and other utility equipment that must be above ground shall be screened with landscaping and incorporated into the streetscape to the approval of the utility company and the City of Sparks.
- d) Rooftop equipment on buildings shall be shielded from view from public streets. Screening will be compatible with the design, form, material and color of the building. All rooftop equipment shall be organized into major groups to the greatest extent possible. It is the intent to screen groupings of equipment with a single architectural massing made of durable materials incorporated into the building design. Lattice work will not be permitted.
- e) Refer to Section 3.2.1.8 for specific standards.

**2.2.6.10 Architecture**

- a) Development projects within the Public/Institutional land use designation shall be reviewed by the DRC and the City of Sparks through the site plan review process unless the use requires a special use permit. The architectural style shall be one of the three architectural styles identified in Chapter Three, Design Standards and Guidelines.

Open Space Areas



Area	Land Use	Net Acres
OS	Open Space	97.2
	Orr Ditch	14.0
	Linear Park	
<b>TOTALS</b>		<b>111.2*</b>

\*In addition to the 111.2 net acres of Open Space there is additional land reserved for landscape development zones. Landscape development zones contain sidewalks and trails and provide additional open space areas.

2.2.7 Open Space - OS

2.2.7.1 Description

The purpose of this land use designation is to provide pedestrian and bicycle trails, protection of steep slopes, drainage facilities, opportunities for passive recreational use, and lands that will remain in their natural condition. Typical uses of these areas include trails, passive recreational facilities, native and ornamental landscaping, and erosion protection needed for regional utilities and infrastructure. Landscaped areas within the landscape development zones are considered Open Space and will be included in the calculations for Open Space.

2.2.7.2 Land Use

Permitted uses and those uses requiring a Special Use Permit are contained in Table 2-1, Land Use Matrix, in Section 2.2.8.

**2.2.7.3 Setbacks and Density/Intensity Requirements**

TYPE	OPEN SPACE (OS)
DESCRIPTION	The Open Space designation provides for the development of passive recreational facilities, trails, infrastructure, and natural open space.
<b>BUILDING INTENSITY</b>	
Building/Facility Height <sup>1</sup>	35 ft.
Building Separation	0 ft. or 20 ft. min.
<b>LANDSCAPING</b>	
Landscape Requirement	Site specific to use
<b>BUILDING SETBACKS</b>	
Pyramid Way	50 ft.min.
Lazy 5 Parkway	15 ft. min.
David Allen Parkway	15 ft. min.
Circulator Road (within Office/Business Park)	15 ft. min.
Internal Private Roads	10 ft. min.
Property Line <sup>2</sup>	10 ft. min.

1 - Height exceeding this standard can be reviewed and approved by the DRC and the City of Sparks through the special use permit process.

2 - This includes all property lines within Kiley Ranch North that do not border state highways, boulevards, parkways, or collector roads.

**2.2.7.4 Walls and Fences**

a) Walls and fences within Kiley Ranch North shall comply with the following standards as well as the regulations contained within the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code, the standards contained herein shall apply.

a) Masonry walls shall only be utilized for purposes of screening utility areas within the site and from adjacent public rights-of-way, pedestrian walkways or adjacent non-compatible uses.

b) Walls shall be a minimum of six (6) feet in height but no more than eight (8) feet and incorporate landscape screening. Refer to Chapter Three for design guidelines.

**2.2.7.5 Signs**

a) Signs within Kiley Ranch North shall comply with the regulations governing signs contained within the Sparks Municipal Code. Where a conflict exists between these development standards and the City of Sparks Municipal Code, the standards contained herein shall apply.

b) Artwork, including but not limited to sculptures, fountains, and interpretive information, are not considered signage and shall not be subject to signage regulations. View corridors and appropriate pedestrian circulation shall be considered and maintained when placing artwork.

**2.2.7.6 Parking**

a) Parking requirements for all uses are dependant on site specific facilities and estimated users and will be subject for consideration at site plan review or special use permit. All other general parking requirements and minimum number of spaces required shall comply with the Sparks Municipal Code. Refer to Chapter Three for design standards and guidelines addressing parking design and layout.

**2.2.7.7 Lighting**

a) Exterior lighting within Open Space land uses shall be subject to the standards, guidelines and approval of the DRC.

**2.2.7.8 Architecture**

a) Development projects within the Open Space land use designation shall be reviewed by the DRC and the City of Sparks through the site plan review process unless the use requires a special use permit. The architectural style shall be one of the three architectural styles identified in Chapter Three, Design Standards and Guidelines.

**2.2.8 Permitted and Conditional Land Uses**

Permitted uses, uses requiring a Special Use Permit, and prohibited uses within the Development Plan, are provided in the following Land Use Matrix table. This matrix organizes potential uses within the land use categories presented within the Development Plan. The following symbols are used in the matrix to indicate whether a proposed use is permitted, not permitted, or requires a Special Use Permit:

- P** Permitted by right within the Development Plan
- SP** Special Use Permit required
- AN** Ancillary Use - Uses only allowed when permitted uses are present for a particular land use (refer to Section 2.2.8.1 below)
- Not Permitted within the Development Plan (empty cell)

Those uses not specifically listed in the Land Use Matrix table are subject to review based on the consistency with the purpose and intent of the land use designation and Development Plan of Chapter 2 in these Development Standards.

**2.2.8.1 Ancillary Use (AN) Definition**

An Ancillary Use is a stand alone use whose building square footage does not exceed twenty percent (20%) of the allowed building square footage of permitted uses or uses allowed by Special Use Permit within the same land use category.

**2.2.8.2 Accessory Uses**

Accessory Uses shall be permitted in all non-residential land use categories so long as the accessory use exists within the same building as the primary permitted use or primary use allowed by Special Use Permit. The overall square footage of any accessory use or combination of accessory uses shall not exceed twenty percent (20%) of the allowed square footage of the approved primary land use.

Table 2-1: Land Use Matrix

	Community Commercial	Neighborhood Commercial	Arterial Commercial	Village Center Commercial	Office/Business Park	Business Park	Public/Institutional	School	Low-Medium Residential	Medium Residential	Medium-High Residential	High Residential	Neighborhood Park	Open Space
Land Use Designations	CC	NC	AC	VC	OBP	BP	PI	SP	LMR	MR	MHR	HR	NP	OS
<b>COMMERCIAL LAND USES</b>														
Commercial Land Uses, including, but not limited to the following uses:														
Accessory uses	P	P	P	P	P	P	P	P					P	P
Amusement parks/Family fun centers	SP	SP	SP											
Appliance sales and repair, provided repair services shall be incidental to retail sales; no outside sales or storage	P	P	P											
Art galleries and artists' supply stores	P	P	P	P										
Athletic/health club and gymnasium (under 3,000 s.f.)	P	P	P	P	AN	AN								
Athletic/health club and gymnasium (over 3,000 s.f.)	SP	SP	SP	SP										
Automobile supply stores	P	P	P											
Automobile washing, including use of mechanical conveyors, blowers and steam cleaners	P	P	P											
Bar/Lounge	SP	SP	SP	SP	AN	AN								
Bicycle shops	P	P	P	P										
Bookstores	P	P	P	P										
Bowling alleys	P	P	P	SP										
Building materials sales; no outside sales or storage	P	P	P											
Carpet, drapery and floor-covering stores	P	P	P											
Catering establishments	P	P	P	P										
Catering establishments in conjunction w/restaurant	P	P	P	P	AN	AN								
Childcare centers	P	P	P	SP	AN	AN	SP							
Clothings, shoe and accessory stores	P	P	P	P										
Consumer research center	P	P	P		P	P								
Copying and related duplicating services not including lithographing, engraving or such similar reproduction services	P	P	P	P	AN	AN								
Dance studios	P	P	P	P		SP								
Delicatessen stores	P	P	P	P	AN	AN								
Department stores (maximum 40k s.f. in NC)	P	P	SP	P										
Department stores with associated tire, battery and accessory shops (maximum 40k s.f. in NC)	P	P	SP											
Drugstores and prescription pharmacies	P	P	P	P										
Dry cleaner	P	P	P	P	AN	AN								
Electronic sales and repair shops; no outside storage	P	P	P	SP										
Fast food restaurants/service	P	P	P	P										
Financial institutions including banks, finance companies, credit unions, and related services	P	P	P	P	AN	AN								
Florist and plant shops (not plant nursery)	P	P	P	P	AN	AN								
Food/convenience markets and specialty stores	P	P	P	P										
Garden centers including plant nurseries	P	SP	P											
Gift shops	P	P	P	P										
Hardware stores/Home Improvement Centers, including garden centers (maximum 40k s.f. in NC)	P	P	P											

Table 2-1: Land Use Matrix

	Community Commercial	Neighborhood Commercial	Arterial Commercial	Village Center Commercial	Office/Business Park	Business Park	Public/Institutional	School	Low-Medium Residential	Medium Residential	Medium-High Residential	High Residential	Neighborhood Park	Open Space
Land Use Designations	CC	NC	AC	VC	OBP	BP	PI	SP	LMR	MR	MHR	HR	NP	OS
<b>COMMERCIAL LAND USES</b>														
Hospital equipment sales and rental	P		P		AN	AN								
Household goods repair shops	P		P											
Ice cream shops	P	P	P	P	AN	AN								
Laundries and dry cleaners where service is provided on premise	P	P	P		AN	AN								
Leather goods and luggage stores	P	P	P	P										
Liquor stores and convenience stores	P	P	P	SP										
Lodging	SP		P	P	SP	SP								
Locksmiths	P	P	P	SP										
Medical and orthopedic appliance stores	P	P	P		AN	AN								
Mini-storage facility <sup>1</sup>	SP	SP	SP								SP	SP		
Motorcycle sales and service	P		P											
Mortuaries	SP		SP											
Movie theaters	P	P		P										
Music: instrument, music and CDs	P	P	P											
Newsstand	P	P	P	P	AN	AN								
Office supply and business machine stores	P	P	P		AN	AN								
Operating hours between 11pm and 6am <sup>2</sup>	P	P	P	SP	P	P								
Outdoor miniature golf, go-cart track, golf driving ranges or other similar recreational facilities	SP		SP											
Outlet stores and centers	P	P	P											
Paint, glass and wallpaper retail stores (max. 40,000 s.f. in NC)	P	P	P											
Packing, wrapping, handling, and mailing stores	P	P	P	P	AN	AN								
Park-n-Ride lots, as joint use in compliance w/RTC	P		P		AN	AN								
Parking Structures			SP	P	AN	AN						P		
Personal care such as barber and beauty shops, etc.	P	P	P	P	AN	AN								
Photographic studios	P	P	P	P	P	P								
Photographic supply stores	P	P	P	P	P	P								
Retail plumbing, heating and ventilating equipment showrooms with storage of floor samples only (max. 40,000 s.f. in NC)	P	P	P											
Radio and television broadcasting studios	P	P	P	P	SP	SP								
Recorded music and sound equipment stores	P	P	P	P										
Recording studios	P	P	P	P	P	P								
Recreational vehicle/boat storage facility <sup>1</sup>			SP											
Restaurants not including take-out, drive-ins and drive-thru window establishments (fast food)	P	P	P	P	AN	AN								
Restaurants, sit-down with full bar	P	P	P	P	AN	AN								
Retail sales	P	P	P	P	AN	AN								
Scientific instrument shops	P	P	P		P	P								

1 - Mini-storage and recreational vehicle/boat storage will be permitted in Planning Area 1 because of its location adjacent to Pyramid Highway. During site plan review special consideration must be given to the screening of these facilities from adjacent uses.

2 - Permitted unless within 300 feet (building to building) of a residential use (Not applicable in Village Center).

Table 2-1: Land Use Matrix

	Community Commercial	Neighborhood Commercial	Arterial Commercial	Village Center Commercial	Office/Business Park	Business Park	Public/Institutional	School	Low-Medium Residential	Medium Residential	Medium-High Residential	High Residential	Neighborhood Park	Open Space
Land Use Designations	CC	NC	AC	VC	OBP	BP	PI	SP	LMR	MR	MHR	HR	NP	OS
<b>COMMERCIAL LAND USES</b>														
Service stations not including trailer rental, provided all operations except the sale of gasoline (maximum 12 nozzles, over 12 requires SUP) and petroleum products and the washing of cars shall be conducted within an enclosed building; sales shall be limited to petroleum products, automotive accessories, liquor, and tobacco and convenience foods	P	P	P			SP								
Shoe repair shops	P	P	P	P										
Skating rinks	P	P	P	P										
Specialty stores under 35k s.f.	P	P	P	P										
Sports bar	P	SP	P	SP	AN	AN								
Sports goods stores	P	P	P											
Stationery stores	P	P	P	P										
Supermarkets/grocery store (max. 40,000 s.f. in VC)	P	P	P	P										
Swimming pool sales, supplies and/or service (no outdoor storage without screening)	P	P	P											
Tires, batteries and auto accessories, sales and service; no outside storage	P	P	P											
Toy stores	P	P	P	P										
Urgent Care Centers and Medical Facilities	SP		P		P	P								
Video/Audio stores, sales and rental	P	P	P	P										
Watch and clock repair shops; no outside sales or storage	P	P	P	P										
Wholesales (no outside storage)	SP		SP											
Wine Shop	P	P	P	P	AN	AN								
<b>OFFICE/BUSINESS PARK LAND USES</b>														
Office/Business Park Land Uses, including, but not limited to, the following uses:														
Accessory uses	P	P	P	P	P	P	P	P					P	P
Blueprinting, photostating, photoengraving, printing, publishing, and bookbinding	P		P		AN	AN								
Community and regional service, commercial travel service, industrial support, and business and professional office uses	P			P	P	P								
Corporate offices, regional offices, general offices, and such professional offices as accountants, attorneys, engineers, architects, and planners	P			P	P	P								
Hospital including but not limited to: skilled nursing, ambulatory services, surgery center, emergency room, helistop, and assisted care					SP	SP								
Loading dock facilities (screened per screening standards)	AN	AN	AN	AN	AN	AN								
Manufacturing, processing, assembly, testing and repair of components, devices, equipment and systems, and parts and components; all within building					P	P								
Medical and dental offices, employment agencies, real estate agencies, and travel agencies	P	P	P	P	P	P								

2. DEVELOPMENT STANDARDS

Table 2-1: Land Use Matrix

	Community Commercial	Neighborhood Commercial	Arterial Commercial	Village Center Commercial	Office/Business Park	Business Park	Public/Institutional	School	Low-Medium Residential	Medium Residential	Medium High Residential	High Residential	Neighborhood Park	Open Space
Land Use Designations	CC	NC	AC	VC	OBP	BP	PI	SP	LMR	MR	MHR	HR	NP	OS
<b>OFFICE/BUSINESS PARK LAND USES</b>														
Outside storage, manufacturing or processing					SP	SP								
Professional, scientific, controlling, photographic, and optical products or equipment; sales and manufacturing					P	P								
Research activities, including research laboratories, developmental laboratories					P	P								
Service industries or those industries providing services to, as opposed to the manufacturing of a specific product, such as the repair and maintenance of appliances or component parts, tooling, printers, testing shops, small machine shops, and shops engaged in the repair, maintenance and servicing of such items, but excluding automobile and truck repair and equipment rental yards					P	P								
Trade, business, vocational, music, and art schools and athletic training centers	P	P	P	SP	P	P								
<b>PUBLIC/INSTITUTIONAL LAND USES</b>														
Public/Institutional Land Uses including, but not limited to, the following uses:														
Accessory uses	P	P	P	P	P	P	P	P					P	P
Amphitheater - small (300 seat maximum)				SP	AN	AN	P	SP					P	
Arboretums and horticultural gardens							P						P	
Churches, parsonages, parish house, monasteries, convents, and other religious institutions	SP		SP		SP	SP	SP	SP						
Clubs and lodges including, but not limited to, community facility buildings, YMCA, Boys and Girls clubs, and other similar youth group uses				SP	AN	AN	P					SP	P	
Community gardens							P		P	P	P	P	P	
Cultural, education and recreation facilities that conduct community programs and provide resources for residents	P	P	P	SP			P						P	
Fire stations	P	P	P		P	P	P					SP	SP	
Government services		SP	SP	SP	AN	AN	P							
Historical and cultural monuments; interpretive sites	P	P	P	P	P	P	P	P					P	
Library							P	P					SP	
Meeting halls	P		P	SP			P						SP	
Observatory							P						P	
Outdoor festivals and fairs, seasonal and temporary (less than a week) <sup>1</sup>	P	P		P	P	P	P	P					P	
Police or sheriff station and sub-stations	P	P	P	P	P	P	P						P	
Above ground public utility facilities (transmission, distribution, and storage) and equipment sub-stations	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP
1 - Permitted with an approved City of Sparks Temporary Use Permit														

Table 2-1: Land Use Matrix

	Community Commercial	Neighborhood Commercial	Arterial Commercial	Village Center Commercial	Office/Business Park	Business Park	Public/Institutional	School	Low-Medium Residential	Medium Residential	Medium-High Residential	High Residential	Neighborhood Park	Open Space
Land Use Designations	CC	NC	AC	VC	OBP	BP	PI	SP	LMR	MR	MHR	HR	NP	OS
<b>SCHOOL LAND USES</b>														
School/Park Land Uses including, but not limited to, the following uses:														
Public schools (K through 12 )							P	P	P	P	P	P		
Private schools (all levels)					P	P	P	P	P	P	P	P		
<b>RESIDENTIAL LAND USES</b>														
Residential Land Uses including, but not limited to, the following uses:														
Apartments								P <sup>1</sup>			P	P		
Condominiums								P <sup>1</sup>		P	P	P		
Homefinding/Information center; temporary until community sales complete				P			P		P	P	P	P		
Group residential care facilities and residential retirement homes									P	P	P	P		
Residences (single family detached)								P <sup>1</sup>	P	P				
Residential uses above commercial ground floor				SP										
Temporary real estate offices associated with Model Home complexes (per criteria section 6.1.6)				P					P	P	P	P		
Townhouse								P <sup>1</sup>		P	P	P		
<b>NEIGHBORHOOD PARK LAND USES</b>														
Community/Park Land Uses including, but not limited to the following uses:														
Active parks including basketball courts, volleyball courts, playground equipment, etc.								P	P	P	P	P	P	
Athletic fields, excluding stadiums							SP	P	SP	SP	SP	SP	P	
Bicycle rentals	P	P	P	P	P	P	SP						SP	SP
Commercial outdoor recreation including, but not limited to, batting cages, tennis courts, archery ranges, etc.	SP													SP
Community centers							P		AN	AN	AN	AN	P	
Passive parks and accessways including pocket parks, seating areas, picnic areas, trails, and gardens, etc.	P	P	P	P	P	P	P	P	P	P	P	P	P	
<b>OPEN SPACE LAND USES</b>														
Open Space Land Uses including, but not limited to the following uses:														
Bicycle trails and bikeways	P	P	P	P	P	P	P	P	P	P	P	P	P	P
Pedestrian trails and walkways	P	P	P	P	P	P	P	P	P	P	P	P	P	P
1 - Permitted only if a school is not built.														

## 2.3 STREETScape DEVELOPMENT STANDARDS

### 2.3.1 Circulation Plan

Kiley Ranch North project circulation is handled through a hierarchy of arterials and collectors that define the structure of the community. The circulation plan is significant to the region because it encompasses the intersection of Sparks Boulevard and Pyramid Highway. For the purposes of applying design standards and guidelines, the major roadways of the master plan are assumed to have the following classification:

Pyramid Way	Arterial Highway
Sparks Boulevard	Arterial
Highland Ranch Parkway	Arterial
Kiley Ranch Parkway	Arterial
Lazy 5 Parkway	Arterial
David Allen Parkway	Collector
Other Collector Roads	Collector
Circulator Roads	Circulator

#### 2.3.1.1 Roadway Design

Development of roads within Kiley Ranch North will generally conform to the circulation plan as shown in Exhibit 2-2, Vehicular Circulation Plan. Exact alignments may vary depending on site specific conditions relevant to the individual development parcels. Plans and sections are provided to illustrate the location and hierarchy of roadways and sidewalk/trails. The intent of the roadway system is to provide regional circulation and access to all parcels from the surrounding areas. The plan utilizes curvilinear alignments and landscaped rights-of-way to establish an overall natural setting. Pedestrian and bicycle trails are designed to be separate from vehicular traffic and will link the neighboring uses and communities to the Kiley Ranch North development.

All roadways shall be constructed to the City of Sparks standards and in accordance with the sections for roadways presented in Exhibits 2-3 through 2-8A. The five Regional Transportation Commission (RTC) roadways: Sparks Boulevard, Highland Ranch Parkway, Kiley Parkway, David Allen Parkway and Lazy 5 Parkway, shall be constructed to City of Sparks standards. Pyramid Way shall be constructed to the Nevada Department of Transportation (NDOT) standards.

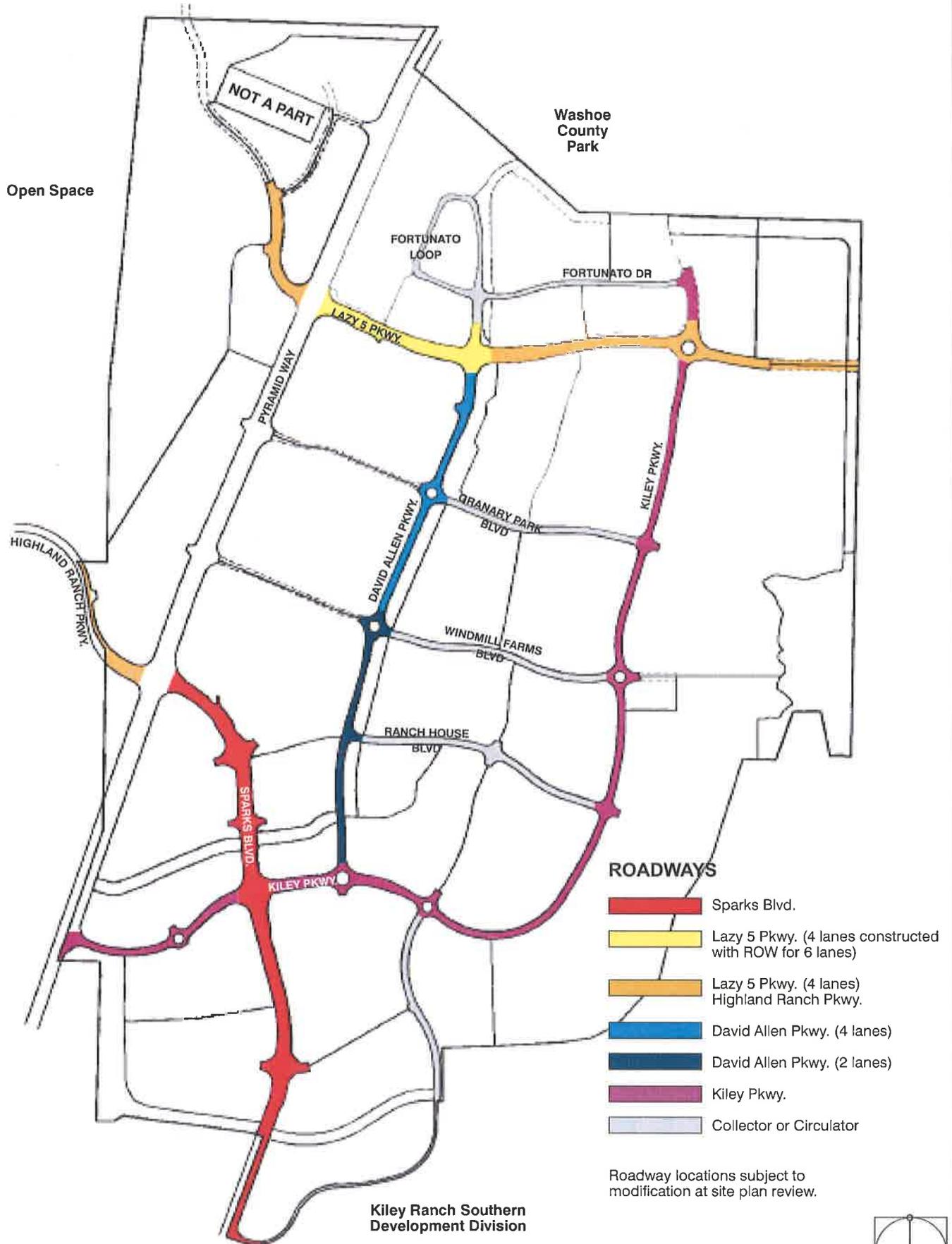
Landscaping within the rights-of-way, landscape buffers and medians is designed to enhance and beautify the street corridors along the roadways of Kiley Ranch North. Typical landscape designs for each roadway classification has been incorporated into Section 2.3.2, Streetscape Landscape.

#### 2.3.1.2 Access Standards

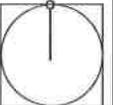
No specific layouts or users were identified for any of the planning areas at the time the Kiley Ranch North Tentative Development Handbook was approved. The City of Sparks Public Works design standards shall be used to direct and determine the design of access and layouts for owners or users at the time an Individual Project is proposed on any portion of the land identified in this Final Handbook. Access and circulation layouts will be reviewed and approved by the Kiley Ranch North Design Review Committee (DRC) and the City of Sparks.

Alleys are an encouraged design alternative within single-family residential areas of Kiley Ranch North. An alley is defined as a private way providing a secondary means of access to an abutting property and not intended for general traffic circulation. Alleys shall have a minimum width of 20 feet. Alleys are not designed to be used as an emergency vehicle access road.

**EXHIBIT 2-2: VEHICULAR CIRCULATION PLAN \***



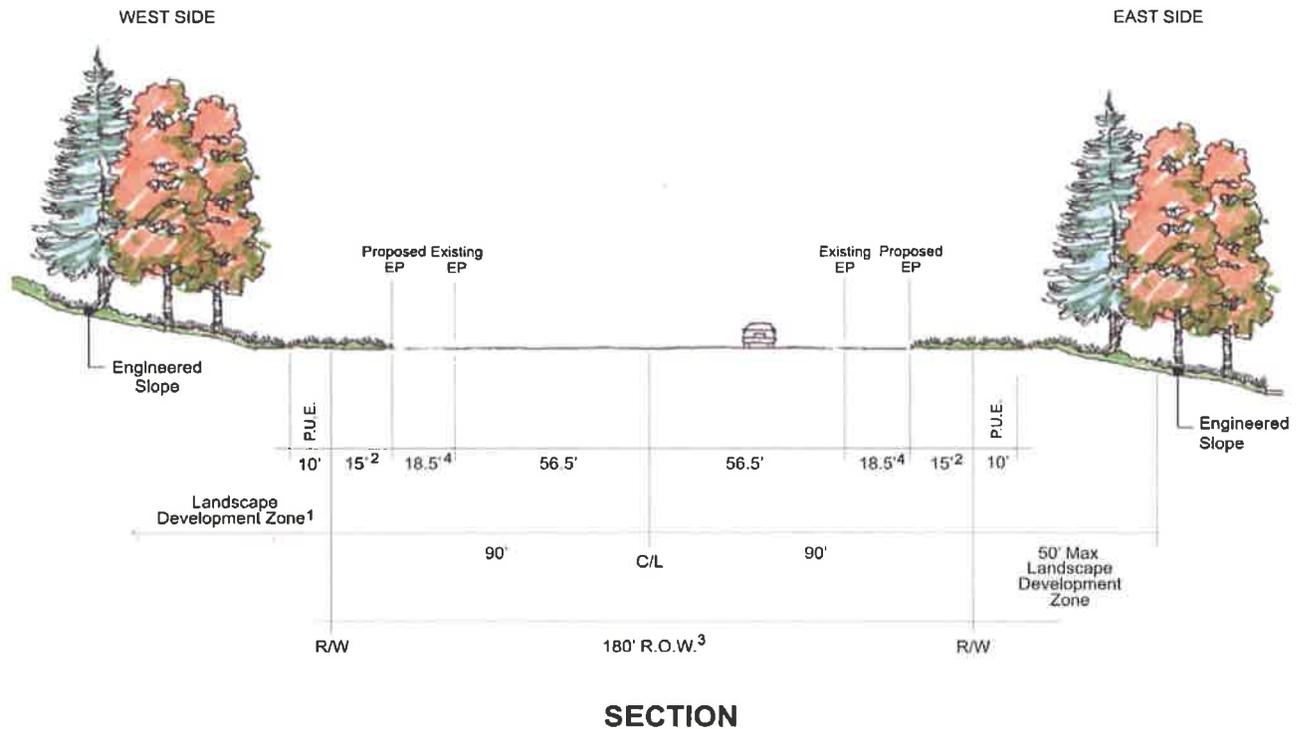
Kiley Ranch Southern Development Division



\* THIS MAP HAS BEEN MODIFIED FROM THE TENTATIVE DEVELOPMENT HANDBOOK



## EXHIBIT 2-3B: PYRAMID WAY CONCEPT 2 (North of Lazy 5 Pkwy/South of Sparks Blvd.)

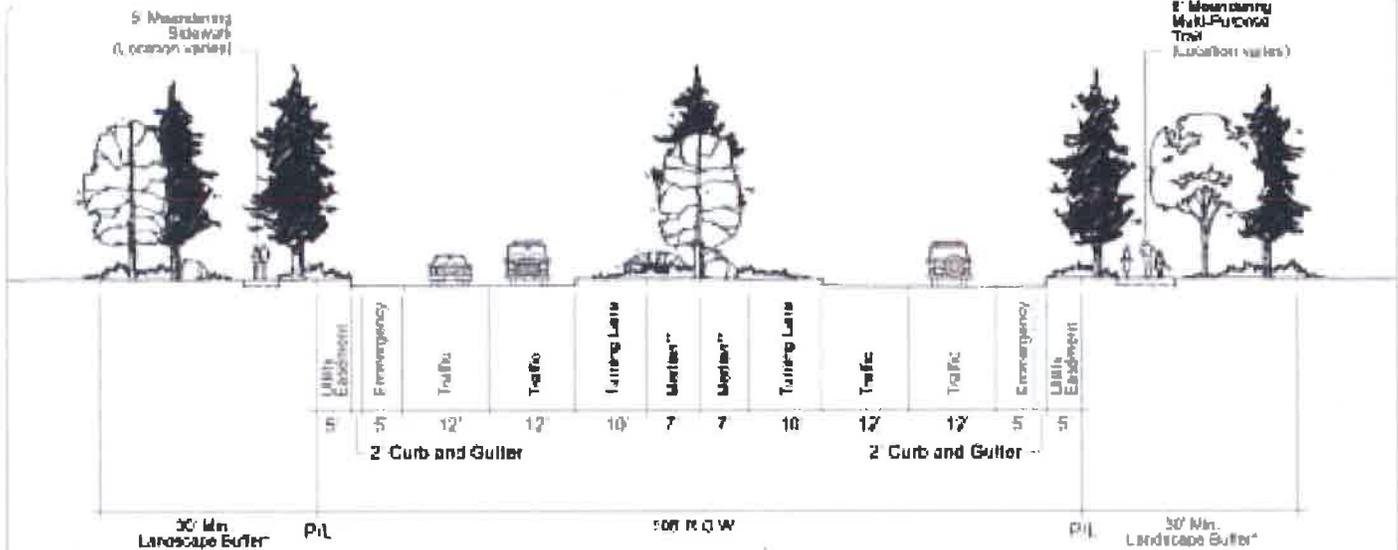


### Notes:

1. Landscape development zone to be established with future Final Handbooks.
2. Additional 15 foot ROW dedicated to the City of Sparks subject to compensation.
3. The Master Developer has offered for purchase 30 feet (15 feet per side) adjacent to the existing 150 foot ROW on Pyramid Way. This additional 30 feet of land has been offered so that RTC can, by means of a dedication map, and subject to reimbursement to the Master Developer, increase the ROW. This offering occurs south of Sparks Boulevard to the southern property boundary and north of Lazy 5 Parkway to the northern boundary.
4. Road widening may be necessary based on traffic requirements and subject to final design approval. The Master Developer will work with RTC for the sale of additional ROW for future interchange.

NOTE: Road sections are conceptual in nature and are subject to modifications; exact design is dependent on specific site conditions. The Regional Trail is located within the Orr Ditch Linear Park.

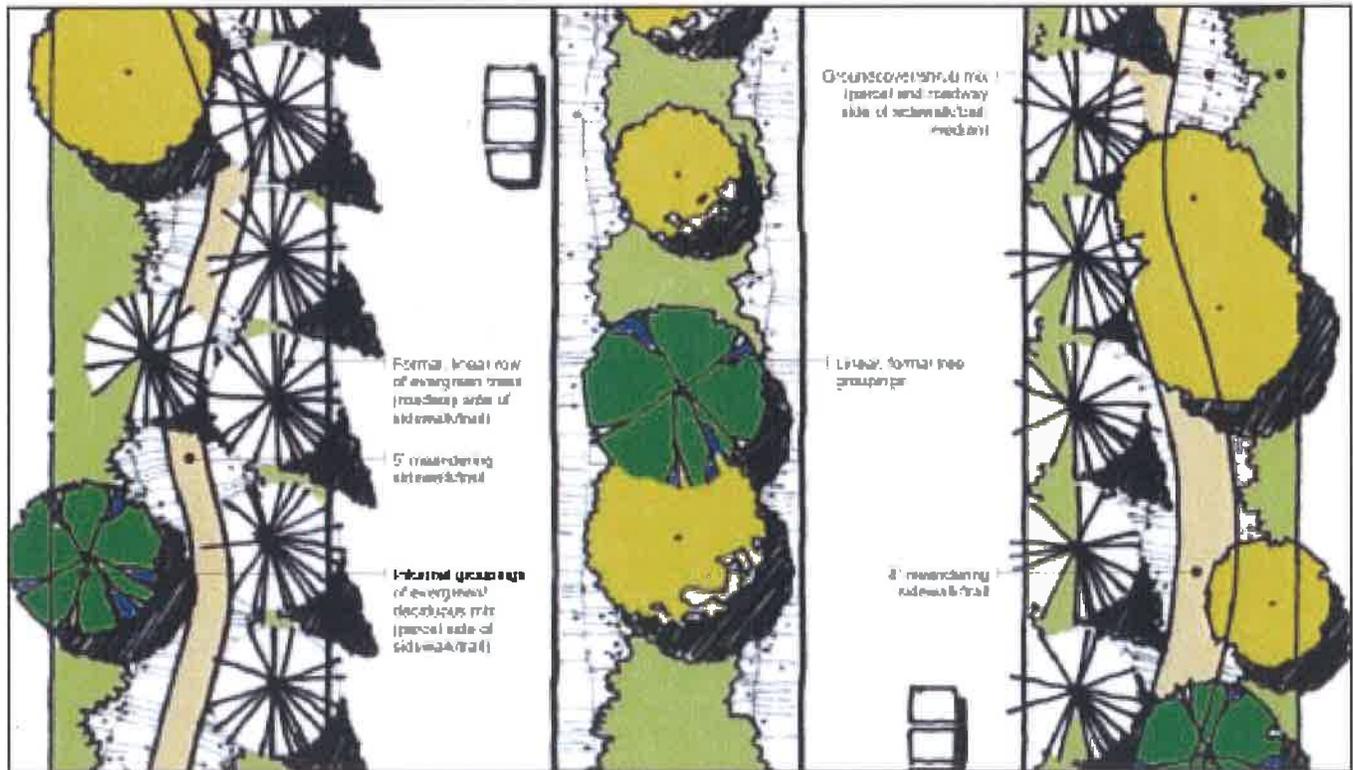
**EXHIBIT 2-4: SPARKS BOULEVARD DETAIL**



\* Sidewalk and landscape on roadway side of sidewalk to be installed with construction of roadway. Landscape on development side of sidewalk will be installed with the initial development of the adjacent property. Refer to Section 2.3.2 for additional criteria.

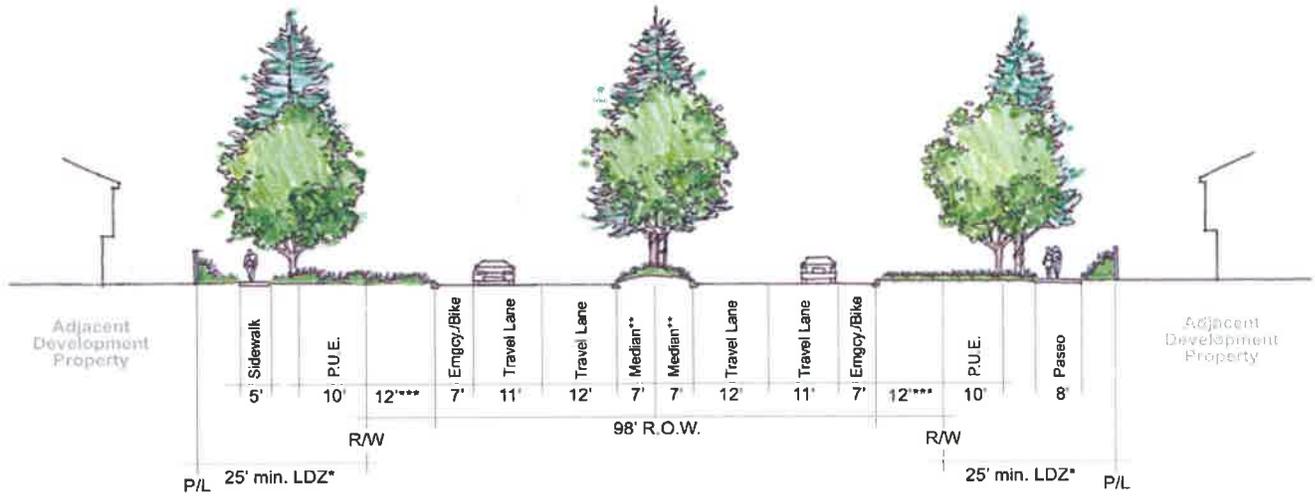
\*\* Entire median is to be constructed with the construction of the initial roadway.

**SECTION**



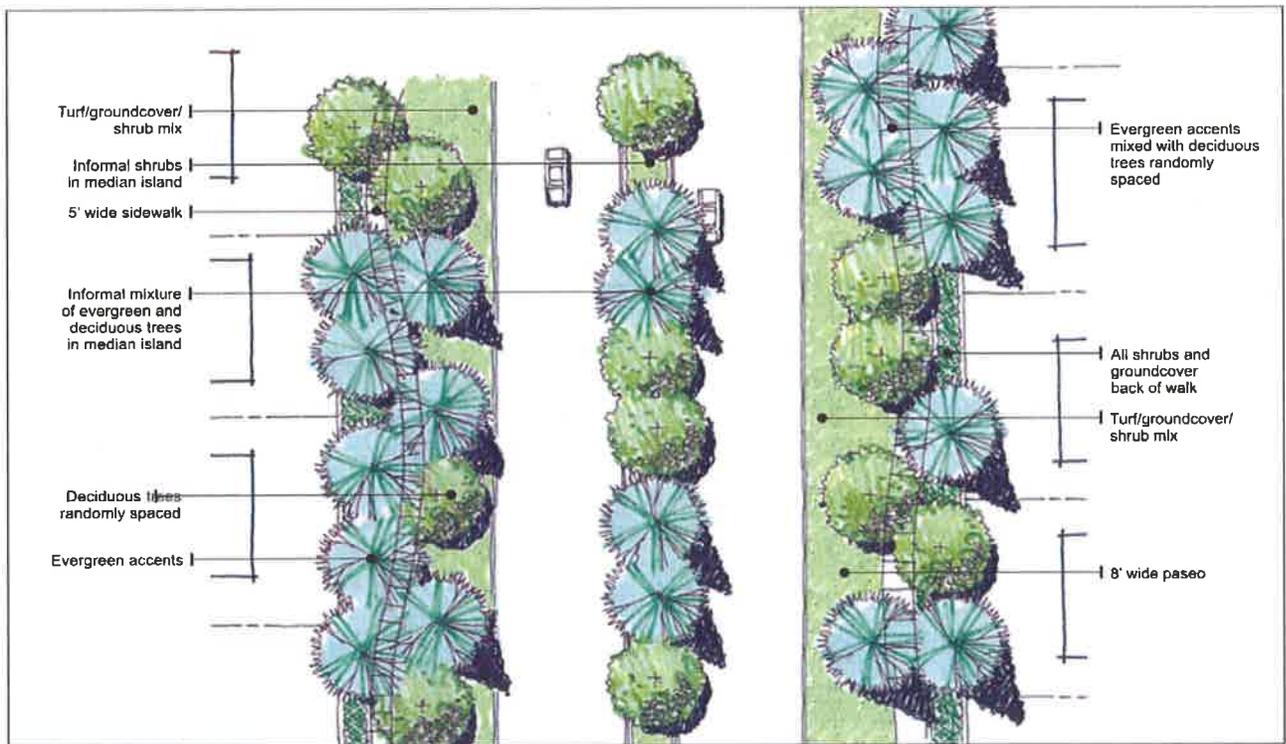
**PLAN**

**EXHIBIT 2-5A: LAZY 5 PARKWAY CONCEPT 1  
(Pyramid Way to David Allen Pkwy.)**



\* Sidewalk and landscape on roadway side of sidewalk to be installed with construction of roadway. Landscape on development side of sidewalk will be installed with the initial development of the adjacent property. Refer to Section 2.3.2 for additional criteria.  
 \*\* Entire median to be constructed with the construction of the initial roadway.  
 \*\*\*Future third land addition; RTC anticipates six lanes in the future.

**SECTION**

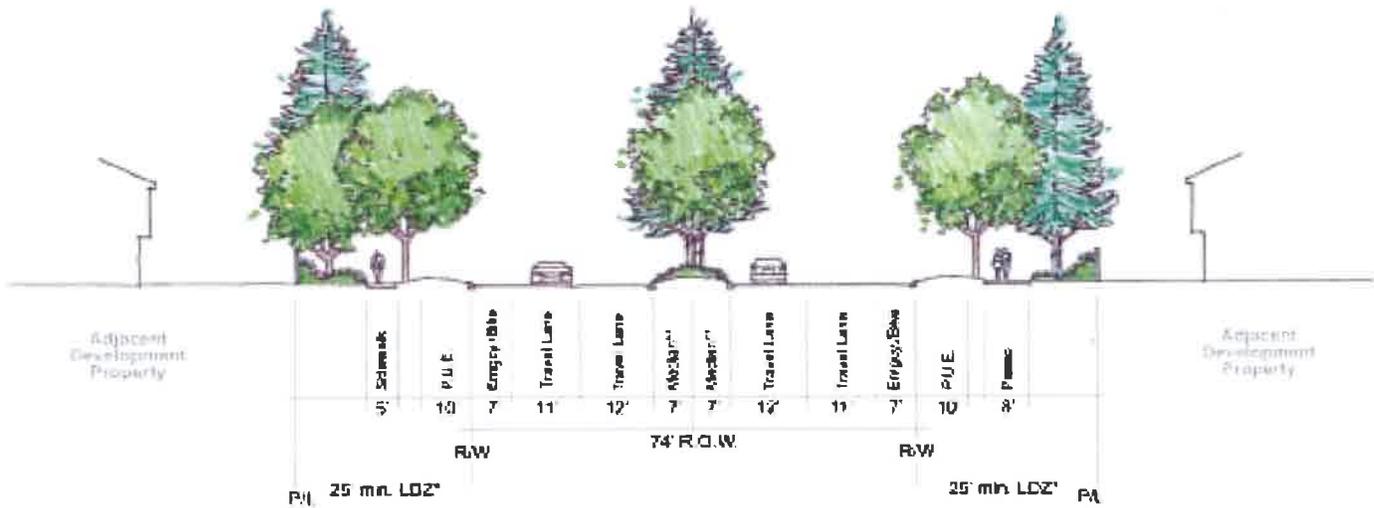


NOTE: Road sections are conceptual in nature and are subject to modifications; exact design is dependent on specific site conditions.

**SECTION PLAN VIEW**

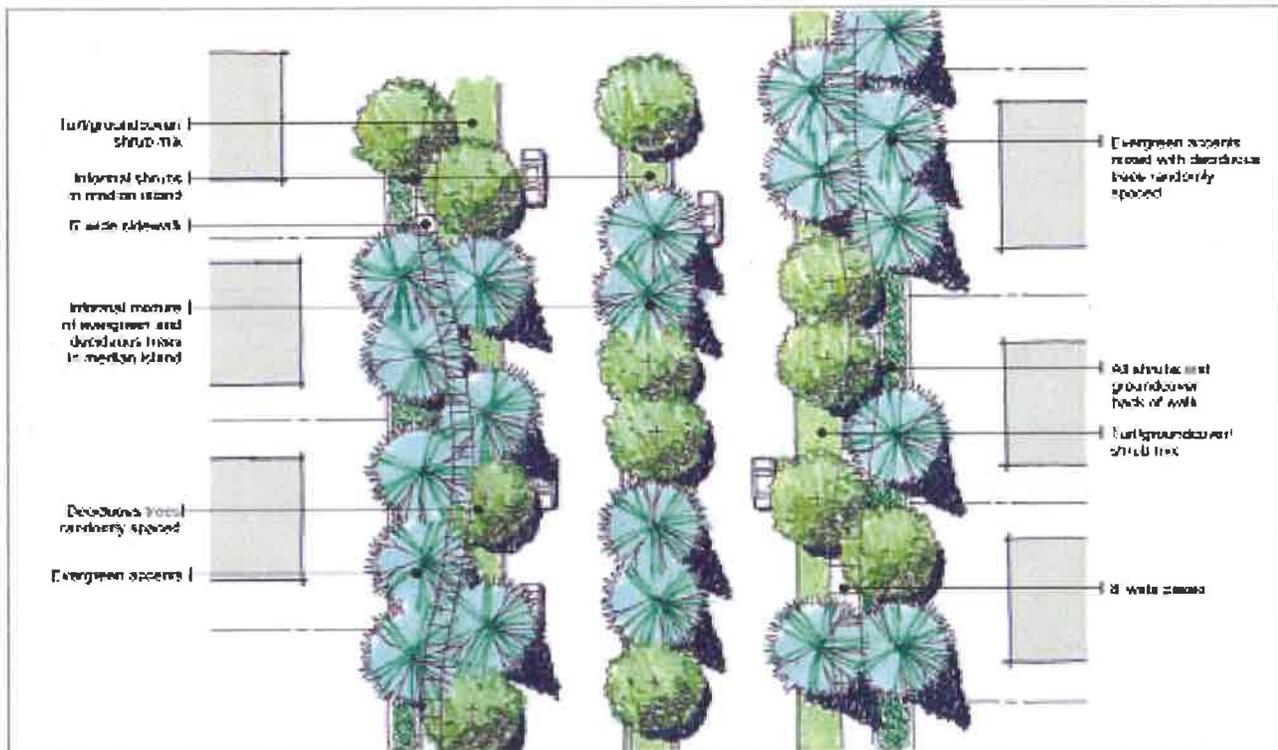
NOT TO SCALE

**EXHIBIT 2-5B: LAZY 5 PARKWAY CONCEPT 2  
(David Allen Pkwy. to Eastern Project Boundary)**



\* Sidewalk and landscape on roadway side of sidewalk to be installed with construction of roadway. Landscape on development side of sidewalk will be installed with the initial development of the adjacent property. Refer to Section 2.3.2 for additional criteria.  
 \*\* Entire median to be constructed with the construction of the initial roadway.

**SECTION**

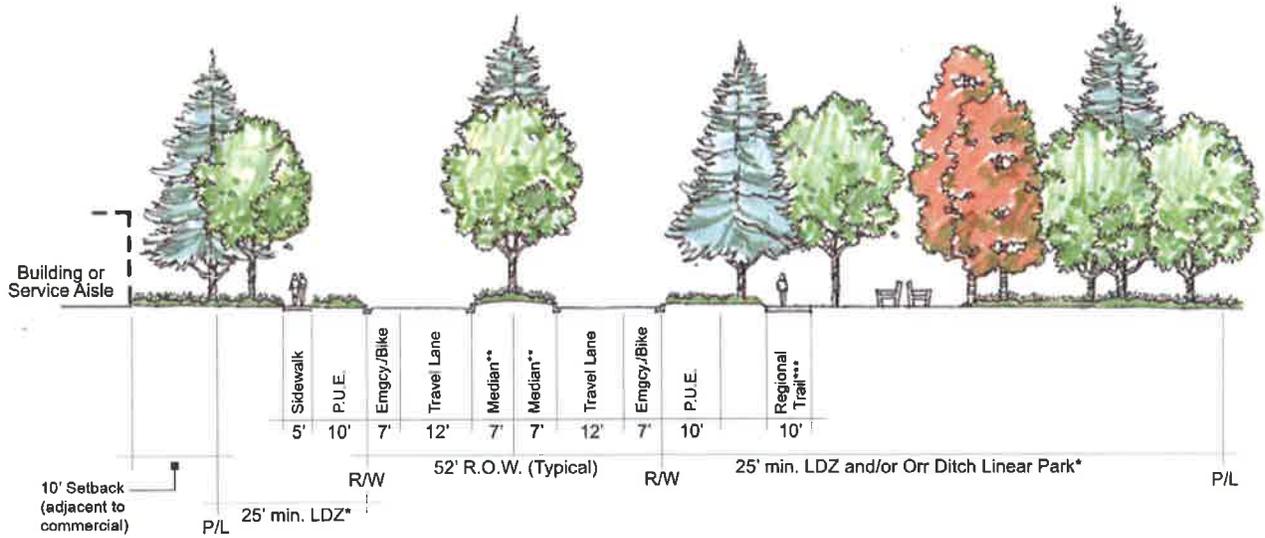


NOTE: Road sections are conceptual in nature and are subject to modifications. Land design is dependent on specific site conditions.

**SECTION PLAN VIEW**

NOT TO SCALE

**EXHIBIT 2-6A: DAVID ALLEN PARKWAY CONCEPT 1**  
**(Kiley Pkwy. to Windmill Farms Road - Adjacent to Neighborhood)**

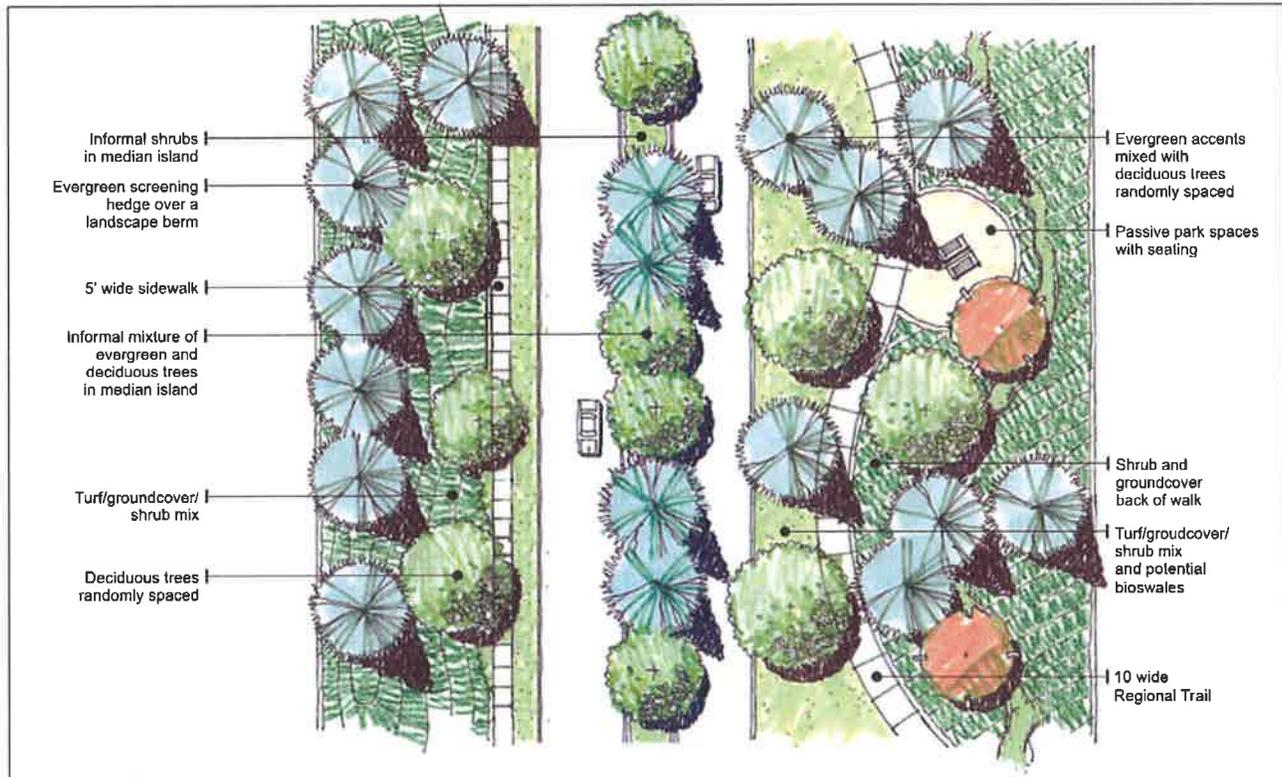


\* Sidewalk and landscape on roadway side of sidewalk to be installed with construction of roadway. Landscape on development side of sidewalk will be installed with the initial development of the adjacent property. Landscaping within the LDZ on the Orr Ditch Linear Park side of the roadway will be installed at the same time as the Orr Ditch Linear Park. Refer to Section 2.3.2 for additional criteria.

\*\* Entire median to be constructed with the construction of the initial roadway.

\*\*\* Regional trail may meander within the combined area of the LDZ and Orr Ditch Linear Park, outside of the 10' PUE adjacent to the roadway.

**SECTION**

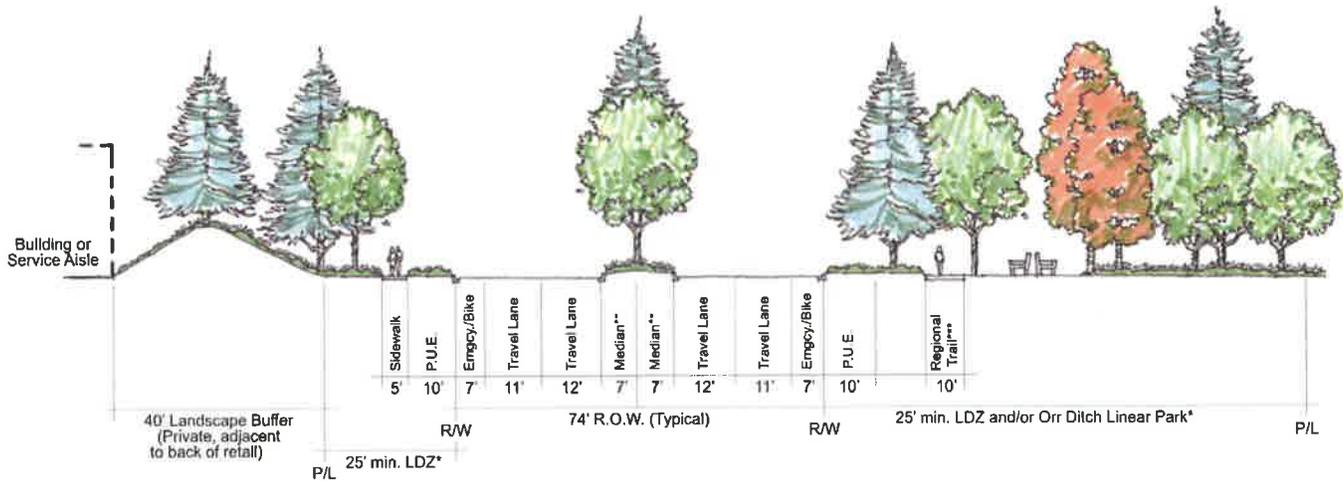


NOTE: Road sections are conceptual in nature and are subject to modifications; exact design is dependent on specific site conditions.

**SECTION PLAN VIEW**

NOT TO SCALE

**EXHIBIT 2-6B: DAVID ALLEN PARKWAY CONCEPT 2  
(Windmill Farms to Lazy 5 Pkwy.)**

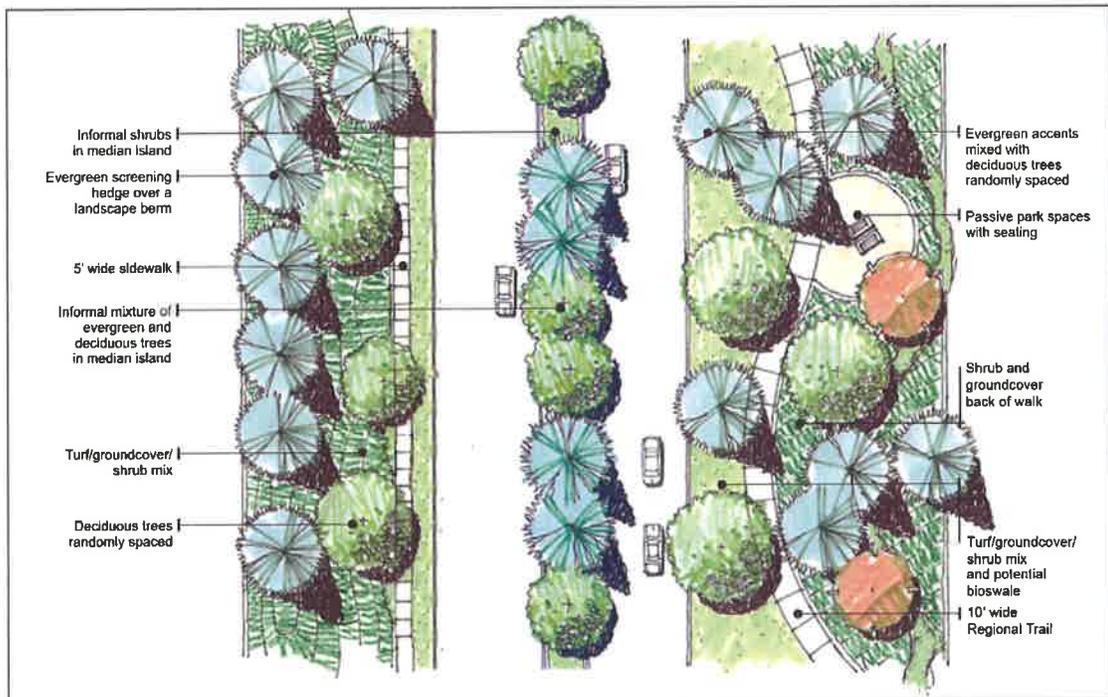


\* Sidewalk and landscape on roadway side of sidewalk to be installed with construction of roadway. Landscape on development side of sidewalk will be installed with the initial development of the adjacent property. Landscaping within the LDZ on the Orr Ditch Linear Park side of the roadway will be installed at the same time as the Orr Ditch Linear Park. Refer to Section 2.3.2 for additional criteria.

\*\* Entire median to be constructed with the construction of the initial roadway.

\*\*\* Regional trail may meander within the combined area of the LDZ and Orr Ditch Linear Park, outside of the 10' PUE adjacent to the roadway.

**SECTION**

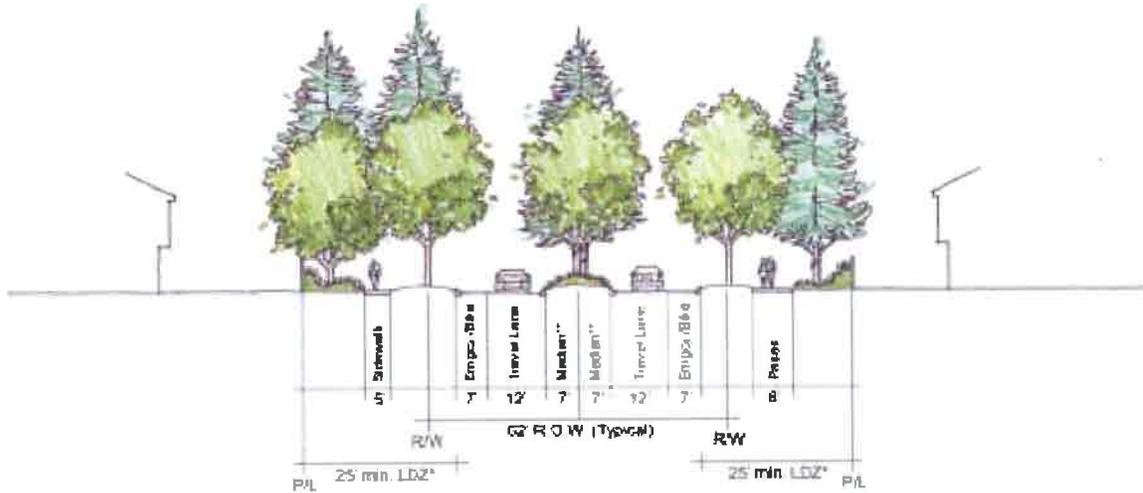


NOTE: Road sections are conceptual in nature and are subject to modifications; exact design is dependent on specific site conditions.

**SECTION PLAN VIEW**

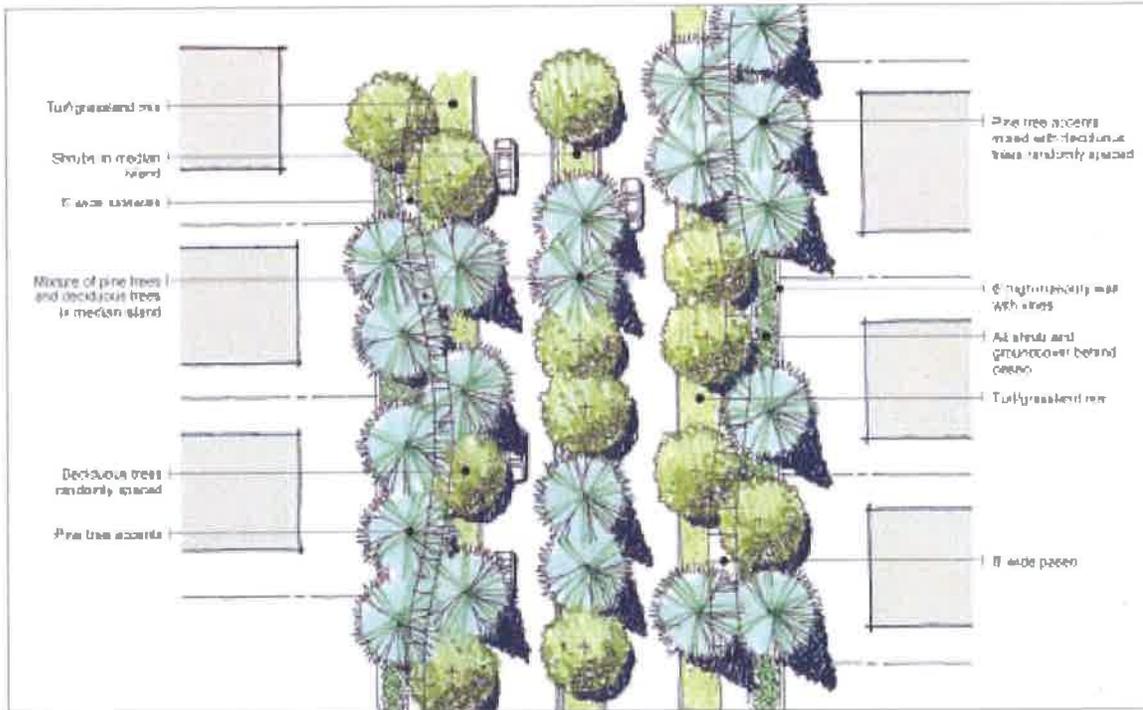
NOT TO SCALE

**EXHIBIT 2-7: KILEY PARKWAY CONCEPT**



\* Sidewalk and landscape on roadway side of sidewalk to be installed with construction of roadway. Landscape on development side of sidewalk will be installed with the initial development of the adjacent property. Refer to Section 2.3.2 for additional criteria  
 \*\* Entire median to be constructed with the construction of the initial roadway.

**SECTION**

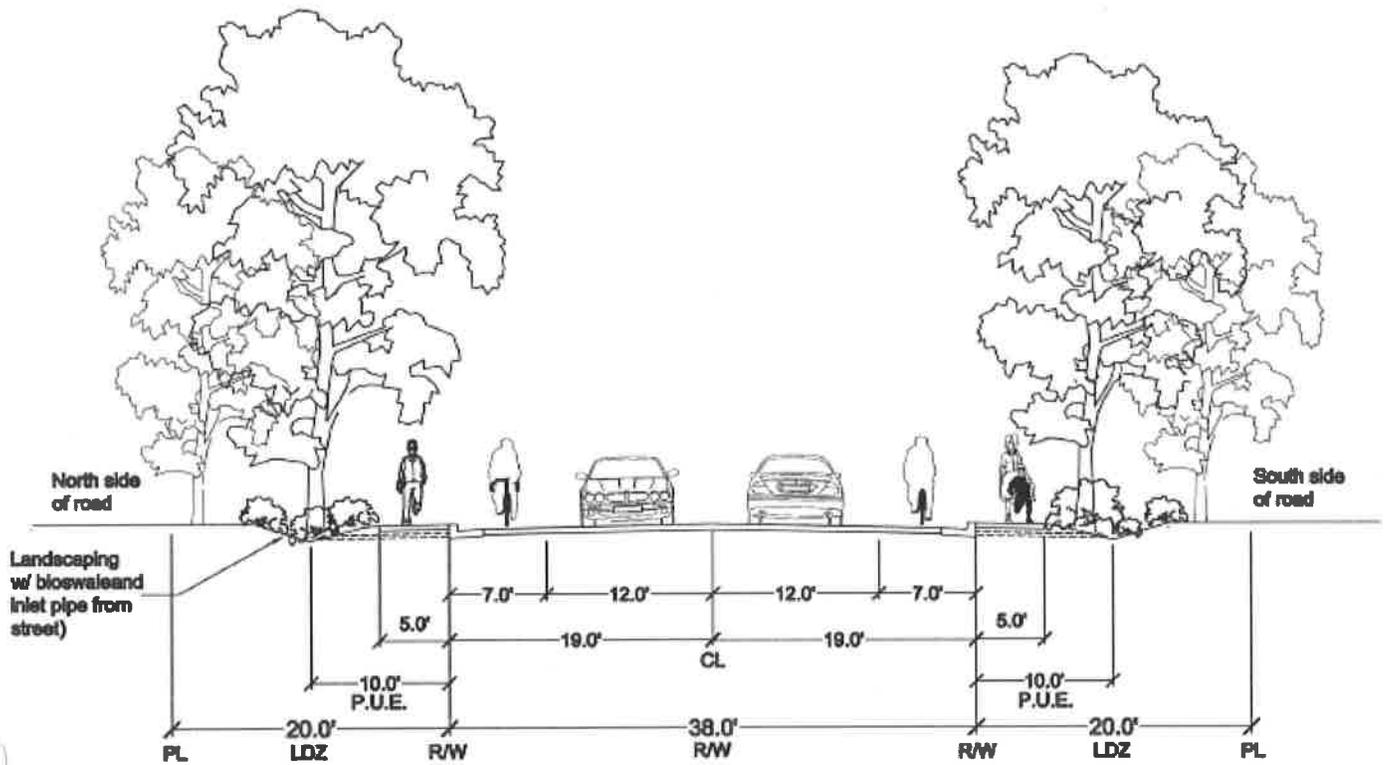


NOTE: Road sections are conceptual in nature and are subject to modifications. Final design is dependent on specific site conditions.

**SECTION PLAN VIEW**

NOT TO SCALE

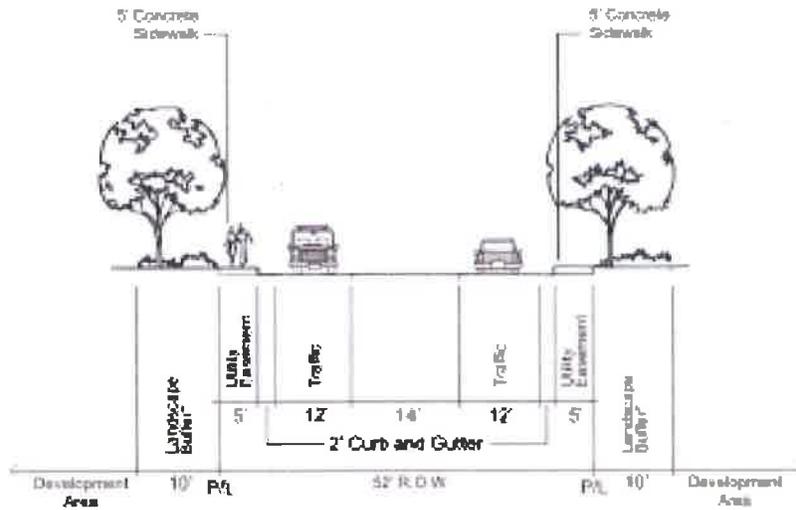
**EXHIBIT 2-8: CONCEPTUAL COMMUNITY COLLECTOR DETAIL  
(@ GRANARY PARK BLVD)**



**SECTION**

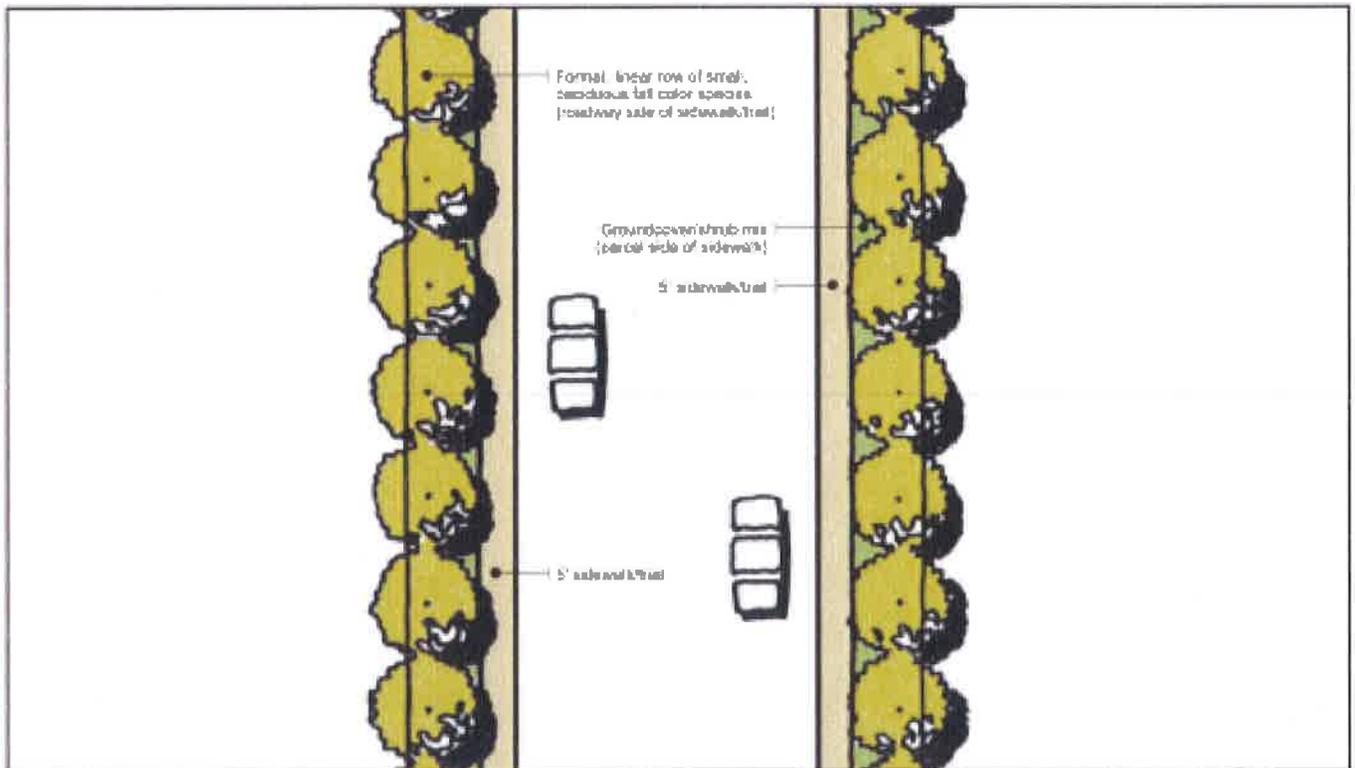
NOTE: Road Sections are conceptual in nature and are subject to modifications; exact design is dependent on specific site conditions.

**EXHIBIT 2-9: CONCEPTUAL COMMERCIAL COLLECTOR DETAIL**



\* Sidewalk and landscape on roadway side of sidewalk to be installed with construction of roadway. Landscape on development edge of sidewalk will be installed with the initial development of the adjacent property. Refer to Section 2.3.2 for additional criteria.

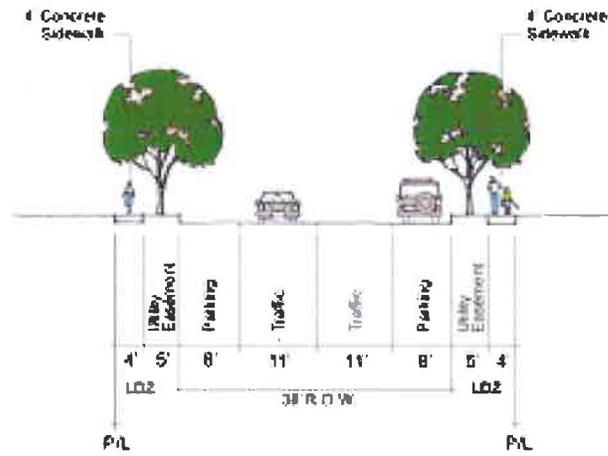
**SECTION**



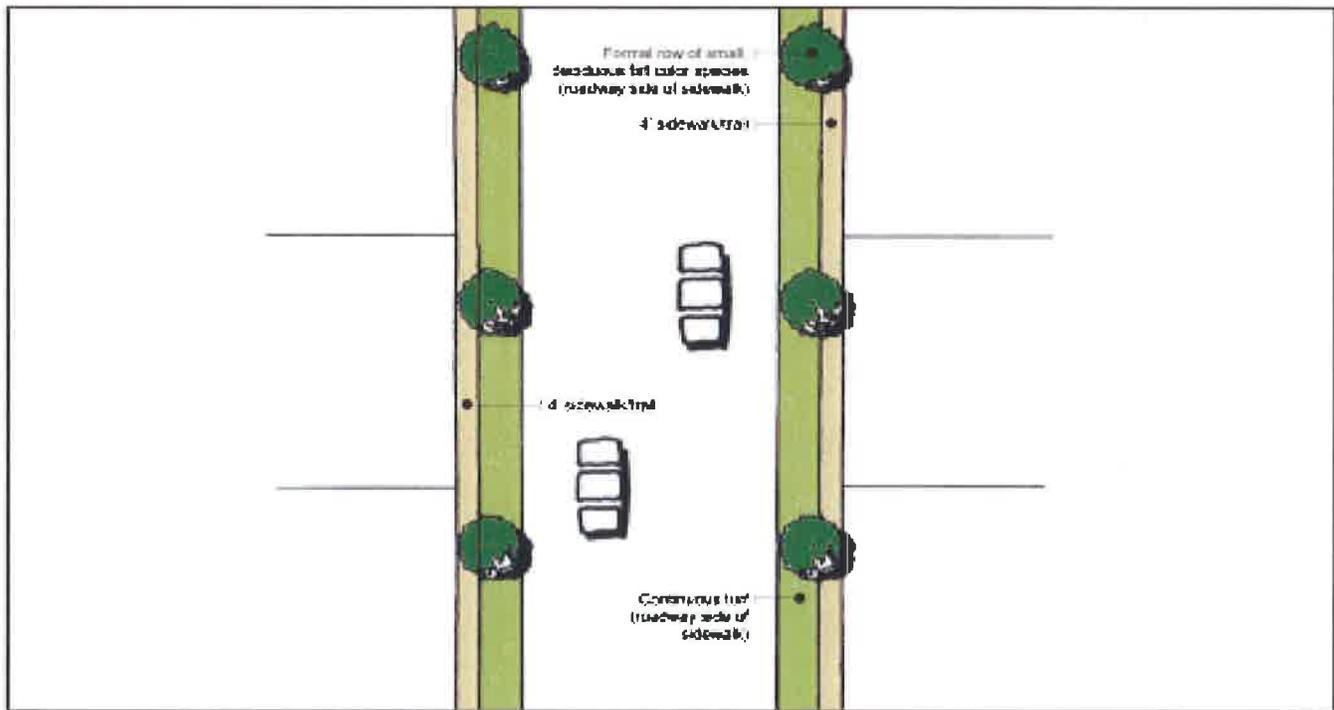
**PLAN**

NOT TO SCALE

**EXHIBIT 2-10: CONCEPTUAL RESIDENTIAL LOCAL DETAIL**

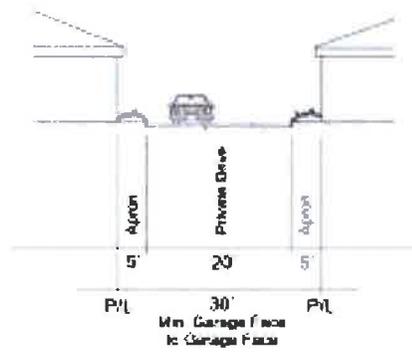


**SECTION**



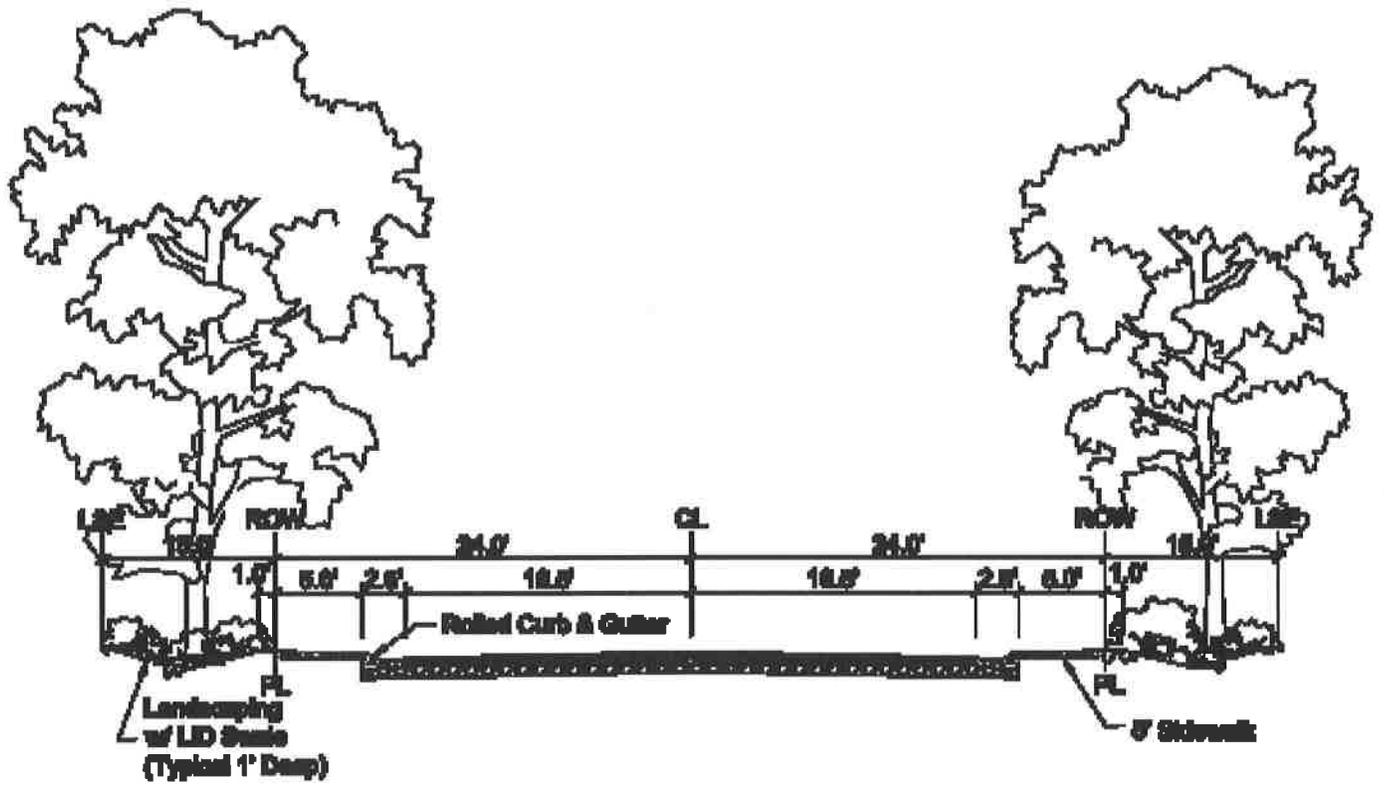
**PLAN**

**EXHIBIT 2-10A: CONCEPTUAL RESIDENTIAL ALLEY DETAIL**



**SECTION**

EXHIBIT 2-11: CONCEPTUAL CIRCULATOR (IN OFFICE/BUSINESS PARK)



### 2.3.2 Streetscape Landscape

The arterial and collector streets of Kiley Ranch North have been designed to promote a feeling of openness throughout the development. Each of these streets are adjacent to a landscape buffer between 15 feet to 50 feet on each side of the right-of-way, related to its classification and traffic volume. Table 2-2 outlines the landscape design for these areas. All landscaping within Kiley Ranch North shall be provided in accordance with the City of Sparks Municipal Code unless stricter requirements are identified in this Development Handbook. Landscape design for development projects will be reviewed and approved by the DRC and the City of Sparks.

#### CONSTRUCTION

Sidewalks and landscaping on the roadway side of the sidewalk are to be installed with the construction of the adjacent roadway. This applies to landscaping within the rights-of-way and landscape buffers along Sparks Boulevard, Highland Ranch Parkway, Kiley Parkway, Lazy Five Parkway, and collector roads. Landscape on the development side of the sidewalk will be installed with the initial development of the adjacent property by the site developer. Medians within Sparks Boulevard, Highland Ranch Parkway, Kiley Parkway, and Lazy Five Parkway will be installed and landscaped with the construction of the roadway. Parkways within single-family residential neighborhoods shall be landscaped before the occupancy of the affected units. Refer to Exhibits 2-3 through 2-12 for sections and plans.

#### MAINTENANCE

Landscaping located within the right-of-way and landscape buffers adjacent to arterial roadway classifications shall be maintained by the Kiley Ranch North Landscape and Lighting District (LLD). The LLD shall also maintain the landscape buffer adjacent to Pyramid Way. In addition, the LLD shall maintain the landscaping located within the right-of-way and landscape buffer along both sides of David Allen Parkway (only when it is adjacent to the Orr Ditch Linear Park) and the Orr Ditch Linear Park. Areas to be maintained by the LLD may be initially maintained by the MC until dedicated to the LLD. Landscape located within the right-of-way and the landscape buffer adjacent to all other roadways including local streets shall be maintained by the Kiley Ranch North Maintenance Corporation (MC). Refer to Exhibit 2-13, Conceptual Landscape, Lighting, and Community Gateway Plan. The City of Sparks shall be responsible for the maintenance and liability of all sidewalks/trails within the public right-of-way or within other easement areas dedicated for public use. A public access easement shall be granted to the City of Sparks for all sidewalks/trails located outside the right-of-way. An access easement shall be granted to the LLD and MC for all landscape areas within the right-of-way.

The design standards for the Pyramid Way right-of-way are governed by the Nevada Department of Transportation (NDOT). The standards contained in this Development Handbook regarding the landscape and lighting within the Pyramid Way right-of-way are recommendations only.

#### GENERAL REQUIREMENTS AND DEFINITIONS:

- a) Evergreen trees shall be 6' minimum height.
- b) Large and medium deciduous trees shall be 2" min. caliper, small deciduous trees shall be 1" min. caliper. Caliper width refers to deciduous species at the time of installation.
- c) Landscape easement may include a maximum of 10% organic and/or bark mulch as groundcover to satisfy landscaping requirements.
- d) At time of planting, all groundcover and shrub areas must have 100% coverage with organic, rock and/or bark mulch, to protect the soil.
- e) Slope banks shall utilize native and/or adapted species to reduce maintenance and irrigation requirements. Adapted species refers to non-native or exotic plant species that are non-invasive and well adapted to the local climate and growing conditions.
- f) All trees should have a minimum 6' diameter mulched base.
- g) Landscape within the Orr Ditch Linear Park shall utilize native and/or adapted species to reduce maintenance and irrigation.
- h) Large trees exceed 40 feet in height and 40 feet canopy diameter at maturity.

- i) Medium trees range from 20 feet to 40 feet in height and 10 feet to 40 feet in canopy diameter at maturity.
- j) Small trees range from 8 feet to 20 feet in height and 6 feet to 20 feet in canopy diameter at maturity.
- l) Riparian species refers to water-loving plants that are usually associated with drainage ways or riparian corridors.
- m) Formal groupings refers to the linear or patterned arrangement of plants at a regular spacing interval.
- n) Informal and clustered groupings refers to the random or irregular arrangement of plants in groups of 3 or more and spaced a maximum of 60 feet between clusters.

Table 2-2: Streetscape Landscape Standards

Roadway	R.O.W.		LANDSCAPE DEVELOPMENT ZONE		
	Median	Utility Ease-ment (on each side)	Sidewalk/Trail (S/T) <sup>1</sup>	Roadway Side of S/T	Parcel Side of S/T
PYRAMID WAY <sup>3</sup>	14'	10'	n/a	26' on each side	
Tree Type(s)				2 deciduous/1 evergreen per 100 LF. Recommend accent landscape at commercial edges and entries.	
Tree Size				2" min caliper/6' height	
Pattern/Spacing				Informal and clustered	
Other		groundcover mix		75% shrub/groundcover mix with inert mulch and 25% revegetation. 50% plant coverage within 3 years.	
SPARKS BOULEVARD	34'	5'	5/8'	30' on each side	
Tree Type(s)	Specimen tree (fall color)			Evergreen trees. Recommend accent landscape at TC edge.	30% evergreen/ 70% deciduous mix. Evergreen species at Village Center edge.
Tree Size	2" min caliper			3" min caliper	2" min caliper
Pattern/Spacing	linear row 25' on center <sup>2/3</sup> and 10' from edge within 14' center			Linear row 20' on center	Informal and clustered
Other	40% shrub/60% groundcover mix.	20% shrub/80% groundcover mix	S/T meanders	60% shrub/40% ground-cover mix	60% shrub/40% ground-cover mix
HIGHLAND RANCH <sup>4</sup> / KILEY PARKWAY <sup>5</sup>	14'	10'	5/8'	25' on each side	
Tree Type(s)	Deciduous and Evergreen mix			Medium fall color species. Recommend accent landscape at commercial edges and entries.	40% evergreen/60% deciduous mix
Tree Size	2" min caliper/6' ht.			2" min caliper/6' ht	2" min caliper/6' ht
Pattern/Spacing	15' oc min <sup>3</sup> , offset/informal			Linear row 20' on center, Singular species theme each block.	Informal and clustered
Other	shrub/groundcover mix.	shrub/ground-cover mix	S/T meanders	shrub/groundcover mix	shrub/groundcover mix
1. Trail shall be provided on one side of the roadway, sidewalk on the other. Refer to Exhibits 2-3 thru 2-12 for sidewalk/trail sections and plans. 2. Trees shall be planed within 6 feet of center to accommodate future land expansion into median. 3. Trees shall not be planed within 15 feet of roadway near Pyramid Way, where widening may occur to accommodate extra left turn lane. 4. Landscaping will occur on north side of Highland Parkway only. 5. No median north of Lazy 5 Pkwy					
Additional Requirements - Maintained grass swales permitted in landscape development zone. - No trees in median adjacent to left turn lane - Reclaimed water irrigation shall be used if allowed by permit.					

2. DEVELOPMENT STANDARDS

Table 2-2: Streetscape Landscape Standards					
Roadway	R.O.W.	Utility Ease- ment (on each side)	Sidewalk/Trail <sup>1</sup> (S/T)	LANDSCAPE DEVELOPMENT ZONE	
	Median			Roadway Side of S/T	Parcel Side of S/T
LAZY 5 PARKWAY <sup>2</sup>	14'	10'	5/8'	25' on each side	
Tree Type(s)	2 deciduous/1 evergreen per 100 LF.			4 trees per 100 LF. mix deciduous and evergreen.	
Tree Size	2" min caliper/6' height			2" min caliper/6' height	
Pattern/Spacing	Informal and clustered			Informal and clustered, 1 tree per 30 LF equivalent	
Other	80% shrub/ground-cover mix with inert mulch and 20% turf. 50% plant coverage within 3 years.	shrub/ground-cover mix	S/T meanders	80% shrub/groundcover mix with inert mulch and 20% turf. 50% plant coverage within 3 years.	
DAVID ALLEN PARKWAY <sup>1</sup>	14'	10'	5/10'	15' on non-Park side	
Tree Type(s)	Deciduous and evergreen mix			30% evergreen/70% deciduous mix on both sides, with emphasis on riparian species on east side of pkwy.	30% evergreen/70% deciduous mix with use of native species and riparian vegetation on east side of pkwy. only.
Tree Size	2" min. caliper/6' ht.			2" min caliper/6' height	3" min caliper, east side only/6' height
Pattern/Spacing	Informal			20' oc, formal row on west side only.	Informal and clustered, Incorporating existing species on east side only. 1 tree per 30 LF equivalent
Other	Groundcover/shrub mix	shrub/ ground-cover mix	5' sidewalkparallels west side of pkwy. 10' regional trail meanders east side of pkwy.	shrub/40% groundcover mix	shrub/ groundcover mix
COMMUNITY COLLECTOR	N/A	5'	5/5'	15' on each side	
Tree Type(s)				Small deciduous specimen tree (fall color)	
Tree Size				2" min caliper	
Pattern/Spacing				linear row 15' on center	
Other		20% shrub/80% groundcover mix	S/T parallels parkway.	60% shrub/40% ground-cover mix	60% shrub/40% ground-cover mix

1. No median north of Lazy 5 Parkway

Table 2-2: Streetscape Landscape Standards					
Roadway	R.O.W.		LANDSCAPE DEVELOPMENT ZONE		
	Median	Utility Easement (on each side)	Sidewalk/Trail (S/T) <sup>1</sup>	Roadway Side of S/T	Parcel Side of S/T
COMMERCIAL COLLECTOR	N/A	10'	5' Sidewalk on 15' side	15' on one side/10' on one side	
Tree Type(s)				To be determined during plan review process	
Tree Size					
Pattern/Spacing					
Other		Utility Easement located within landscape buffer			
CIRCULATOR ROAD (within Business Park) <sup>2</sup>	N/A	10'	5' each side		
Tree Type(s)/Spacing				Mixture of large, medium and small trees, 3 per 100 LF	
Tree Size				2" min. caliper (large/medium), 1" min. (small)	
Pattern				Informal	
Other				Shrub/ground cover mix. 50% coverage within 3 years. Low Impact Development strategies (native veg., bio-swales, etc.) shall be used.	
RESIDENTIAL LOCAL	N/A	5'	4'	Not Applicable	
Tree Type(s)		Small Deciduous			
Tree Size		1.5" min. caliper			
Pattern/Spacing		1 per lot/frontage			
Other		drought tolerant turf	Sidewalk parallels parkway.		

1 - Trail shall be provided on one side of the roadway. Refer to Exhibit 2-3 through 2-9 for sidewalk/trail sections and plans.

2 - The Circulator Road landscape requirements can be credited toward the adjacent parcel landscape requirements.

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### 2.3.3 Street Lighting

The lighting for Kiley Ranch North will be designed to enhance the quality and safety of the streetscape corridors. Lighting design will contribute to the overall atmosphere by reinforcing the community structure through a cohesive, identifiably unique palette of materials. Lighting design will be reviewed and approved by the DRC and the City of Sparks. All lighting located within the right-of-way of arterial, collector roads, local streets and landscape development zones, and other public common areas will be installed by the master developer and maintained by either NV Energy (SPPC) or the MC. Lighting located within the Orr Ditch Linear Park shall be maintained by the the MC or NV Energy. Neighborhood parks will be constructed, maintained and owned by the City of Sparks. Neighborhood Parks may be constructed by Master Developer through agreement with the City of Sparks. This section provides lighting standards for arterials, collectors and local streets, as well as pedestrian, landscape and sign lighting within Kiley Ranch North. The goals of these lighting standards are to:

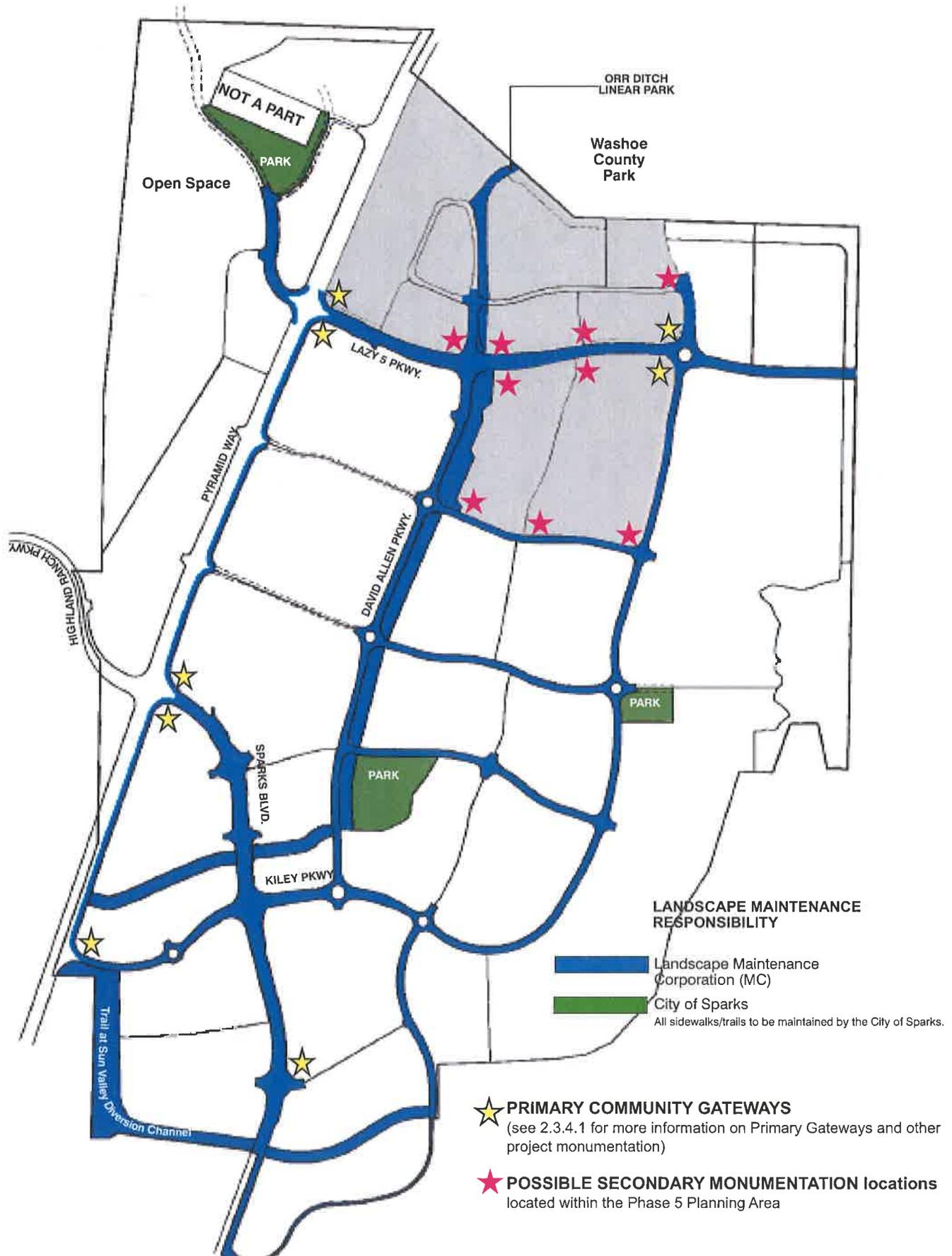
- (1) Provide adequate illumination for both motorists and pedestrians;
- (2) Reinforce the pedestrian scale of the community; and
- (3) Allow for quality lighting design that reflects the theme of the community

#### 2.3.3.1 Arterials, Collectors and Local Streets

##### GENERAL REQUIREMENTS:

- a) Lighting fixture types shall be of a consistent scale, design and color along street corridors
- b) Lighting fixture types shall differentiate use areas within Kiley Ranch North.
- c) Street lighting shall be directionally shaded to reduce offsite fugitive light and glare.
- d) Light fixture height shall not exceed the maximum heights indicated for the specific application.
- e) Refer to Table 2-3 for additional lighting standards.
- f) The location and design of street lighting at roundabouts will be subject to the approval of the Kiley Ranch DRC and the City of Sparks.

**EXHIBIT 2-12 CONCEPTUAL LANDSCAPE AND COMMUNITY GATEWAY PLAN**



- ★ PRIMARY COMMUNITY GATEWAYS**  
(see 2.3.4.1 for more information on Primary Gateways and other project monumentation)
- ★ POSSIBLE SECONDARY MONUMENTATION locations**  
located within the Phase 5 Planning Area

Table 2-3: Streetscape Lighting Standards

Roadway Designation	Roadway	Standards				
		Location	Model (Luminaire, mast arm and pole)	Maximum Height	Finish Color	Placement & Spacing <sup>3</sup>
High Access Control Arterial	Pyramid Way	where required by NDOT	NDOT <sup>1</sup> standards	NDOT standards	NDOT standards	NDOT standards
Moderate Access Control Arterial	Sparks Blvd.	Both sides of roadway; in median between Kiley Pkwy. and Pyramid Way	Selected from Sierra Pacific Power Company palette and to be approved by KRNDRC <sup>2</sup>	Thirty (30) foot pole	Luminaire and mast arm: Black; Pole: Brown	where required by City of Sparks and NV Energy
Arterial	Kiley Ranch Pkwy., Highland Ranch Pkwy., Lazy 5 Pkwy.	Both sides of roadway or center median where possible	Selected from Sierra Pacific Power Company palette and to be approved by KRNDRC	Thirty (30) foot pole	Luminaire and mast arm: Black; Pole: Brown	where required by City of Sparks and NV Energy
Collector	Collectors not including David Allen Pkwy.	Both sides of roadway	Selected from Sierra Pacific Power Company palette and to be approved by DRC	Thirty (30) foot pole	Luminaire and mast arm: Black; Pole: Brown	where required by City of Sparks and NV Energy
Collector (David Allen Parkway)	David Allen Pkwy.	Both sides of Roadway or center median where possible	Selected from Sierra Pacific Power Company palette and to be approved by DRC	Thirty (30) foot pole	Luminaire and mast arm: Black; Pole: Brown	where required by City of Sparks and NV Energy
Circulator Road	Including Fortunato Loop, Fortunato Drive	where required by City of Sparks	Selected from NV Energy palette and to be approved by DRC	Between 20' and 30' max. height pole	TBD	where required by City of Sparks and NV Energy
Neighborhood Local	All public streets within a parcel or subdivision	Both sides of roadway	Selected from Sierra Pacific Power Company palette and to be approved by DRC	Twenty (20) foot pole	Luminaire and mast arm: Black; Pole: Brown	where required by City of Sparks and NV Energy

1 - NDOT - Nevada Department of Transportation

2 - DRC - Kiley Ranch North Design Review Committee

3 - Placement and Spacing of street lighting is subject to the approval by NV Energy and the Director of Public Works, as specified in the Sparks Municipal Code.

### 2.3.4 Entries

The consistent treatment of community gateways and neighborhood entries will help establish a consistent community character, while allowing a variety of entry treatments and identities for individual neighborhoods. There is a hierarchy of monumentation, from Primary Community Gateways, Secondary Monumentation to Neighborhood Entries. The design of all entries will be reviewed and approved by the DRC and the City of Sparks.

#### 2.3.4.1 Primary Community Gateways

Community gateways are located at key intersections into the community to welcome visitors and residents to Kiley Ranch North. Community gateways are to be constructed with adjacent development by the master developer and maintained by the MC. Exhibit 2-12 (Conceptual Landscape, Lighting, and Community Gateway Plan) depicts possible locations for Primary Community Gateways as well as secondary monumentation.

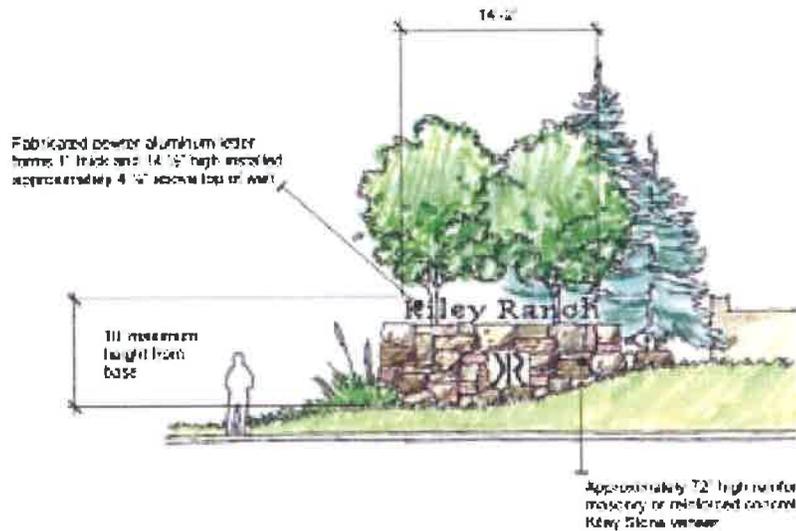
#### GENERAL REQUIREMENTS

- a) Primary Community Gateways shall be designed to clearly identify and establish the overall image of Kiley Ranch North. At each point of entry, the design of the community gateway shall incorporate historical context through materials, tone and texture. Refer to Exhibit 2-13, Conceptual Community Gateway Monumentation, for a conceptual design of a community entry monument.
- b) All graphic lettering and font style shall be the same on every monument.
- c) The landscape theme surrounding the Primary Community Gateways shall incorporate native materials, predominantly designed to look natural and wild, with some manicured ornamental landscaping where necessary.
- d) Designs that incorporate fountains, water mills, weirs, wells, and rock massing are strongly encouraged.
- e) Designs shall integrate and consider the adjacent land uses, public plazas, viewsheds, and the pedestrian network.
- f) Primary Community Gateways shall be located outside the sight visibility triangle at road intersections, turn pockets and the public right of way.

#### 2.3.4.2 Secondary Monumentation

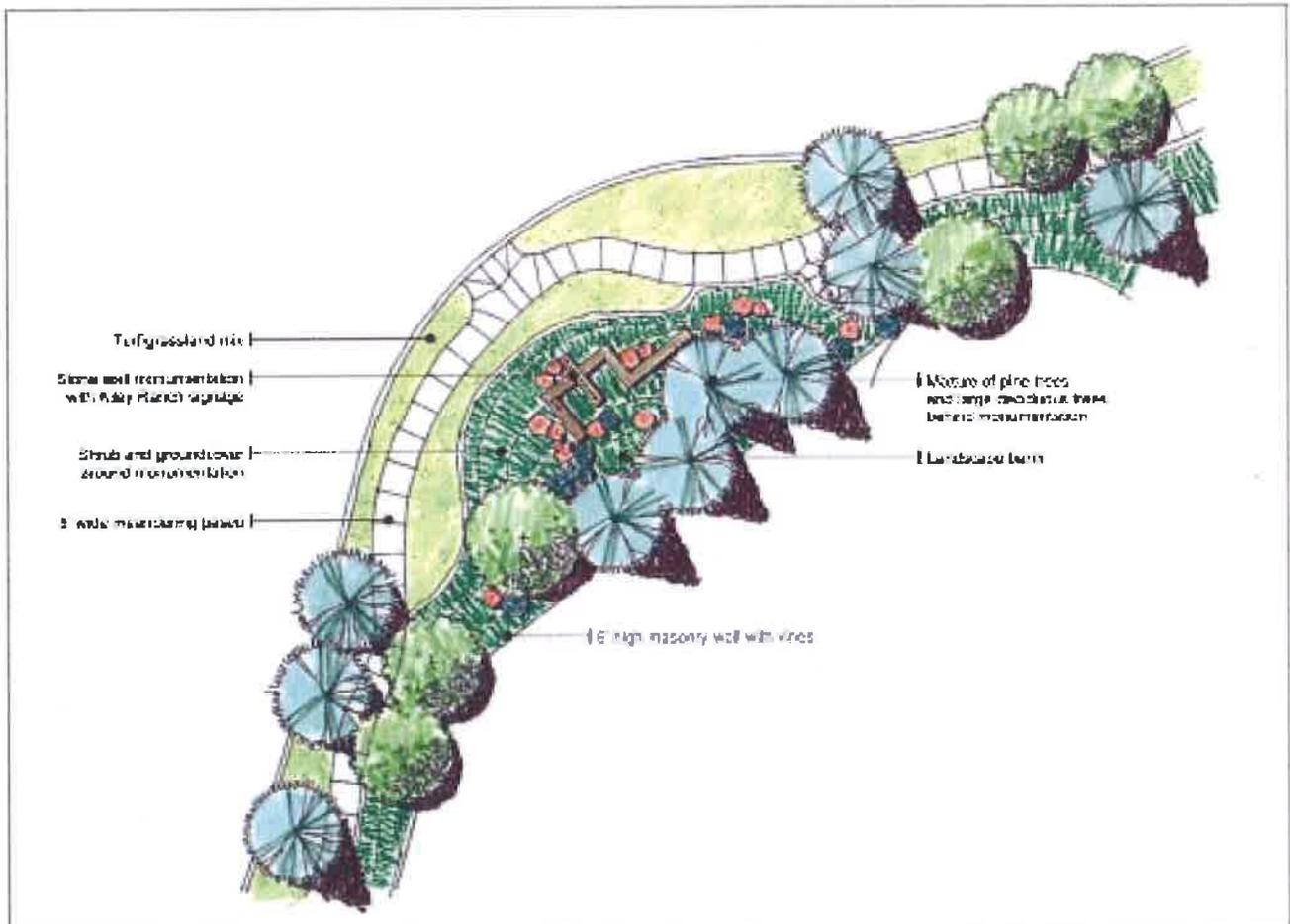
There may be additional monumentation into major Activity Centers and amenities, including the Kiley Ranch North Business Park, the Kiley Ranch North Marketplace and Orr Ditch Linear Park. Monumentation may include landscape walls, signage, lighting or other design features that create a pleasing entry into project areas (see page 2-68 for concepts). As with other entry monumentation, designs shall be reviewed and approved by the DRC and the City of Sparks.

**EXHIBIT 2-13 CONCEPTUAL PRIMARY COMMUNITY GATEWAY**



Note: No sign shall be installed in the sight visibility triangle.

**ELEVATION**



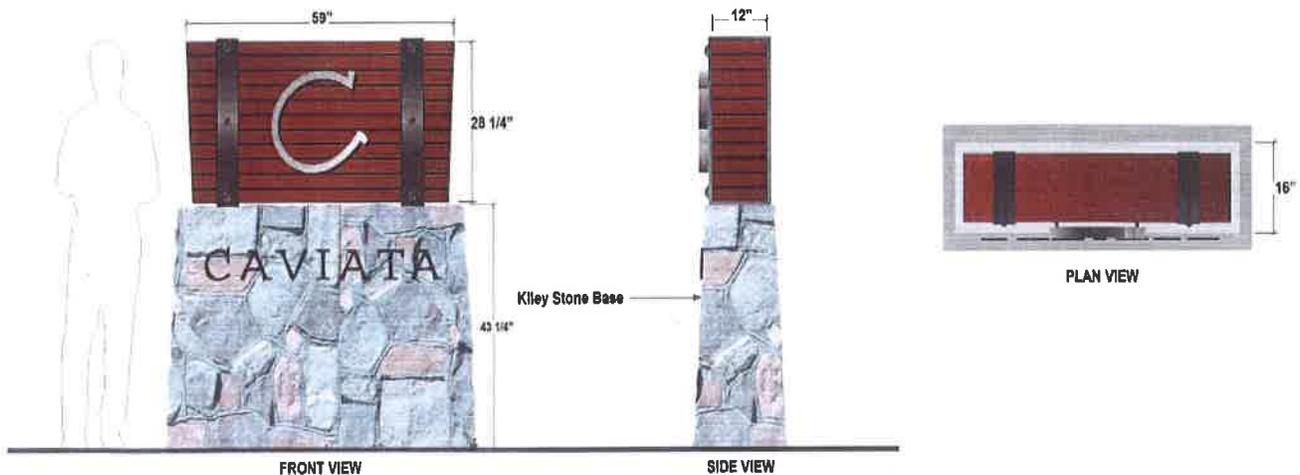
**ELEVATION PLAN VIEW**



**Examples of Secondary Monumentation**

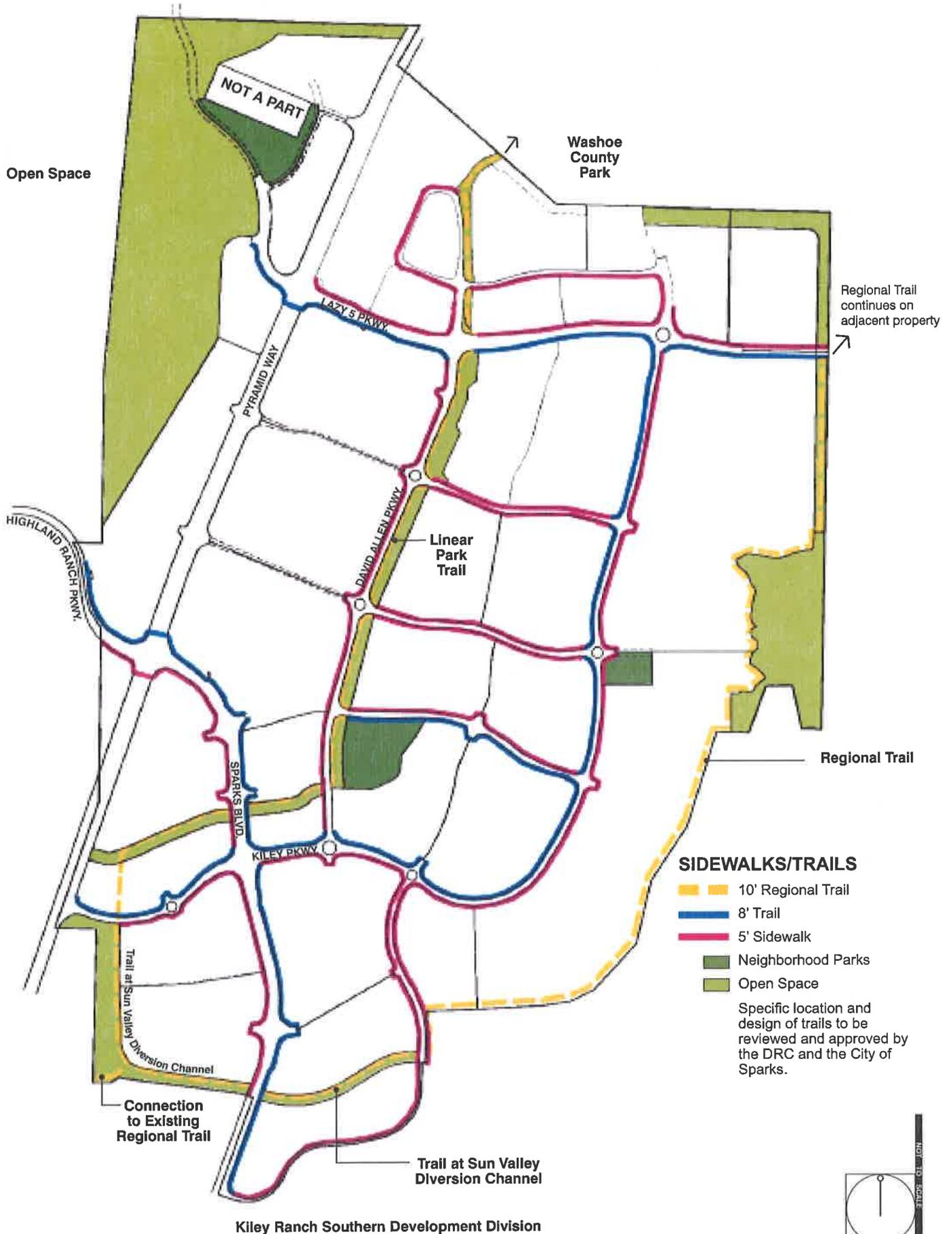
**2.3.4.3 Neighborhood Entries**

- a) A neighborhood entry treatment shall be placed at the primary entrance to each residential neighborhood. There shall be at least one neighborhood entry treatment for each neighborhood. The entry treatments shall be placed on both sides of the entry road.
- b) Entry treatments shall be located outside the sight visibility triangle of the road intersection.
- c) Neighborhood entry treatments shall be designed with similar characteristics to that of community gateways, but on a smaller scale. Entry monuments shall incorporate the early turn-of-the-century historical development of the Reno-Sparks area. This can be accomplished through the use of materials, tone and texture that represent this era.
- d) The landscape theme shall incorporate native materials, predominantly designed to look natural and wild, with some manicured ornamental landscaping where necessary.
- e) A neighborhood entry treatment shall include a minimum of 15 trees. Minimum tree sizes are as follows:
  - Deciduous trees shall be a minimum 3 inch caliper
  - Evergreen trees shall be a minimum 10 feet tall
  - Specimen trees shall be a minimum 2 inch caliper
- f) Refer to Section 3.2.3.6 for additional elements of neighborhood entries.
- g) Neighborhood entry treatments shall be reviewed and approved by the DRC and the City of Sparks with each project.



**Conceptual Neighborhood Entry Monumentation**

**EXHIBIT 2-14: CONCEPTUAL SIDEWALK / TRAIL SYSTEM**



### 2.3.5 Paths

Paths include sidewalks and regional trails, which allow pedestrians and bicyclists. Sidewalks and trails are located within landscape development zones and R.O.W.s along significant transportation corridors within Kiley Ranch North as shown in Exhibit 2-15, Conceptual Sidewalk/Trail System. Refer to Exhibit 2-3 through 2-11 for design standards related to sidewalks and trails along streets. The design of paths will be reviewed and approved by the DRC and the City of Sparks.

Sidewalks and trails shall be constructed with the construction of the roadway (Refer to Section 2.3.2). The City of Sparks shall be responsible for the maintenance and liability of all sidewalks and trails within the rights-of-way, landscape development zones, public parks, and regional trails in Kiley Ranch North. Refer to Exhibit 2-12, Landscape and Lighting Plan. A public access easement shall be granted to the City of Sparks for all sidewalks and trails located outside the right-of-way.

#### GENERAL GUIDELINES

- a) All pedestrian travel surfaces must conform to American Disability Act (ADA) standards.
- b) Trails and sidewalks located within the landscape development zones shall provide connections to the adjacent development.

#### 2.3.5.1 Orr Ditch Linear Park Trail

A regional trail is to be located within the Orr Ditch Linear Park. The trail implements the City of Sparks Trails Plan by providing a continuous connection from the Washoe County Park at the north end of the project to the south western boundary of the project. The ten (10) foot wide trail shall be maintained by the City of Sparks Parks Department. The Orr Ditch Linear Park will be constructed by the master developer with construction of David Allen Parkway or adjacent development where the Orr Ditch borders development parcels. Except for the Orr Ditch trail which will be maintained by the City, the Orr Ditch Linear Park and any park related amenities such as seating and picnic areas will be maintained by the LLD or MC. Refer to Exhibit 2-19 and 2-20 for conceptual design of the Orr Ditch Linear Park Trail.

- a) Refer to Table 2-7 for design standards.

#### 2.3.5.2 Trail at Sun Valley Diversion Channel

The trail implements the City of Sparks Trails Plan by providing a connection to the regional trail system. The trail shall be installed with the construction of the initial adjacent development. The LLD will be responsible for the construction and maintenance of the trail and landscape buffer.

- a) The trail shall be located along the top of the western and southern banks of the channel (Refer to Exhibit 2-13, Trail at Sun Valley Diversion Channel).
- b) Refer to Table 2-4 for design standards.
- c) The sloped portion of the channel shall be landscaped with a revegetated mix.

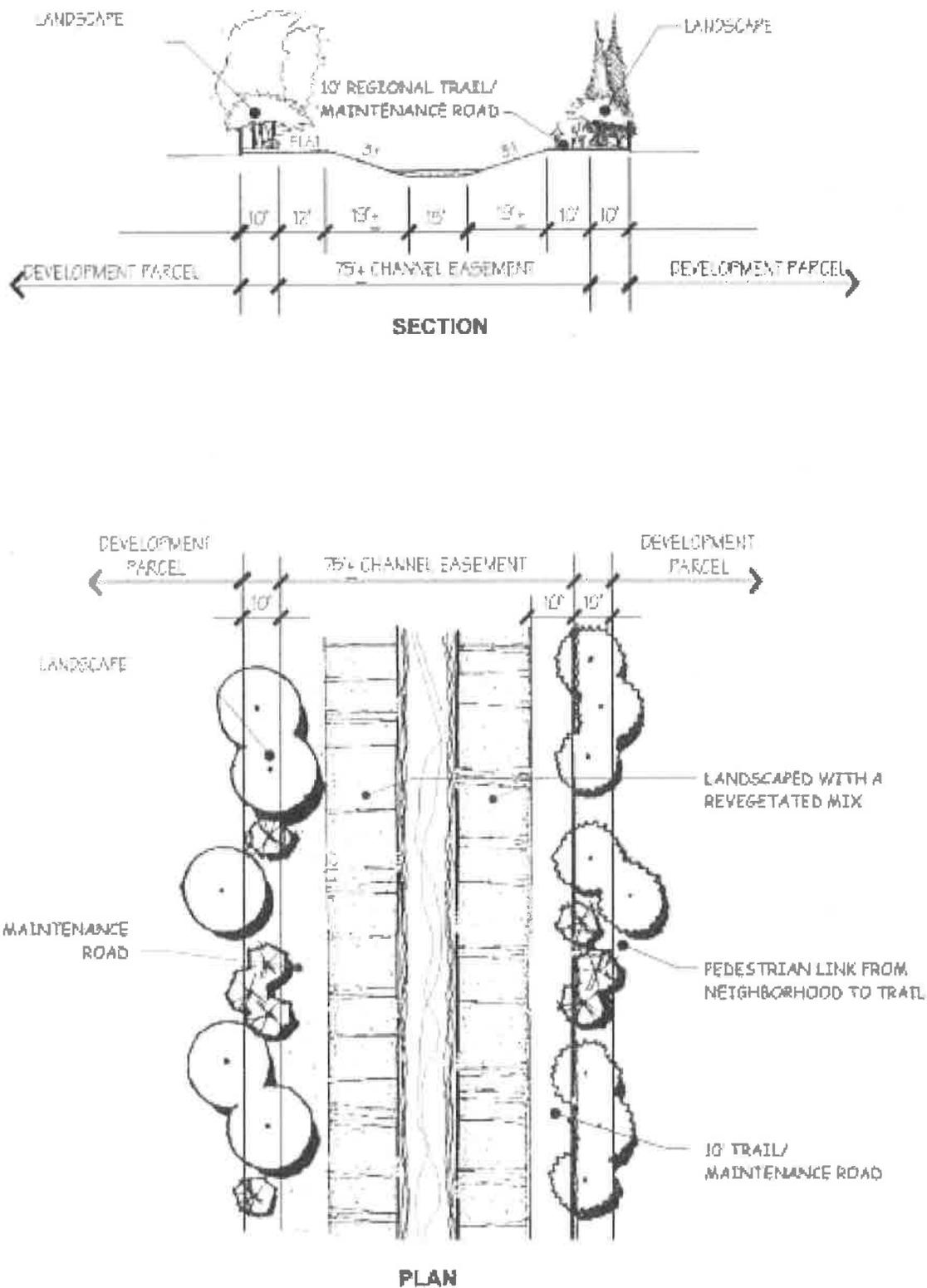
### 2.3.6 Parks

Parks within Kiley Ranch North include three neighborhood parks and pocket parks located within residential developments. The layout and design of parks will be reviewed and approved by the DRC and the City of Sparks.

Table 2-4: Sun Valley Diversion Channel Design Standards

	Trail Section	Landscape Area
WIDTH	10 ft.	Min. 15 ft. on both sides of the path
SURFACE	4" thick portland cement concrete	Bark Mulch (34% of total planted area) Rock Mulch (31% of total planted area) Turf (35% of total planted area)
SHRUBS		Total of 100 shrubs per 10,000 s.f. of planted area
1 Gallon		40 per 10,000 s.f. of planted area
5 Gallon		50 per 10,000 s.f. of planted area
15 Gallon		10 per 10,000 s.f. of planted area
TREES		Total of 18 trees per 10,000 s.f. of planted area
Large Trees		20% (of which 30% evergreen / 70% deciduous) 4 per 10,000 s.f. of planted area (1 evergreen / 2 deciduous)
Medium Trees		50% (of which 40% evergreen / 60% deciduous) 8 per 10,000 s.f. of planted area (3 evergreen / 5 deciduous)
Small Trees		20% (all deciduous) 3 per 10,000 s.f. of planted area (3 deciduous)
Specimen Trees		10% (all deciduous) 3 per 10,000 s.f. of planted area (2 deciduous)
Tree Size		2" caliper (deciduous) / 6 ft. minimum height (evergreen). Informal clusters, naturalistic groupings and distribution
SEATING AREAS		
Location		Located adjacent to trail and shall contain benches, trash receptacles and light fixtures.
Placement		One seating area every 1300 linear ft.

**EXHIBIT 2-15: TRAIL AT SUN VALLEY DIVERSION CHANNEL CONCEPT**



NOTE: This prototype site plan is conceptual in nature and is subject to modification. Landscape requirements per Table 2-4.

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### 2.3.6.1 Neighborhood Parks

The City of Sparks is the responsible agency for the construction and maintenance of neighborhood parks within Kiley Ranch North. The neighborhood park in Planning Area 34 will be constructed by the master developer or successors and assigns. The neighborhood park in Planning Area 2 will be constructed by the City or property owner, if privately constructed, before the completion of Planning Areas 3 or 14. The actual design and construction costs of these neighborhood parks shall become a credit to the owner or his assigns against payment of park tax with development if residential construction park tax agreement is completed with the City.

- a) Neighborhood park design and placement of plant materials, site furniture, play fields, play structures, parking areas and other amenities shall be determined by site specific design executed by a landscape architect approved by the DRC and the City of Sparks. Neighborhood parks shall be designed consistent with NRS. Refer to Exhibit 2-14 for a conceptual design of a neighborhood park in Planning Area 34.
- b) All reasonable efforts shall be made to preserve the Kiley Ranch House, which is located in Planning Area 34. The house may be used as an interpretive center or other facility to benefit the public.
- c) Neighborhood parks shall be designed and maintained to provide for active and passive uses.
- d) Neighborhood parks shall be designed to the approval of the DRC and the Director of Parks and Recreation.
- e) The following elements shall be included in neighborhood parks (See right):
  - Tot lot and children's play areas with adjacent seating and paths.
  - Multi-purpose turf space.
  - Multi-use courts that may include tennis, basketball, volleyball, or handball.
  - Bike racks and trash receptacles.
- f) The use of tall vertical tree windrows should be used to organize different use areas and provide windbreaks.
- g) A double row of large canopy trees should be used to define the perimeter of the park, with plant selection to be consistent with the landscape palette of the overall neighborhood.
- h) Trees should be organized to create space and define the limits of open play fields. Trees should be placed to provide shade for passive recreation.



2.3.6.1 h) Tot lots with adjacent seating offer families outdoor recreation opportunities.



2.3.6.1 g) Multi-use fields within neighborhood parks provide active recreational opportunities for residents close to their home.



2-3.6.3 c) Accessible and strategically placed pocket parks are found throughout the community and give residents the option of walking to parks.

### 2.3.6.2 Pocket Parks

a) Pocket parks are required within low-medium (LMR), medium (MR) and medium-high (MHR) residential planning areas. Pocket parks shall be provided at a minimum of 1/2 acre per 100 units or one (1) per project if less than 100 units. Alternative recreation amenities may be substituted for pocket parks with the approval of the DRC and the City of Sparks. Pocket parks will be maintained by the LMA.

b) Pocket parks shall provide opportunities for passive recreation such as picnicking and neighborhood gathering, and be located centrally to the neighborhood they serves. Refer to Exhibit 2-15, Pocket Park, for a conceptual design of a pocket park.

c) Pocket parks are to be incorporated into the neighborhood design. Pocket parks can be located at the terminus of cul-de-sacs, along view corridors, or on corner lots. They should be centrally located within the neighborhood.

d) Parks should be placed in locations where they are visible from local streets and surrounding residential units, thereby fostering neighborhood interaction and promoting safety.

e) Pocket parks shall include special landscaping such as focal elements with specimen trees, flowering shrubbery, and turf. Additional elements such as overhead trellis, picnic tables, benches, low fences and gates, or archways should be provided to further tie these spaces into the neighborhood character. Refer to Table 2-5, Pocket Park Landscape Design Standards.

Table 2-5: Pocket Park Landscape Design Standards

	Landscape Area
<b>SHRUBS</b>	Total of 250 shrubs per acre of planted area
1 Gallon	40% (100 per acre of planted area)
5 Gallon	50% (125 per acre of planted area)
15 Gallon	10% (25 per acre of planted area)
<b>TREES</b>	Total of 20 trees per acre of planted area
Large Trees	20% (of which 30% evergreen / 70% deciduous) 4 per acre (1 evergreen / 3 deciduous)
Medium Trees	50% (of which 40% evergreen / 60% deciduous) 10 per acre (4 evergreen / 6 deciduous)
Small Trees	20% (all deciduous) 4 per acre (4 deciduous)
Specimen Trees	10% (all deciduous) 2 per acre (2 deciduous)
Tree Size	2" caliper (deciduous) / 6 ft. minimum height (evergreen). Informal clusters, naturalistic groupings and distribution
<b>GROUND COVER</b>	
Turf	Maximum 65% of planted area
Bark Mulch (1 gallon)	175 per acre of planted area
<b>AMMENITIES</b>	
Benches	6 per acre of park
Trash Recepticles	8 per acre of park
Picnic Tables	3 per acre of park

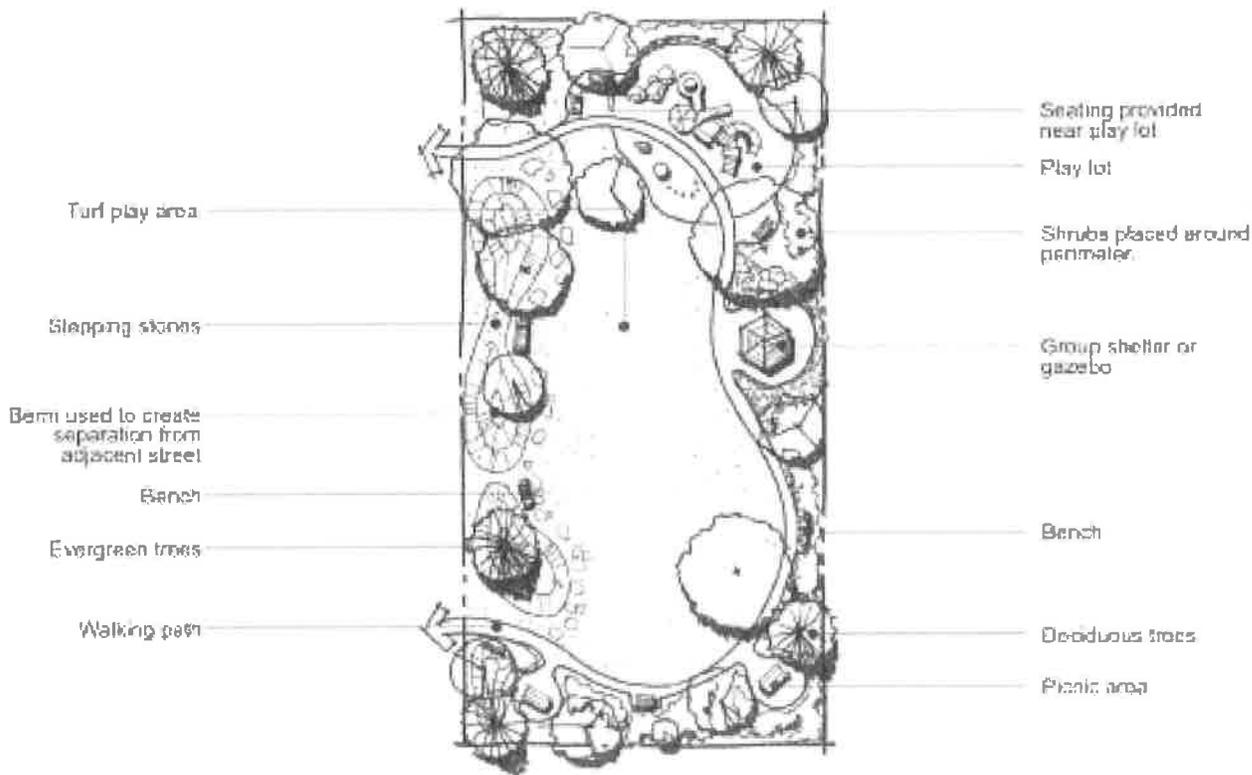
**EXHIBIT 2-16: NEIGHBORHOOD PARK CONCEPT**



NOTE: This prototype site plan is conceptual in nature and is subject to modification.

NOT TO SCALE

**EXHIBIT 2-17: POCKET PARK CONCEPT**



NOTE: This prototype site plan is conceptual in nature and is subject to modification. Landscape requirements per Table 2-5 and 2-6.

NOT TO SCALE

**2.3.6.3 Orr Ditch Linear Park**

The Orr Ditch Linear Park nature-oriented passive recreational corridor aligned with the existing Orr Ditch. The width of the park varies. A multi-use regional trail runs along the entire length of the Park. The Orr Ditch Linear Park will be constructed by the master developer or his assigns with construction of the adjacent David Allen Parkway and/or adjacent development. The LLD, or MC is the responsible agency for the maintenance and the Orr Ditch Linear Park, but the Orr Ditch Regional Trail will be maintained by the City of Sparks. Refer to Exhibit 2-19 and 2-20 for more detail.

**GENERAL REQUIREMENTS**

- a) Pedestrian crossings should also be provided to connect residential and business park uses to the Orr Ditch Linear Trail.
- b) Outdoor furniture shall be located along the Orr Ditch Regional Trail. This includes, but is not limited to, trash receptacles, benches, drinking fountains, and public art. Refer to Exhibit 2-19 for a conceptual layout of the Orr Ditch Linear Park.
- c) Refer to Table 2-6 for specific landscape requirements.

**ORR DITCH LINEAR PARK AT VILLAGE CENTER**

The Orr Ditch Linear Park shall be incorporated into the Village Center development in a manner that maintains its recreational function while facilitating pedestrian circulation within the Village Center itself. Within the Village Center the park shall have an "urban" character, similar to a "promenade". Refer to Exhibit 2-20 and Table 2-7 for more detail.

- d) Landscaping, paving materials and outdoor furniture shall be arranged such that the Orr Ditch Regional Trail remains accessible for use by maintenance vehicles serving the Orr Ditch, where necessary.

**2.3.7 Public Transportation****2.3.7.1 Bus Stops**

Public transit as an alternate mode of transportation shall be planned for throughout the development. Each developer shall provide for bus stops in accordance with Regional Transportation Commission's (RTC) Master Plan for the area. Bus stops will be constructed when needed, utilizing RTC standards and be constructed with the adjacent project. Bus shelters shall be designed in relation to the architecture of the adjacent project. Bus stop construction shall be coordinated with RTC and approved by the administrator.

**2.3.7.2 Park and Ride**

A park and ride facility shall be provided within Kiley Ranch North. It is encouraged that the facility be joint-use and incorporated into a parking lot area within a commercial use. The facility shall provide bus shelters designed in relation to the architecture of the project. Timing of the construction of the park and ride facility will be based upon the buildout of the Kiley Ranch North, but shall occur no later than completion of the final phase of the commercial development.

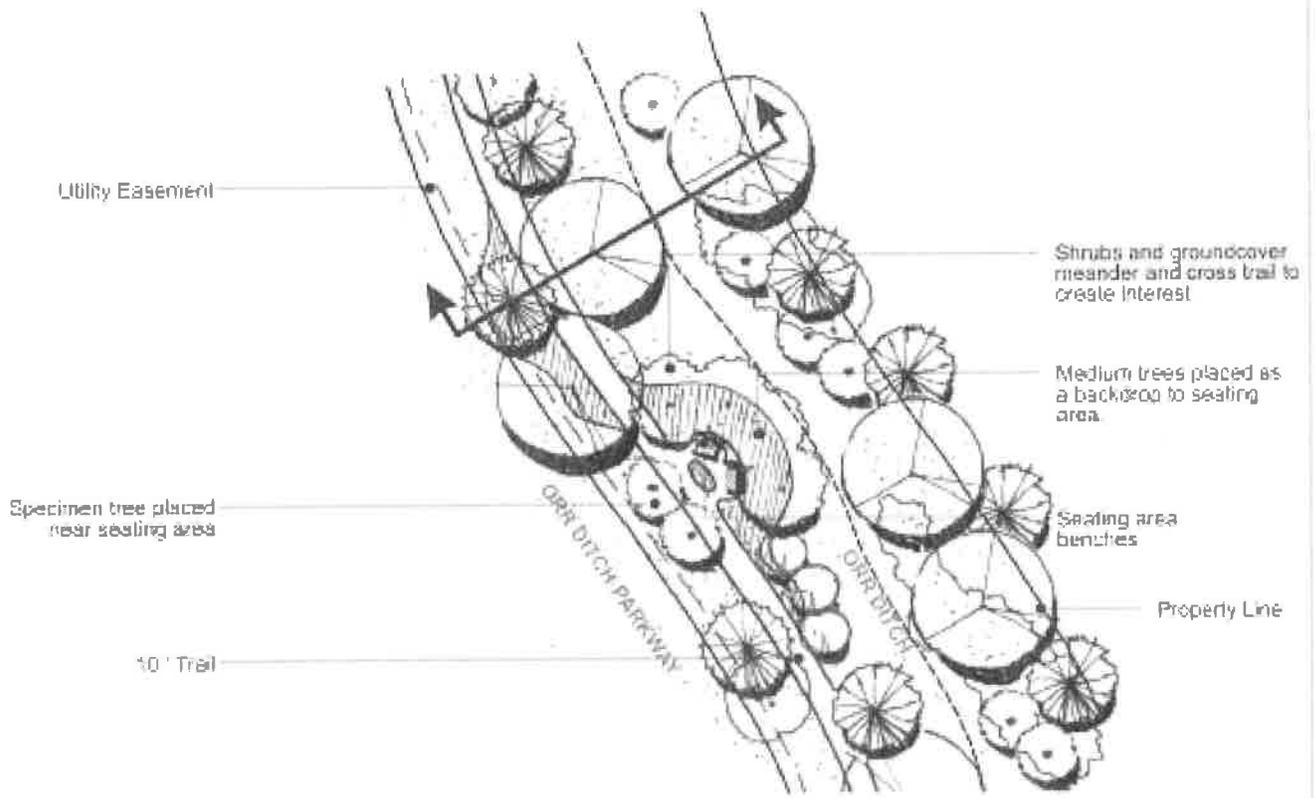
**2.3.7.4 Employee Trip Reduction**

Employee trip reduction is fundamental to the design of the Kiley Ranch North Master Plan. The master developer or successors and assigns shall cooperate with the RTC and City to promote employment trip reduction. This should include a combination of bicycling, vanpooling, carpooling, and other trip reduction techniques.

**EXHIBIT 2-18: ORR DITCH LINEAR PARK CONCEPT**



**SECTION**

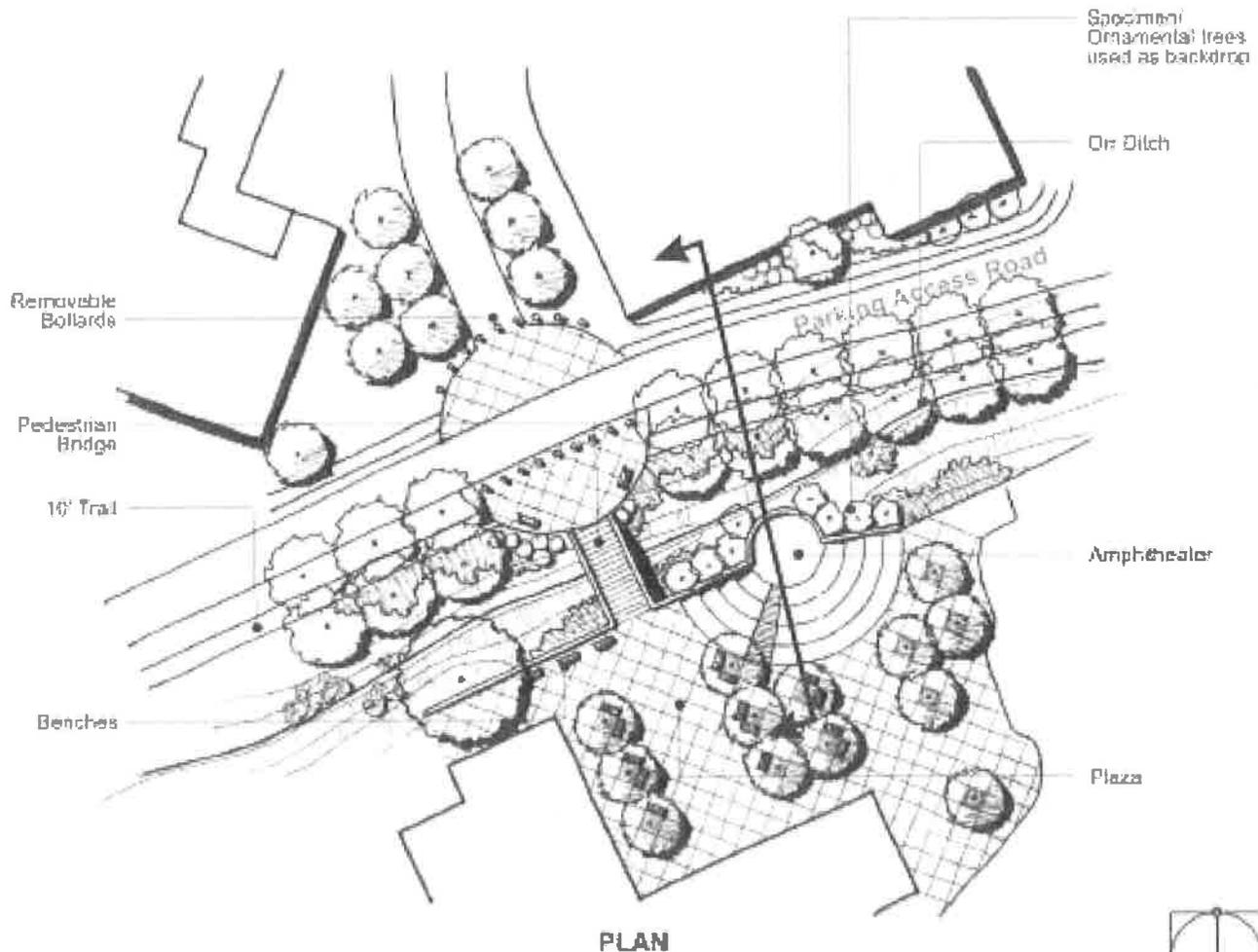
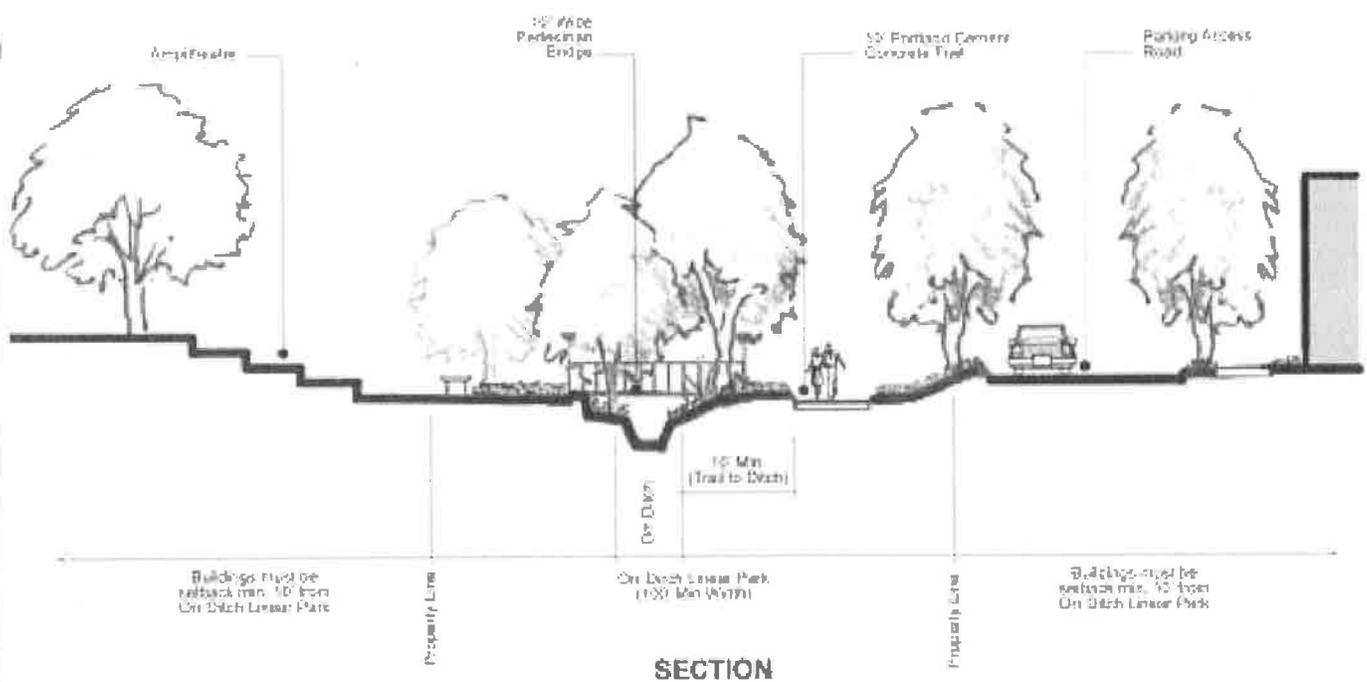


**PLAN**

NOTE: This prototype site plan is conceptual in nature and is subject to modification. Landscape requirements per Table Z-7.

NOT TO SCALE

**EXHIBIT 2-19: ORR DITCH LINEAR PARK AT VILLAGE CENTER CONCEPT**



NOTE: This prototype site plan is conceptual in nature and is subject to modification. Landscape requirements per Table 2-7.



Table 2-6: Orr Ditch Linear Park Design Standards

	Trail Section	Landscape Area
WIDTH	10 ft.	Min. 15 ft. on both sides of the path
SURFACE	4" thick portland cement concrete	85% shrub/ground cover with inert mulch. 50% plant coverage within 3 years.
SHRUBS		
1 Gallon		40% 1 gallon or larger
5 Gallon		60% 5 gallon or larger
TREES		Total of 15 trees per 10,000 s.f. of planted area on average
Large Trees		20% (of which 30% evergreen / 70% deciduous)
Medium Trees		50% (of which 30% evergreen / 70% deciduous)
Small Trees		20% (all deciduous)
Specimen Trees		10% (all deciduous) 3 per 10,000 s.f. of planted area (2 deciduous)
Tree Size		2" caliper (deciduous) / 6 ft. minimum height (evergreen). Informal clusters, naturalistic groupings and distribution
SEATING AREAS		
Location		Located adjacent to trail and shall contain benches, trash receptacles and light fixtures.
Placement		One seating area every 800 linear ft.

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### 3 DESIGN STANDARDS AND GUIDELINES

#### 3.1 PURPOSE AND COMPLIANCE

The purpose of this chapter is to establish a base qualitative standard through the use of design parameters within which developers building in Kiley Ranch North must remain and that will ensure that projects will contribute to the character and vision outlined for the community. The standards and guidelines in this chapter will shape the development of the various land use areas by providing specific design criteria for low-impact development, building orientation, landscaping, lighting, signs, walls and fences, and other design elements integral to creating development projects that fit into the theme of the community. These standards and guidelines also address the community's underlying structure such as community entries, community walls, trails, and parks. Architecture standards and guidelines are also provided to ensure buildings within Kiley Ranch North are attractive, relate to one another and the community character, and adhere to environmentally responsible building practices. The pictures contained in this Chapter are provided to convey the general design intent of the standards and guidelines and are not intended to require the specific design style depicted.

During the development review process the Kiley Ranch North Design Review Committee (DRC) and the City of Sparks will review all development applications and ensure the proposed project meets the intent of these design standards and guidelines. However, it is the primary responsibility of the DRC to determine a project's compliance with this chapter during the site plan review process.

#### 3.2 SITE PLANNING STANDARDS AND GUIDELINES

The purpose of the site planning standards and guidelines is to address general provisions of site development which include low-impact development practices, building orientation, grading and drainage, parking areas, landscape, lighting, signs, walls and fences, and service areas. Site planning controls the proper placement of buildings and internal roads that service and access the various land uses in the community. It addresses the linkages and land use relationships at a human-scale, in order to create a stimulating and visually pleasant community. The goal is to promote pedestrian activity and safety, create visual compatibility with surrounding neighborhoods and minimize negative impacts on the natural environment.

##### 3.2.1 Commercial and Office/Business Park Areas

Commercial and office/business park site planning standards and guidelines are intended to provide direction and flexibility in the design of retail commercial service and office/business park uses. Exhibits 3-1 through 3-3 and 3-6 through 3-9 show conceptual site plans for some of these areas and incorporate elements of the site planning standards and guidelines contained in this section.

**3.2.1.1 Building Orientation**

a) Building placement and orientation shall be designed to create visual interest along public right-of-ways. Multiple buildings in a single project shall demonstrate a positive functional relationship to one another.

b) Buildings located within a single project shall be clustered, where practical. Plazas and pedestrian areas shall also be an important element in the design of clustered buildings. When clustering is impractical, a visual link should be established between buildings through the use of an arcade system, trellis, colonnade or other open structure.

c) In community commercial and office/business park sites a minimum of 15 percent of the parcel should contain buildings located at or near the front setback line. This minimizes large, continuous areas of at-grade parking and encourages active street frontages.

d) Buildings shall be oriented, to the extent possible, so that public access or windows face public right-of-ways.

e) Commercial and business park centers shall provide transit passengers convenient and safe pedestrian access to buildings from transit stops. There shall be an entrance to the center oriented towards the transit stop for access by transit passengers.

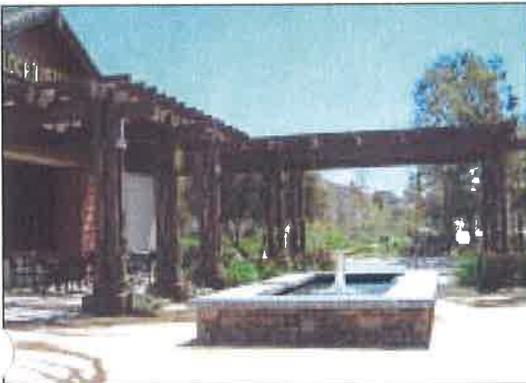
f) Buildings with special architectural elements, such as clock towers, shall be sited on corners of significant intersections, in particular along Pyramid Way, Sparks Boulevard, Kiley Parkway, David Allen Parkway, and Lazy Five Parkway. This does not preclude landmark structures, open plazas, or project gateway monumentation at these locations with DRC approval.

g) Plazas or common areas within a project shall be located near building entrances or areas of high pedestrian traffic to ensure their use (see example to left).

h) The space between buildings shall be used as outdoor seating areas, where appropriate (see example to left). These spaces shall have usable shapes that are not simply left over areas between buildings. This standard does not require that all spaces between buildings be designed as outdoor seating.

i) Bicycle racks shall be provided for all projects.

j) Orientation of buildings should take advantage of solar heat gain and should utilize passive solar design wherever possible.

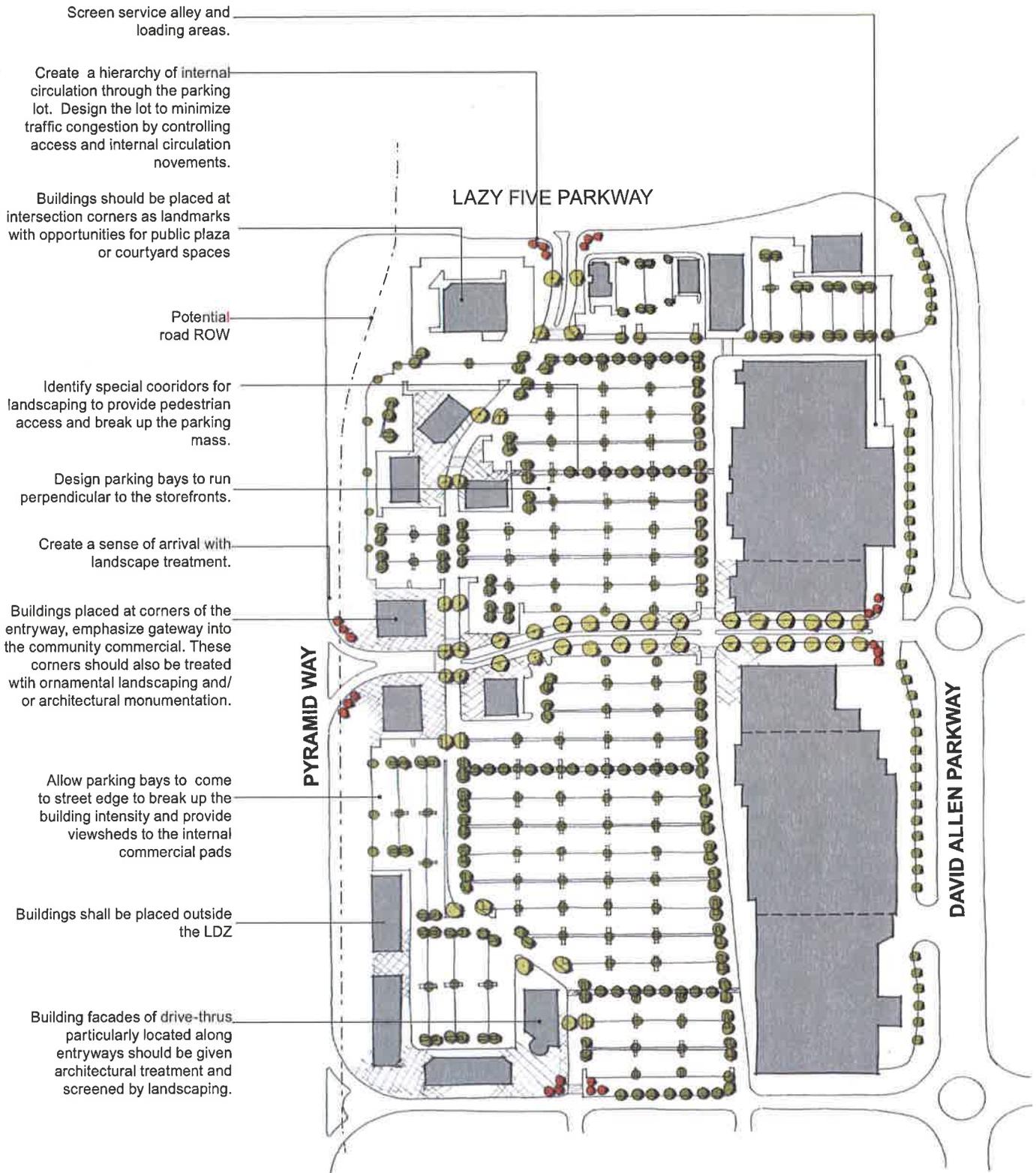


3.2.1.1 g) Mini-plazas in commercial areas will include pedestrian-friendly amenities such as fountains, arcades, and ample sittable space.



3.2.1.1 h) Landscaped common areas within business parks soften the visual impact of large structures and provide workers with comfortable gathering places.

**EXHIBIT 3-1: COMMUNITY COMMERCIAL CONCEPTUAL SITE PLAN**

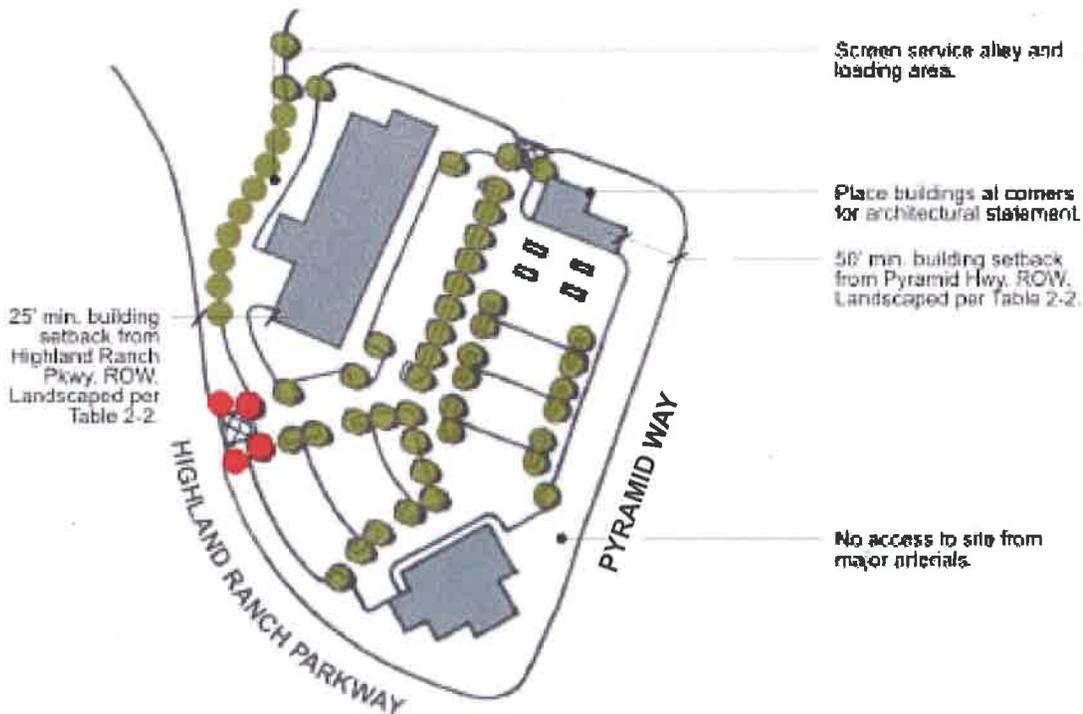


Note: This prototype site plan is conceptual in nature and is subject to modification. Refer to text for specific requirements regarding design. Landscaping along public roads is described in Section 2.3 of this handbook.

**EXHIBIT 3-2: NEIGHBORHOOD COMMERCIAL CONCEPTUAL SITE PLAN**



**EXHIBIT 3-3: ARTERIAL COMMERCIAL CONCEPTUAL SITE PLAN**



NOTE: This prototype site plan is conceptual in nature and is subject to modification. Refer to text for specific requirements regarding design. Landscaping along public roads is described in Section 2.3 of this handbook.



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**3.2.1.2 Grading and Drainage**

- a) The design of building sites shall be sensitive to the surrounding area. Any grading of the site terrain shall blend with the natural topography of the site.
- b) Site grading shall be designed to complement the architectural and landscape design character of the community, screen parking and service areas, reduce the perception of height and mass on larger buildings, and provide reasonable transitions between on-site uses.
- c) Site grading and drainage strategies should include low impact development (LID) design practices such as bioswales, bioretention, porous paving, swales, etc. LID components should demonstrate the benefits including the effectiveness, economics, and sustainability over traditional drainage systems.
- d) Mass cut and fill slopes shall be limited, wherever feasible, to retain a natural slope appearance in compliance with the City of Sparks Hillside Development Grading Ordinance.
- e) Graded slopes shall be rounded resulting in smooth, harmonious transitions between the man-made terrain and the natural terrain.
- f) Finished grades at individual parcel boundaries shall meet existing grade within the landscaped area or a slope easement shall be created on the adjoining undeveloped property to be matched when that site develops.
- g) Vegetated slopes shall not exceed an average of 2:1 slope and turf areas shall not exceed an average 4:1 slope.
- h) All graded slopes shall be revegetated prior to building occupancy. If climatic conditions or other circumstances prevent planting at the time of occupancy a bond shall be provided for landscaping during the subsequent growing season or other arrangements made for revegetation, subject to the approval of the administrator. Drought tolerant plant species shall be utilized to help minimize erosion.
- i) The developer shall provide a final hydrological report for the project in conformance with the City's Hydrological Criteria and Drainage Design Manual (HCDDM) for review and approval by the Engineering Manager.
- j) The developer shall post a surety for reclamation and revegetation prior to issuance of a grading permit.
- k) The developer shall submit an erosion control plan with each grading plan.

### 3.2.1.3 Parking Lots and Parking Lot Entry Drives

The goal of the following standards and guidelines are to limit the amount of hardscape in parking areas and provide a network of pedestrian paths that tie into the community trail system.

a) Landscape development zones and/or landscape buffers shall be provided (as specified in Section 2.3) between the parking lot and the public right-of-way.

b) Internal access drives shall be setback from the building frontage a minimum of ten (10) feet or a minimum of 15 feet with seating area. This area shall include a walkway. Refer to Exhibit 3-6, Figure D.

c) A minimum eight (8) foot wide interior planter shall be provided at the end of parking aisles (see example to the right).

d) Each planter island containing a tree shall have a minimum width of eight (8) feet inside the curbing material. Each planter shall contain at least one tree and shall have a minimum area of 144 square feet for single loaded parking and 288 square feet for double loaded parking. Refer to Exhibit 3-6, Figure A.

e) It is important to connect the public street sidewalks to the project's internal pedestrian walkway network. Primary parking lot entry drives shall have a minimum ten (10) foot wide landscape planter and a minimum five (5) foot wide sidewalk on both sides along the initial throat into the project. This requirement may be waived by the DRC and the City of Sparks provided that the project applicant presents a pedestrian connectivity diagram that clearly demonstrates sufficient pedestrian connectivity to the project site from the surrounding pedestrian walkway network and public rights-of-way. See Exhibit 3-6, Figure A.

f) No more than ten (10) percent of the required parking shall be in the rear service area of a project site.

g) Parking areas shall be screened from the public right-of-way by the use of mounding and planting material, vertical grade changes, or low walls and plantings a minimum of three (3) feet in height. Additional screening is not required where adjacent to a LDZ that provides adequate screening as approved by the DRC. Refer to Exhibit 3-6, Figure C.

h) Primary parking lot entry drives and primary internal access intersections shall be treated with special landscape elements, such as special paving, graphic sign, specialty lighting, specimen trees, or flowering plants, that will provide an individual identity to the project (see example to right).



3.2.1.3 c) Planters screen the visual impact of parked cars and provide buffering for pedestrians.



3.2.1.3 h) Tree islands and raised landscaped beds soften the visual impact of surface parking and provide shade.

- i) Businesses that use shopping carts shall provide a shopping cart corral within 150 feet of 85 percent of their parking stalls and shall provide documentation to the City of Sparks that a shopping cart retrieval program is in place.
- j) Parking lots shall be regularly cleaned of trash, dirt and other objects that interfere with the movement vehicles and pedestrians within parking lots.
- k) Parking lot design, configuration and sizes of parking stalls and aisles shall comply with the Sparks Municipal Code. Where a conflict exists between these standards and the Municipal Code the standards contained herein shall apply.
- l) LID practices should be utilized to reduce water run-off in parking areas. LID strategies such as permeable pavers, landscape islands with curb-cuts, and light-colored paving materials, among others, should be used.
- m) Wheel stops shall be provided where parking adjoins landscaping and sidewalks unless an alternative design is approved by the DRC and the City of Sparks.
- n) Within parking lots over 125 spaces a planter nine (9) feet in width the full length of the aisle shall be provided every six (6) aisles. The nine foot planter will have a minimum of one tree every 12 parking spaces the length of the aisle.
- o) When adjacent to building frontages, parking lots shall be screened in a manner similar to Exhibit 3-6, Figure D.

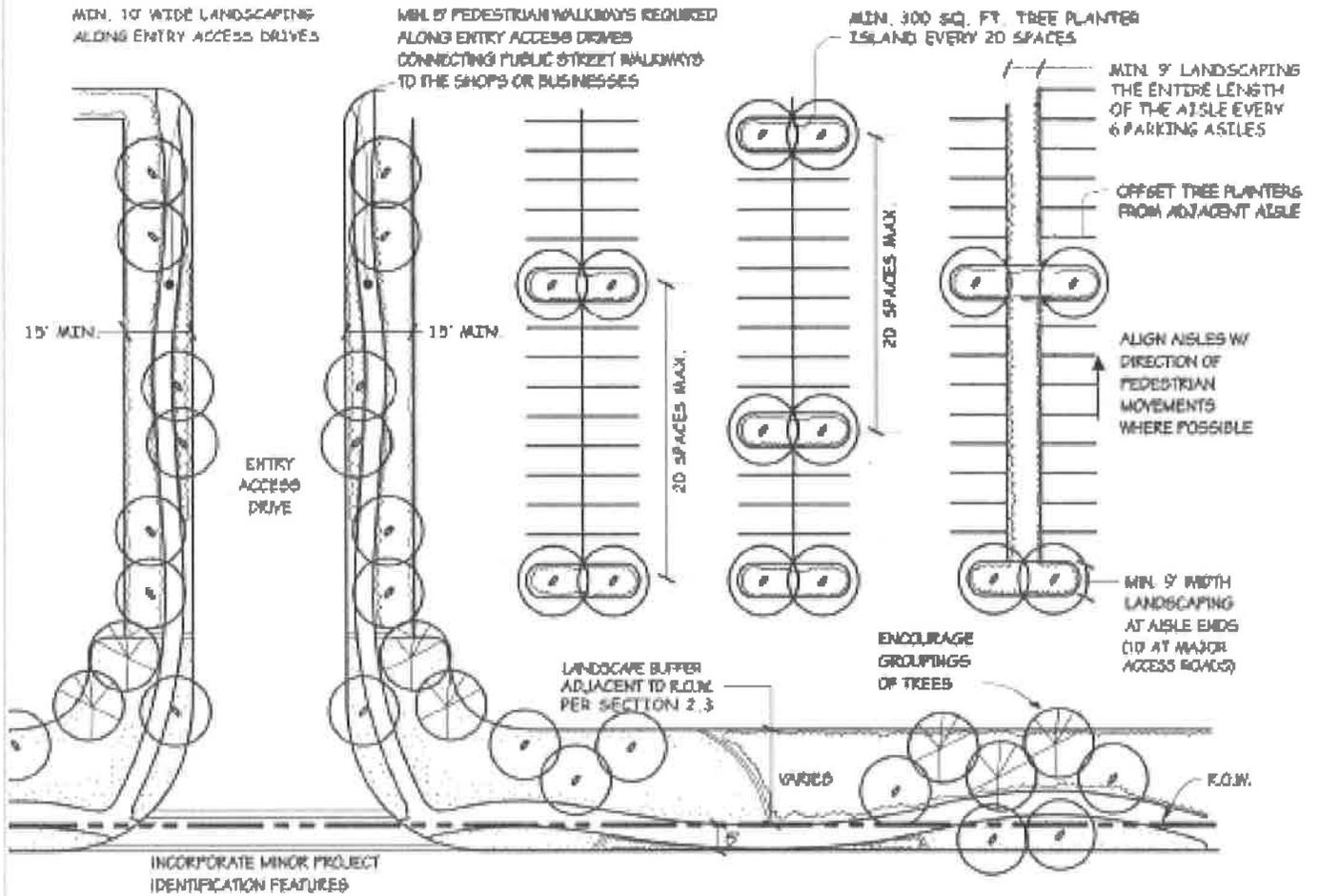
**3.2.1.4 Landscape**

The landscape design concepts and plant materials incorporated should be consistent in form, texture and color with the overall community's architectural theme. Landscape development zones, to be provided by the Master Developer are required along public right-of-ways. Refer to Exhibits 2-3 through 2-8 for landscape development zone requirements. Each property shall be landscaped as required in Section 2.2, Land Use Development Standards. Landscape areas that are adjacent to existing LDZ's or other landscaped areas shall coordinate grading design and plant materials to be consistent with adjacent area(s).

- a) Where the standards contained in this section are silent the landscaping standards contained in the Sparks Municipal Code shall apply. Where a conflict exists between these design standards and the City of Sparks Municipal Code, the stricter of the standards shall apply.
- b) All areas not utilized for parking, buildings, plazas, or access/circulation shall be landscaped to the back of curb.

**EXHIBIT 3-6: PARKING LOT DESIGN**

**Figure A: Standards for Parking Lots Over 125 Spaces**



### EXHIBIT 3-6: PARKING LOT DESIGN

Figure C: Parking Lot Screening

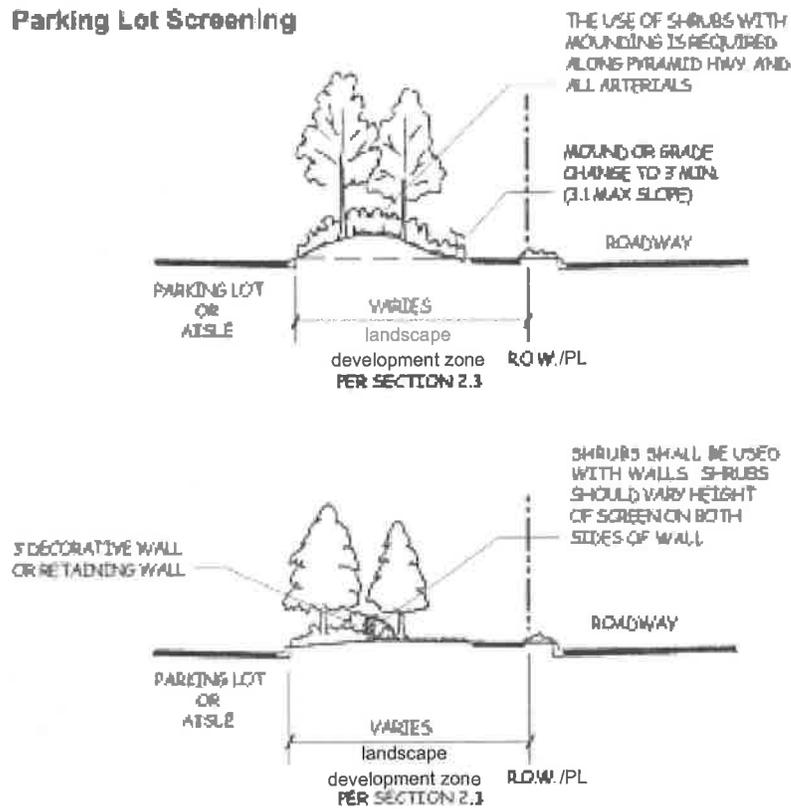
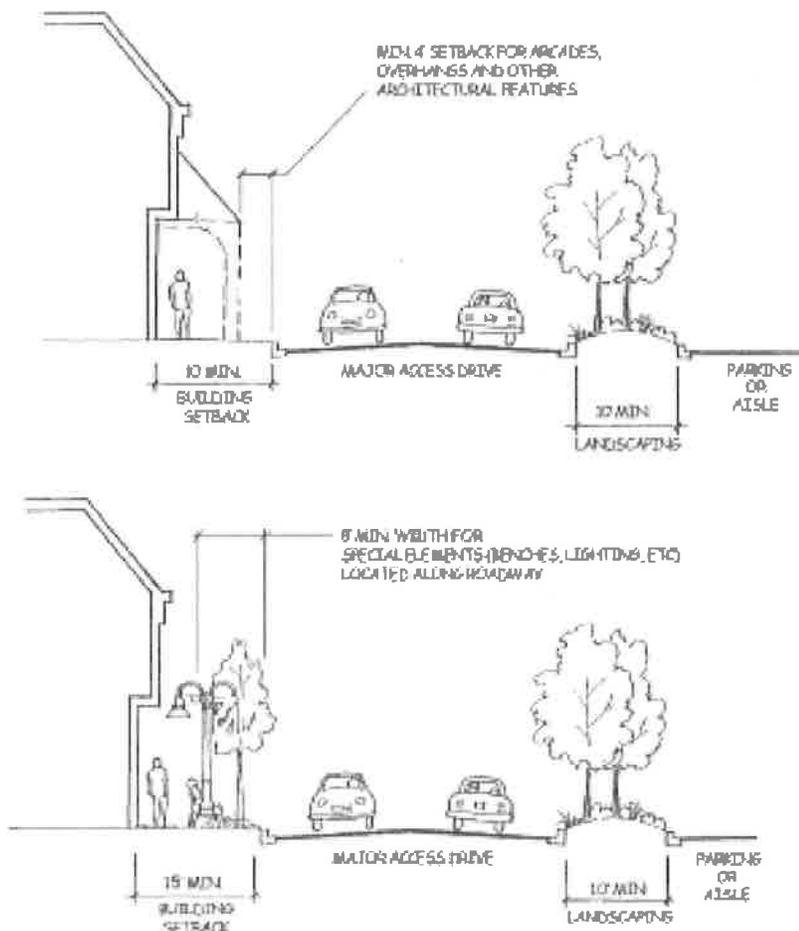


Figure D: Parking Lot Adjacent to Building Frontage



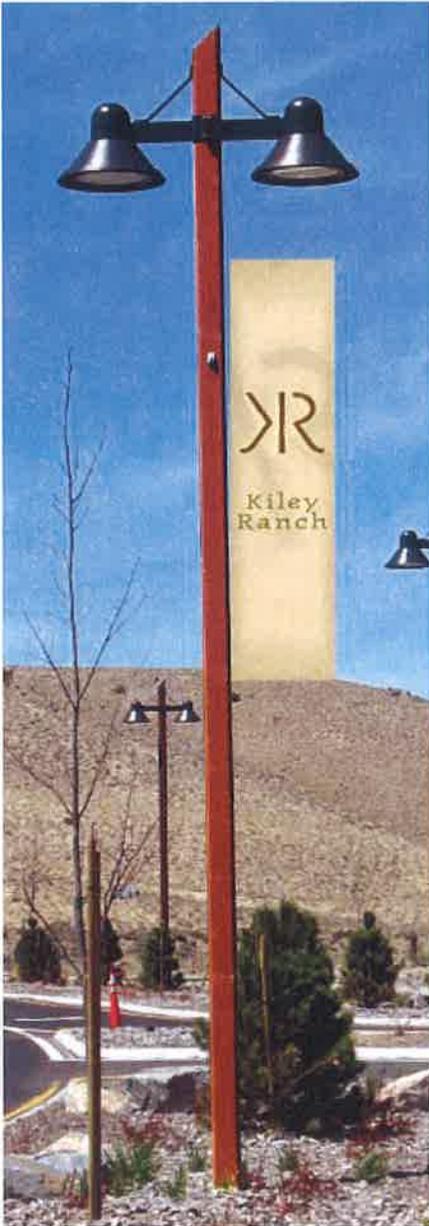
- c) Low water demand plant materials and turf shall be used in conjunction with low water demand principles and techniques.
- d) All landscaped areas shall be irrigated with permanent automatic irrigation systems. All irrigation systems shall be placed underground.
- e) Landscaping within commercial and office/business parks shall comply with Exhibit 3-6, Figures A.
- f) Employ LID strategies in conjunction with site and parking lot design to minimize water usage and to reduce heat island effects and water run-off.
- g) Reclaimed water, if available, shall be used for irrigation.

### 3.2.1.5 Lighting

- a) Lighting fixtures shall differentiate use areas and emphasize community amenities, such as plazas, walkways and project entries.
- b) Lighting shall be located in areas that provide a pleasant environment for pedestrians.
- c) Parking lot, walkway and area lighting heights shall be reflective of the architecture of the project and be in scale with the setting.
- d) The use of bollard lighting is encouraged in pedestrian areas.
- e) Overall lighting levels shall be compatible with surrounding neighborhood ambient levels and color shall be uniform throughout the development. Soft, indirect lighting shall be employed where feasible.
- f) Exterior lighting shall be used for purposes of illumination and safety only, and shall not be designed for, or used as, an advertising display. Refer to Section 3.2.1.6 for signage lighting guidelines.
- g) Night lighting of building exteriors shall be used only to highlight special recognizable features; accent repeated features; or use the play of light and shadow to articulate the facade. The purpose of illuminating the building shall be to add visual interest and supply building identification. Any direct projection of light (not ambient light) beyond the property line is prohibited.
- h) Support structures for lighting shall be designed as part of the general theme of the building architecture.
- i) Minimal energy consumption shall be a factor in lighting type selection.



3.2.1.5 c) Stylized and distinctive light fixtures are important element of the streetscape and commercial areas. They should be of pedestrian-scale and reflective of community themes.



Informational banners should be of pedestrian scale and reflective of community themes.

### 3.2.1.6 Banners

Informational Banners may be permitted for community identification, seasonal events, community events, and announcements of general community entertainment. Banners shall be approved by the City of Sparks subject to the following criteria:

1. Banners shall only be placed on light poles within Landscape Development Zones (LDZ) and on light poles within the center median of private streets and are not to be placed in the Public Right of Way or in any location planned for future dedication to the City of Sparks (Exhibit 3-7a). If a location that contains a banner is dedicated to the City of Sparks then the banner(s) shall be permanently removed.
2. Banners shall not be placed on light poles until the Master Developer provides the City of Sparks with documentation that the banners do not compromise the structural integrity of the light poles.
3. Banners shall not be placed on light poles until the Master Developer provides the City of Sparks with documentation that the banners do not obstruct the line-of-sight for traffic or pedestrians and do not obstruct regulatory traffic signs.
4. Banners shall be maintained by the Master Developer and/or the LMC in accordance with the following criteria:
  - i.) Banners shall be maintained in good repair at all times to the approval of the City of Sparks.
  - ii.) The City of Sparks may require the Master Developer and/or the LMC to remove or replace any banner that has been damaged, destroyed, and/or is not in good repair within ten (10) days following notification from the City of Sparks of the damage.
  - iii.) If the repair or replacement is not accomplished within ten (10) days as described in subsection ii, the City of Sparks may consider the banner(s) a public nuisance and proceed with legal action against the Master Developer and/or the LMC. In addition, the City of Sparks may choose to initiate a Planned Development Handbook Amendment to revoke the use of banners within the Phase 3 planning area.
  - iv.) The City of Sparks Engineering Division, Fire Department, and Police Department shall be notified in writing forty-eight (48 hours) prior to banner installation or removal. Notification shall include the location, date and time of banner installation or removal and a traffic control plan.
  - v.) Banners shall be installed or removed between the hours of 9:00PM and 5:00AM Monday through Friday.
5. Banners shall only be located on light poles within the LDZ adjacent to the intersection of Lazy 5 Pkwy and David Allen Pkwy (See exhibit 3-7-Figure A), within the center median of private streets (Private Street A and Private Street B - See Exhibit 3-7 - Figure B), and within the LDZ adjacent to Round-a-bouts (David Allen Pkwy & Private Street A, and David Allen Pkwy & Private Street B - See Exhibit 3-7-Figure C).

# EXHIBIT 3-7: POTENTIAL BANNER LOCATIONS

Figure A: Standard Intersection

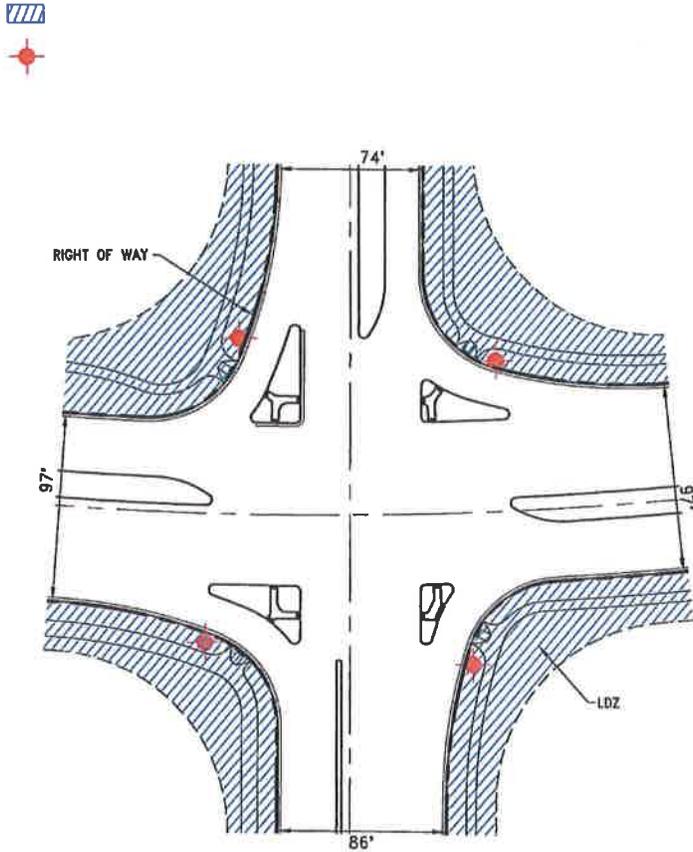


Figure B: Private Streets

-  LDZ TO BE OWNED AND MAINTAINED BY MASTER DEVELOPER AND/OR LMC (NOT TO BE DEDICATED TO CITY OF SPARKS).
  -  LIGHTPOLE WITH BANNERS. LOCATION APPROVED BY CITY OF SPARKS.
- MASTER DEVELOPER MAY PLACE BANNERS ON THE LIGHT POLES WITHIN THE CENTER MEDIANS OF PRIVATE STREETS ONLY IF THE REQUIREMENTS STATED IN SECTION 3.2.1.6 OF THIS HANDBOOK CAN BE MET.

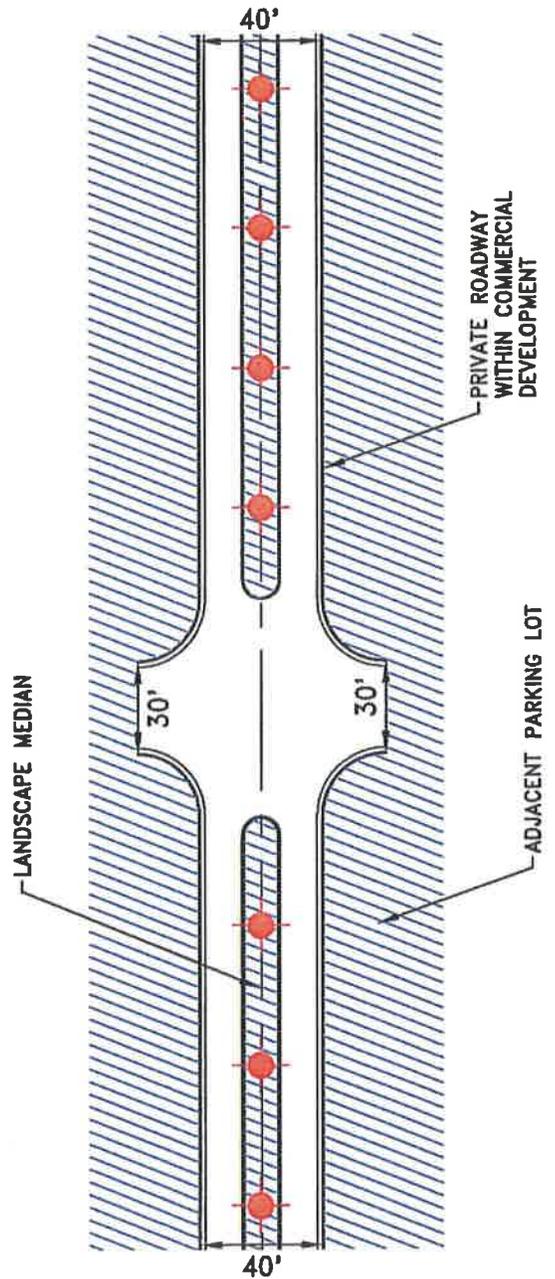
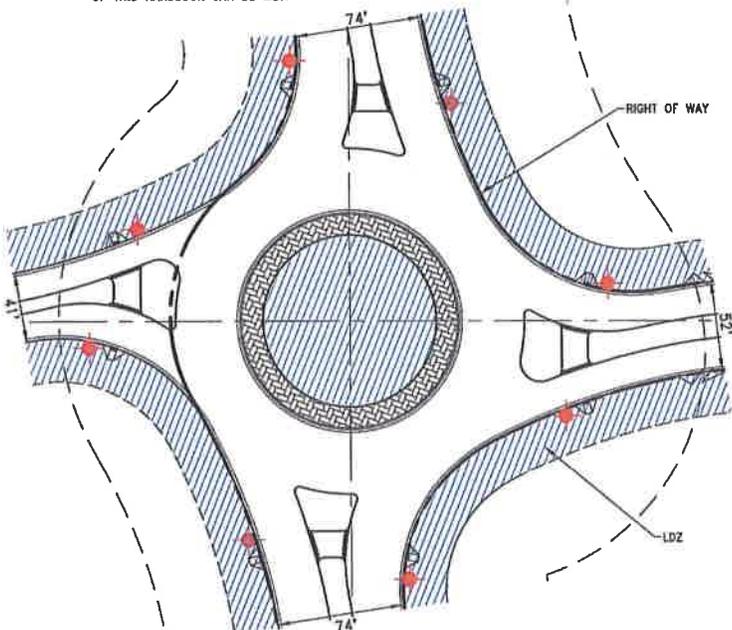


Figure C: At Roundabout

-  LDZ TO BE OWNED AND MAINTAINED BY MASTER DEVELOPER AND/OR LMC (NOT TO BE DEDICATED TO CITY OF SPARKS).
  -  LIGHTPOLE WITH BANNERS. LOCATION APPROVED BY CITY OF SPARKS.
- MASTER DEVELOPER MAY PLACE BANNERS ON THE LIGHT POLES WITHIN LDZ AREA LOCATIONS DEPICTED IN THIS EXHIBIT IF THE REQUIREMENTS STATED IN SECTION 3.2.1.6 OF THIS HANDBOOK CAN BE MET.





3.2.1.67 a) Signs in Kiley Ranch strengthen community identity and orient the motorist and pedestrian. Sign designs will reflect the overall theming of Kiley Ranch North.



3.2.1.67 b) Building signs should be integrated into the architecture.



3.2.1.67 e) Hanging, double-faced signs are appropriate along heavily traveled pedestrian routes and within arcades.

**3.2.1.7 Signs**

Signs and their integration into the project is a critical element in the design of Kiley Ranch North. Careful use of forms, styles, materials, and colors will establish continuity throughout the community. Signs are intended to be utilized only where necessary, and in a manner that demonstrates understated elegance, emphasizing an image of permanence and quality. Signs will respect the overall theming and branding of Kiley Ranch North.

- a) Signs shall be used for commercial, business and activity center identification. Signs shall be included on facades of buildings according to the sign development standards listed in this Final Handbook or where a standard does not exist in this Final Handbook, the City of Sparks Municipal Code shall apply. Where a conflict exists between this Final Handbook and City of Sparks Municipal Code, the standards in this Final Handbook will govern.
- b) Signs, where located on facades or entry canopies of buildings, may be internally illuminated or backlit with indirect lighting. All tenant identification signs shall be consistently located and integrated into the architectural design of the building entry. Storefront signs shall be proportional with the building architecture.
- c) Simple painted or raised letter signs are encouraged. A uniform scheme of colors, materials and style shall be utilized in each center, or building. Flashing or animated signs are prohibited.
- d) Building signs that project four (4) inches beyond the wall façade are prohibited, unless incorporated as an architectural element.
- e) The use of hanging signs is limited to above walkways within arcades and shall have an eight foot (8') minimum clearance from bottom of sign to finished grade. Sign structures shall be made of appropriate materials that reflect the architecture of the building.
- f) Information or directory kiosks are allowed. Kiosks shall be designed to pedestrian scale with a maximum height of six (6) feet and will be placed in pedestrian entry ways. Kiosks shall be carefully integrated into the landscape architectural design of the entries.
- g) Permanent private regulatory signs are allowable and shall be integrated into the design of the site. Regulatory signs shall be placed at key points to minimize the required number of signs. Maximum height of regulatory signs shall be six (6') feet.

**3.2.1.8 Walls and Fences**

a) Walls and fences shall be utilized to provide a buffer between incompatible uses. It is important, however, that walls and fences are appropriately integrated into each project

b) Design of all walls and fencing shall be consistent in terms of material, color and detail with the architecture of the project (see example to left and Exhibit 3-12, Community Walls and Fences).

c) The application of materials, colors, texture and alignment in the design of walls and fences shall be used to relieve visual monotony. Solid walls may be slump, split face, concrete, or standard integral colored masonry unit. Pilasters will be placed at wall terminus points and as determined by the DRC to be necessary for visual benefit.

d) Refer to sections 2.2.1.4 and 2.2.2.4 for additional standards.

e) Landscape elements shall be used to soften and enliven screen walls and fences where appropriate.

**3.2.1.9 Service, Trash, Loading and Utility Areas**

Outdoor storage (permitted only with Special Use Permit in BP land use areas), loading docks, truck parking, utility meters, HVAC equipment, trash collection, trash compaction, and other service functions exert visual and noise impacts on surrounding neighborhoods. Refer to the appropriate land use in Section 2.2 for additional regulations concerning the design of these areas.

a) Service and maintenance areas shall be located on the interior of the site, where feasible, or screened from adjacent public rights-of-way, pedestrian plazas or adjacent uses with landscaped berms, walls, fences and/or plantings.

b) All trash, recycle, and garbage bins shall be stored in an enclosure, approved by disposal services, DRC, and the City of Sparks.

c) Trash enclosures shall allow convenient access for each tenant. Enclosures must comply with local waste disposal company standards and the City of Sparks Design Standards Manual.



3.2.1.8 b) Low rise, landscaped screening walls contribute to a more attractive environment.



3.2.1.9 d) Screening of refuse containers and utilities is an inexpensive way to maintain the attractiveness of shared open space.

d) Trash enclosures shall be constructed to be architecturally compatible with the project. All trash enclosures shall be treated with anti-graffiti material. The trash enclosures shall be constructed of substantial building materials used in the design of the building(s). Gates shall be constructed of durable building materials that screens at a minimum 80% of the view into the trash enclosure. Wood or chain link gates are not allowed (see example previous page).

e) Trash enclosures, including trash compactors, must include provisions for concrete pads or appropriately designed asphalt sections in front of the enclosure. The area in front of the trash enclosure shall be a minimum of six (6) feet to reduce pavement damage from disposal trucks to DRC approval.

f) When non-residential buildings are adjacent to residential uses, loading and delivery shall be planned to occur on the side of the building away from residences. Loading and delivery areas shall not be located in a required setback area.

g) Exterior onsite utilities, including sewer, gas, water, electric, telephone and communications equipment must be installed underground. Transformers and other utility equipment that must be above ground shall be screened and incorporated into the landscape whenever possible. Refer to Exhibit 3-7, Figure B.

#### COMMERCIAL/RETAIL LOADING DOCK FACILITIES

h) A loading and delivery space, may be located adjacent to parking areas for a multi-family project, when another location is not feasible. Loading and delivery spaces shall be located as far away as possible from single family residential properties. Loading areas shall be screened by a minimum 10 foot wide landscape buffer. Refer to Exhibit 3-8, Figure A.

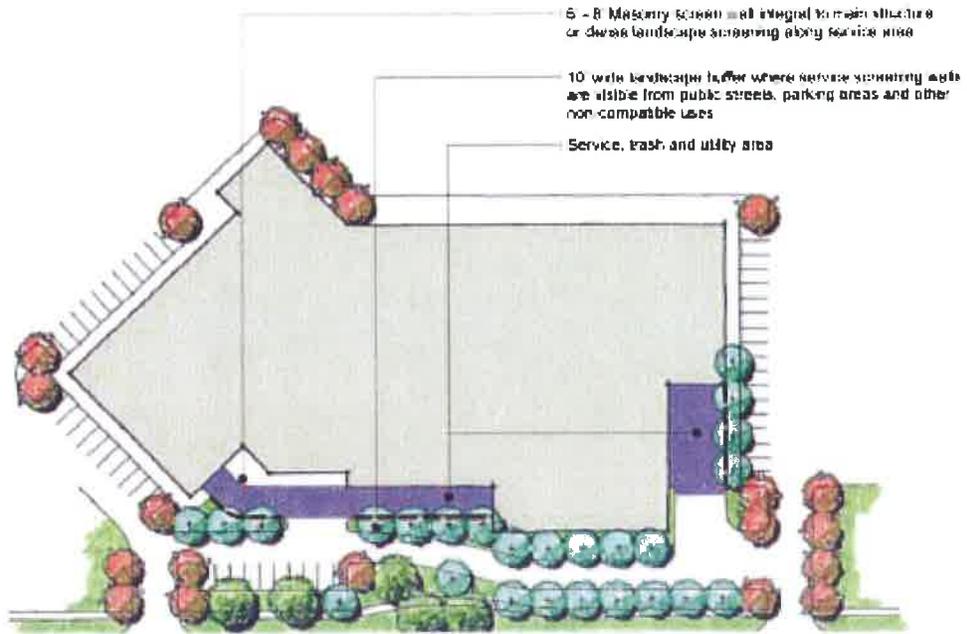
i) A loading area shall be provided for each freestanding restaurant site or other accommodations shall be made.

j) Loading docks shall not be directly visible from a public street. Screening shall be complete (if landscaping is used then 80% landscape screening within 3 years) and shall match the design of the building.

k) Truck maneuvering/circulation areas adjacent to residential properties shall be designated to prohibit trucks from parking and idling in these locations.

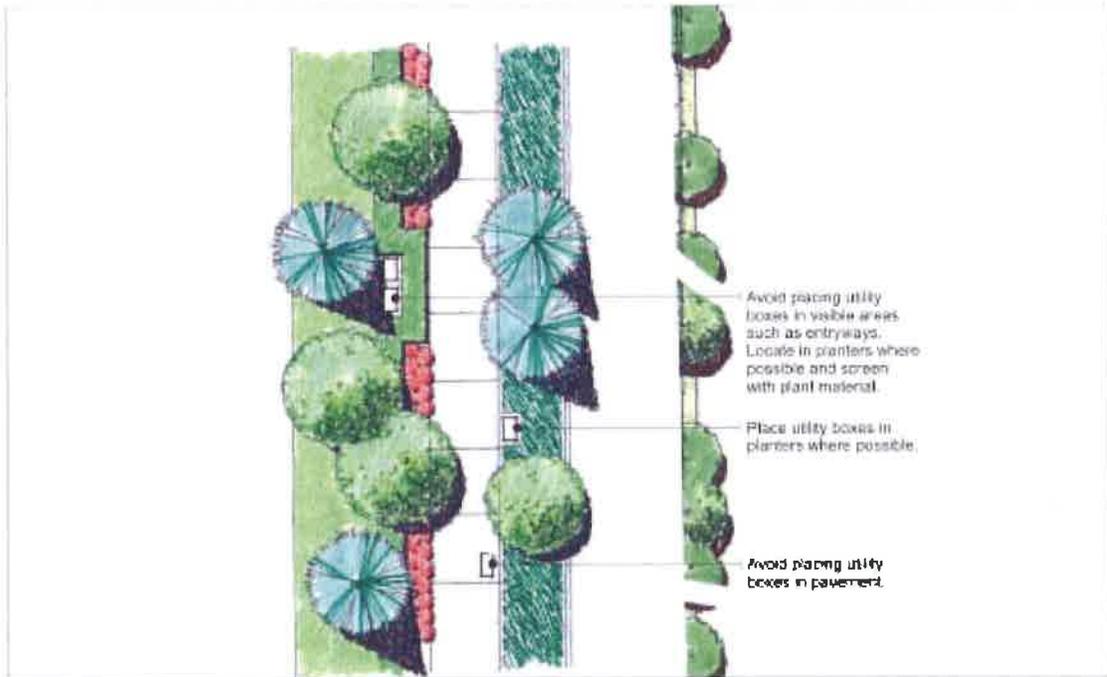
### EXHIBIT 3-8: SERVICE AND UTILITY AREA DESIGN

Figure A: Service Screening



#### SERVICE SCREENING

Figure B: Utility Screening



#### UTILITY SCREENING

not to scale



2.1.9 p) Loading docks areas shall be constructed of durable materials. Bumpers shall be used where needed.

### OFFICE/BUSINESS LOADING DOCK FACILITIES

l) Semi-truck direct access to/from and adjacent development site to/from Lazy 5 Parkway shall not be allowed. Semi-truck access to sites along Lazy 5 Parkway shall be through traffic controlled intersections that access public/private streets that provide truck access via a parallel circulator roadway.

m) Semi-truck maneuvering into and out of loading docks shall be accommodated on the development site and not allowed to occur on adjacent public or private streets providing access to other development sites. Truck maneuvering/circulation areas shall be designated to prohibit trucks from parking and idling in these locations, except in approved loading spaces or docks.

n) Loading and delivery areas may not be located adjacent to, and shall be located as far away as possible from, residential projects. Loading docks shall not be directly visible from a public street.

o) Loading areas shall be screened by a minimum 10 foot wide landscape buffer. If landscape screening (vegetation and/or berming) is used, full screening shall reach 80% within 2 years. If screening walls are used, the wall(s) shall match or be compatible with the architecture and materials of the building. A combination of landscaping and walls may be used and in all cases, screening shall be approved by the DRC and City of Sparks. Refer to Exhibit 3-9.

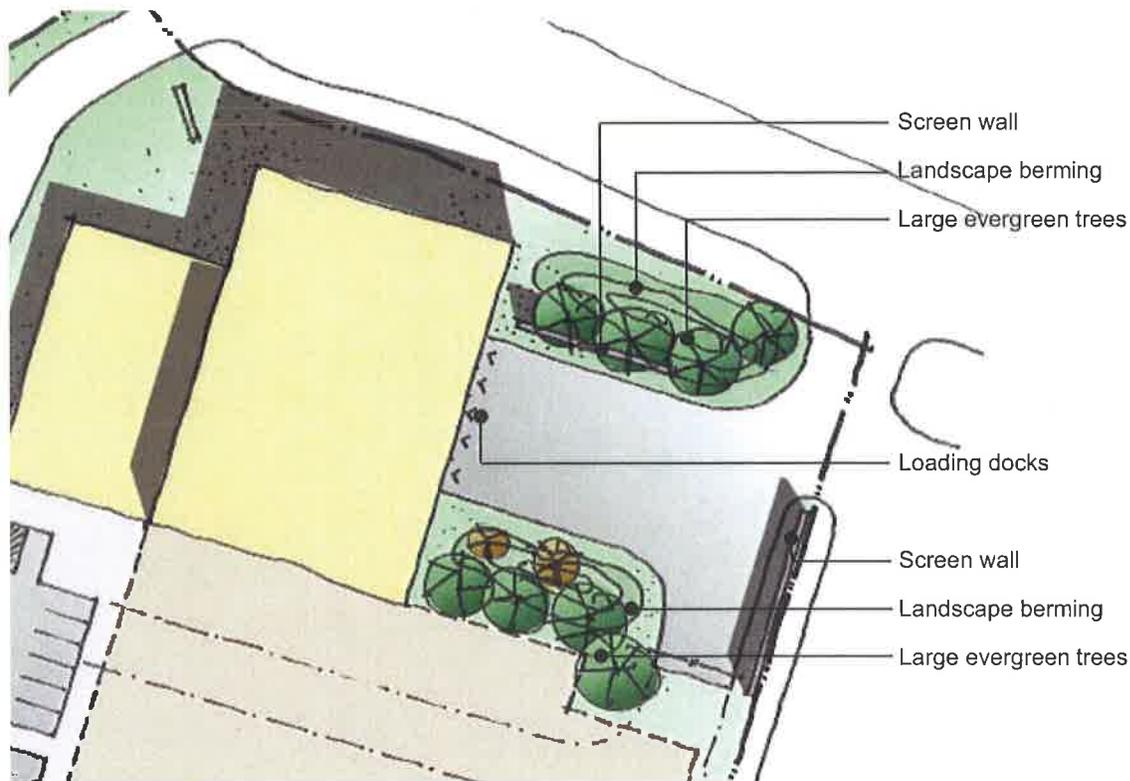
p) Loading dock doors and wall surfaces shall be designed with durable materials that can be maintained and kept in aesthetically acceptable condition. The use of overhangs, shade structures or other architectural features to reduce the visual impact of these areas is strongly encouraged. Provide bumpers where needed.

q) Provide adequate drainage to prevent water or ice build-up at loading dock door(s).

r) Provide adequate lighting. Lighting should provide convenience for loading and unloading but shall not spill over to any adjacent parcels.

s) Separate vehicular and pedestrian traffic.

t) Provide cold water hose bib at all loading dock or service areas.

**EXHIBIT 3-9: CONCEPTUAL LOADING DOCK SCREENING AT OFFICE/BUSINESS PARK****3.2.1.10 Drive-thru Facilities**

The following standards and guidelines for drive-thru facilities are intended to promote safe and efficient circulation, avoid site conflicts/functional problems, provide clearly identifiable circulation routes and provide for adequate vehicle stacking. Drive-thru facilities include drive-in banks and savings and loan institutions, automated teller machines (ATM), fast-food restaurants, coffee shops, car washes, and drive-thru drug stores.

- a) Stacking lanes for drive through food service windows shall accommodate a stacking for at least eight (8) vehicles and all other service windows shall accommodate stacking for at least four (4) vehicles.
- b) Drive-through businesses shall be visually screened and shall be situated so as to not block any other drive aisle or parking space.
- c) Impacts to surrounding residential property such as sound from a voice box, idling vehicles, and visibility of the business operation shall be mitigated by the developer to the approval the DRC and City of Sparks.
- d) Drivethru's shall be separated from residential properties by an intervening building or a six (6) foot high wall and a ten (10) foot wide buffering strip to include two rows of staggered six (6) and eight (8) foot high evergreen trees with living ground cover.



3.2.2.1 a) Siting buildings close to street with visible entrances and pedestrian amenities invites use.



3.2.2.1 e) Icon buildings located at prominent locations will help build an identity for the village center.



3.2.2.1 f) A continuous facade of buildings, built to the sidewalk and containing a variety of facade detailing, gives village centers clearly defined urban space.

### 3.2.2 Village Center Standards and Guidelines

An important consideration in the site planning of the Kiley Ranch Village Center is compactness. Successful village centers are walkable and accessible, with a diversity of uses and activities available within a short distances. Creating a sense of community is made easier by siting buildings close to the street and public promenades, planning for a vibrant mix of uses, and helping people come together for recreation, shopping, work and civic purposes. Exhibit 3-10 shows a prototypical site plan for the Village Center area and incorporates elements of the site planning standards and guidelines contained in this section. If residential development is proposed then design standards shall be provided and reviewed by the DRC and the City of Sparks through the special use permit process.

#### 3.2.2.1 Building Orientation

a) Buildings shall be sited close to the roadway to better define the urban space and to create pedestrian interest (see example to left). Continuous building street frontages are encouraged, but can be relieved with occasional courtyards, plazas, and setbacks.

b) The ground level of buildings shall provide visual and functional interest for the pedestrian and motorist through extensive window space, pedestrian-scale signs, sitting areas, varied entrances and architectural detailing.

c) Public entrances to shops, stores and lobbies shall face the important pedestrian routes creating active street frontages.

d) An engaging pedestrian environment shall be provided by placing “indoor” uses outdoors by moving interior space (dining areas) onto walkways and plazas, and bringing the “outdoors” into the building by opening up interior spaces (such as atriums) to views and sunshine.

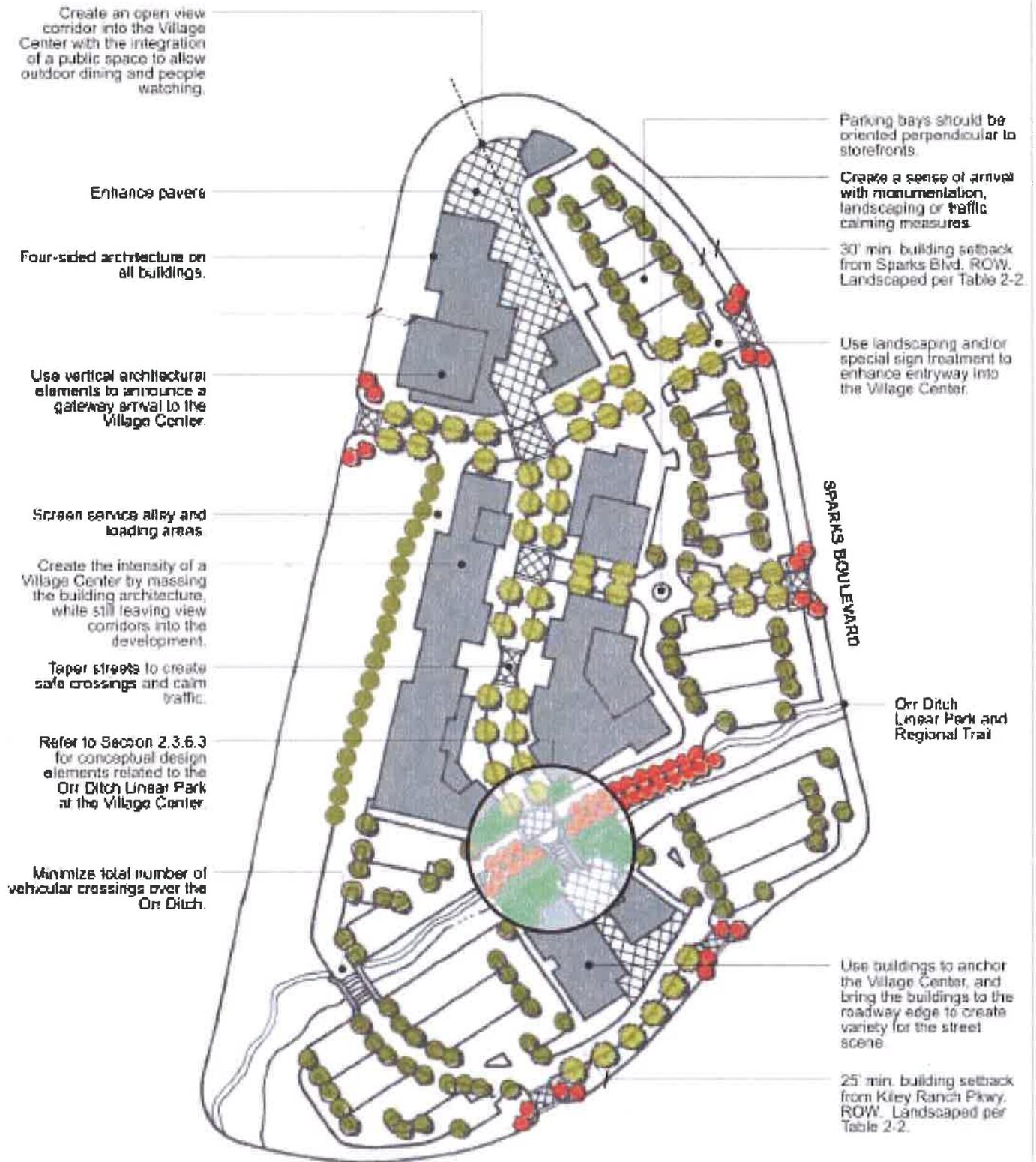
e) Gateway or corner buildings create pedestrian interest, set the tone for the entire block, and shall contain visually prominent architectural detailing, such as corner towers, distinctive signs or varied massing (see example to left). Restaurants are best located in corner buildings.

f) Where appropriate a single large building should be designed to look like multiple buildings by creating a variety of facades (see example to left).

#### 3.2.2.2 Streetscape

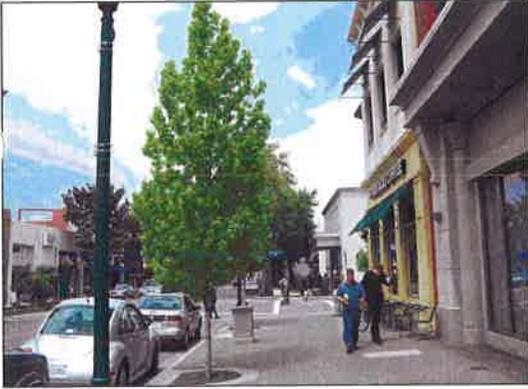
a) Along commercial streets, all the elements – buildings, signs, landscaping and street furniture – shall work together to create a unified and coherent visual identity and public space.

**EXHIBIT 3-10: VILLAGE CENTER COMMERCIAL CONCEPTUAL SITE PLAN**



NOTE: This prototype site plan is conceptual in nature and is subject to modification. Refer to text for specific requirements regarding design. Landscaping along public roads is described in Section 2.3 of this handbook.





3.2.2.2 e) Along major pedestrian streets, the sidewalk should be wide enough to accommodate window shoppers, pedestrian passage, eating areas, and a landscape buffer



3.2.2.3 b) Successful plazas have lots of movable seats, are close to the street and have lots of amenities such as food, shade and a visual focal point. Plaza space should be defined by surrounding buildings without creating a feeling of being closed in.



3.2.2.3 d) Popular village centers create a special sense of identity through attention to detail. Distinctive architecture, colorful building materials, pedestrian amenities, and a compact mix of uses create a dynamic energy and a variety of experiences.

b) Commercial and mixed-use buildings shall be located close to the street to better define the urban space and create pedestrian interest, but should be wide enough to accommodate window shoppers, pedestrian traffic, and landscaping. Consistent street frontages of buildings are encouraged, but can be relieved with occasional courtyards, patios and setbacks.

c) Streetscapes provide visual interest, continuity and identity and shall include a consistent blend of themed street furniture, consisting of streetlights, banners, benches, bollards, newsracks, bus stops and trash receptacles.

d) Commercial street corners shall be carefully defined by buildings that set the tone for the entire block, provide continuity for the streetscape and reduce the impact of parking.

e) Sidewalk width is dependent on surrounding uses and scale of street. Core commercial areas need to include zones for window shopping, through pedestrian traffic, outdoor eating, street trees and hedge buffers (see example to left).

f) Paving patterns and pedestrian surfaces contribute greatly to the design quality of the Village Center. Sidewalk, plaza and crosswalk surfaces shall be have a consistency of design, punctuated with distinctive and varied treatments, such as themed lighting, to help orient pedestrians and highlight special amenities.

g) Along pedestrian-oriented streets, large windows of ground-level retail shall provide visual interest and information for shoppers and strollers.

### 3.2.2.3 Public Spaces and Plazas

Public spaces provide the visual and social accent for a downtown. Although streets are the most important public spaces in a downtown, well-planned plazas, gathering places and mini-parks add an important sense of place and comfort to the Village Center experience. The Kiley Ranch Village Center's symbolic, community- gathering place will be a plaza situated alongside the Orr Ditch. Its location between commercial and residential uses and along the major pedestrian spine of the village will make it the major place where village residents come to meet.

a) A public space, such as an amphitheater or plaza, large enough to accommodate entertainment or community events shall be provided within the Village Center near the Orr Ditch Linear Park.

b) Comfortable and movable seating is crucial to the success of public plazas. Seating can be built into ledges, corners and walls. Moveable seats provide choices and comfort whereas fixed seating tends to limit flexibility of use (see example to left).

c) Vibrant public plazas have a sense of enclosure defined by surrounding buildings, but should not be completely enclosed or cut off from the street. Plaza space shall be defined by surrounding buildings with the general guideline that the width of the public space should not be more than three times greater than the height of surrounding buildings.

d) Plazas in the Village Center shall have a visual focal point that draws attention, connects visitors and further enhances the sense of place. The amenity might be a sculpture, fountain, historical reference, public art display, or entertainment (see example on opposite page).

e) Plazas should be located on or near the street to provide maximum visibility and accessibility. The transition from the street to the public space shall be as convenient as possible by not raising or sinking the space more than three to four feet.

f) Plazas within the Kiley Ranch Village Center shall provide generous pedestrian amenities. Canopy shade trees create a sense of scale; outdoor eating and seating provides convenience and social opportunities; and the use of special paving features and public art adds richness to the environment. All are encouraged.

g) Smaller scale public spaces, such as a common green should complement larger spaces and add vitality and choice to the pedestrian experience (see example to right). They should also be located along the street, be comfortable, and have ample seating.

h) Bike racks shall be provided at convenient locations throughout the village center.

i) Public spaces shall be carefully integrated into the fabric of the Village Center and contribute to the pedestrian experience.

#### 3.2.2.4 Parking

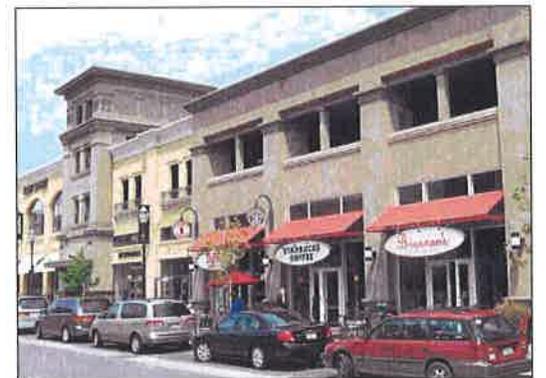
Convenient parking is extremely important to a downtown's success. Efforts shall be made to minimize its impact on the visual quality of the street and pedestrian movement along it. Within the Village Center, structured parking will be complemented with street and lot parking.

a) Parking structures and parallel or angled on-street parking is encouraged over surface parking lots to maximize potential for building placement and to improve the pedestrian experience (see example to right).

b) Because surface parking lots tend to create gaps along the street edge and interrupt the activities along the street, they shall be located in ways that minimize their visibility from major arterials and pedestrian streets.



3.2.2.3 g) Public spaces such as a common green provide a respite from other village center activities.



3.2.2.4 a) Parking is often crucial to the success of village centers. Parallel parking is convenient and can be combined with structured parking. The bottom floor of structured parking can be used for retail space and the structure's facade can be designed to fit architecturally into its context.



3.2.2.4 d) Landscaped parking lots minimize the impact of large areas of asphalt and concrete.



3.2.2.4 g) Parking structures on side streets, directly behind retail uses, provide convenient access and preserve pedestrian street environment.

c) Techniques for screening surface parking lots include perimeter-landscaped buffers of shade tree plantings or up to three-foot-high screen walls or hedges. Landscaped berms are not considered appropriate because of limited space available and the business-park image they convey.

d) Surface parking lots shall contain interior landscaping with curbed islands planted with shade trees per Section 3.2.1.3, Exhibit 3-6, A-D and Chapter 20.32 of the Sparks Municipal Code (see example to left). Where a conflict exists between these standards and the City of Sparks Municipal Code, the standards contained herein shall apply.

e) Lighting fixtures and signs within Village Center parking lots shall be consistent with the chosen theme and provide an important unifying element.

f) Parking structures along a pedestrian streets should be designed to offer ground level retail and office space when appropriate (see example to left). On streets where cars must occupy the ground level, a 10 foot landscaped setback shall be used to minimize and soften the visual impact of the structure.

g) Parking structure vehicle entrances shall not be located on the main pedestrian street.

h) Parking structures shall incorporate security measures such as lighting, open stairwells, and clearly marked entry and exit points.

i) Shared parking arrangements should be undertaken to reduce overall parking requirements and to integrate adjacent uses, when demonstrated through a parking study to the City.

j) Parking areas shall be designed so that pedestrians walk parallel to moving vehicles and minimize the need for the pedestrian to cross parking aisles.

k) Large contiguous surface parking lots shall be avoided. Rather smaller parking plazas shall be located throughout the Village Center.

l) The architecture of parking structures shall incorporate exterior building materials, forms and scale similar to surrounding buildings and contain an appropriate scale to existing development.

m) Convenient and safe pedestrian connections will be provided to link parking structures with residential entrances.

n) Underground parking has the least impact on the visual quality of the Village Center and is encouraged.

o) Where parking stalls adjoin landscape planters, the planters shall be designed to protect the landscaping from vehicles. The design solution must be approved by the DRC and the City of Sparks.

### 3.2.2.5 Landscape

a) Where the standards contained in this section are silent the landscaping standards contained in Chapter 20.32 of the Sparks Municipal Code shall apply. Where a conflict exists between these design standards and the City of Sparks Municipal Code, the stricter of the standards shall apply.

b) Landscaped pockets with large deciduous trees shall be provided along the main streets within the Village Center to provide a shade canopy, give streets a special identity, reinforce visual continuity and provide pedestrian comfort (see example to right).

c) Seating benches shall be located within the Village Center to provide rest areas, opportunities for social interaction, and soften the impact of large building masses.

d) Accent landscaping such as specimen trees, colorful perennial shrubs, groundcovers, tall grasses and flowers shall be used at major entrances and gateways to the Village Center. Medium deciduous trees shall also be introduced to provide a canopy or shade to sidewalk areas and reinforce a pedestrian scale streetscape.

### 3.2.2.6 Lighting

a) Lighting within the Village Center shall utilize special themed lighting to be consistent with the architectural theme. Lighting within the Village Center shall be consistent in terms of style and theme (see example to right).

b) Nighttime illumination will encourage use, convenience and security within the Village Center well into the evening. The quality of illumination should be two-fold: 1) accent lighting shall be used for prominent signs, building features and public facilities; 2) pedestrian-scale lighting shall strengthen the background illumination provided by interior and shop window lighting.

c) Overly bright or glaring lights as well as yellow or orange lighting shall be avoided.

d) Architectural features, rooflines, pedestrian routes and building entrances shall be illuminated.

### 3.2.2.7 Signs

a) Signs will play a key role in the development and identity of the Kiley Ranch Village Center. Distinctive, custom signs will be encouraged within the design framework of the Village Center.

b) Signs within the Village Center shall comply with Chapter 20.56 of the Sparks Municipal Code. Where a conflict exists between these standards and the City of Sparks Municipal Code, the stricter of the standards shall apply.

c) Signs shall complement the architecture of the building and also provide a unifying element along the streetscape.



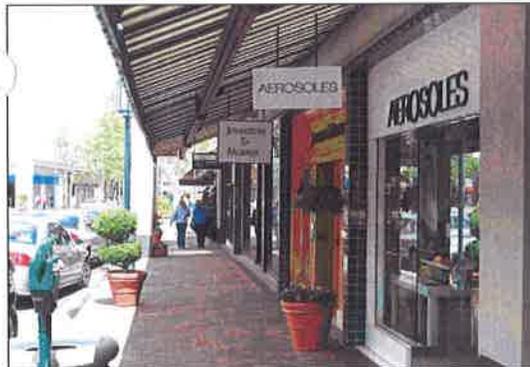
3.2.2.5 b) Canopy trees, accented crosswalks and distinctive signage create a comfortable ambience.



3.2.2.6 a) The use of themed lighting and special paving materials help to integrate the architectural theme of the surrounding village center.



3.2.2.7 e) Awnings, signs and lighting help reduce the bulk of a building and create a pedestrian scale environment..



3.2.2.7 h) Signage in village centers should be oriented to the pedestrian. Double-faced hanging signs, wall signs and awnings are all scaled to the pedestrian

d) Along traditional multi-story commercial streets, the best placement for signs is along the lintel or sign frieze between the ground floor storefront and the upper facades. If possible, signs along a blockface should be located at approximately the same height to create a unifying, horizontal pattern.

e) Signs shall be distinctive, eye-catching and simple, avoiding cluttered designs and excess advertising. Cast metal and wrought iron signs are encouraged. Awnings graphics, marquee signs and valence signs that are integrated with the architecture should also be used to identify individual storefronts (see example to left). Backlit signs and box signs are discouraged.

f) A Master Sign Program for each development parcel/center shall be prepared by the developers of individual projects and approved by the City of Sparks and the Kiley Ranch Design Review Committee (DRC). The goal of the Master Sign Program is to harmonize the appearance of the signs within the development. The Master Sign Program shall establish the style and type of sign for the entire development parcel/center so the signs are consistent throughout the project. It shall be reviewed with the first site plan review/special use permit for the development parcel/center.

g) Sign design and materials shall be consistent with the architectural character of their buildings. Predominant sign materials will be wood and stone.

h) Size, scale and style of signs shall be determined by the scale of the buildings of which they are a part (see example to left).

i) Desirable sign types include indirectly lit signs, halo lighting, channeled letter signs, wall signs, awnings, and double-faced, projecting or hanging signs along pedestrian walkways with minimum clearance of 8 feet.

j) Undesirable signs are internally-illuminated, plastic, flashing signs, billboards, generic trademark signs, roof signs, cabinet or canned signs, and any sign temporarily affixed to ground-floor windows.

k) Window signs, where lettering is affixed directly on the glass, can be attractive and eye-catching provided that the style is in keeping with the scale and style of the building.

l) Double-faced projecting signs are desirable along commercial streets provided that they are of an appropriate size, scale and location as determined by the DRC and City of Sparks.

m) Awnings add visual interest, color, and pedestrian comfort while providing another unifying element to the street.

### 3.2.3 Single Family Residential Areas

Site planning, architectural design and landscape design shall be integrated into a unified neighborhood concept. This can be accomplished through a variety of devices including: unique entry features; theme wall and fencing; pocket park design elements; special landscape treatments, planters, and other elements; consistent use of building clusters; and trail linkages (Refer to Figure 3-11, Neighborhood Design).

#### 3.2.3.1 Neighborhood Design

The residential neighborhoods of Kiley Ranch North will promote visual diversity and avoid monotonous development patterns. This can be achieved through the use of several techniques including: minimizing the visual impact of the garage; avoiding repetitious floor plans and footprints; varying setbacks at porches, garages and living areas; and opening corner lots through selective plan form and reduced building heights. The following standards and guidelines promote visual diversity along the streetscape and promote the use of street-oriented architecture.

- a) Forward architecture shall be used in the design of homes. This is accomplished by placing entries, windows, front porches, and living areas towards the street on most plan variations (see example to right).
- b) With the exception of zero lot line lots, plans should be reversed and plotted so that garages and entries are adjacent to each other. This creates an undulating sense of setback. Occasionally this pattern should be broken so that it will not become overly repetitious or reflected by the massing across the street.
- c) The garage shall not be the dominant feature of the building facade facing the street.
- d) So as not to contribute to a repetitious and monotonous appearance along the street, the use of varying building setbacks from the street right-of-way is encouraged. Refer to Exhibit 3-11, Figure A.
- e) At least one house plan per neighborhood should be developed for corner plotting. Corner plotting requires wrap-around architecture and the ability to turn the garage for side entry. Refer to Exhibit 3-11, Figure A.
- f) Neighborhoods shall provide connections into the community trail system. Open cul-de-sacs are required where a connection to the community trail system can be made. Refer to Exhibit 3-11, Figures B, C and D.
- g) In order to avoid a continuous "walled" character along collector roads, special treatments shall be used in selected locations. These may entail open cul-de-sacs, view fencing, trail connections, and variable wall alignments.



3.2.3.1 a) Homes are sited close to the street with entryways and porches, rather than garages creating an attractive and social environment.

EXHIBIT 3-11: RESIDENTIAL NEIGHBORHOOD DESIGN

Figure A: Variation of Front Yard Setbacks

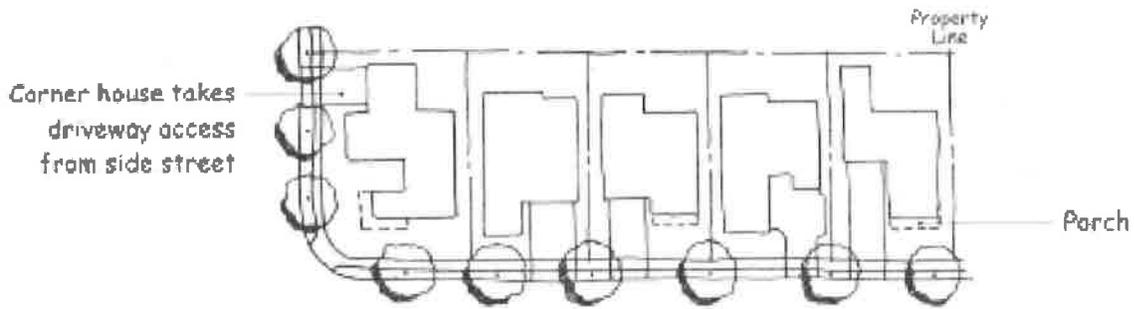


Figure B: Connection to Trail System from Cul-de-sac

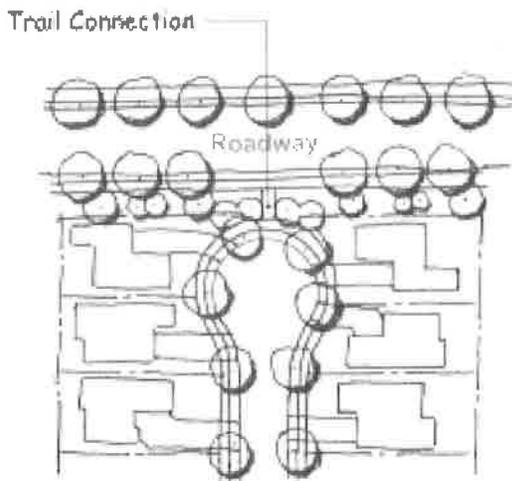


Figure C: Connection to Trail System

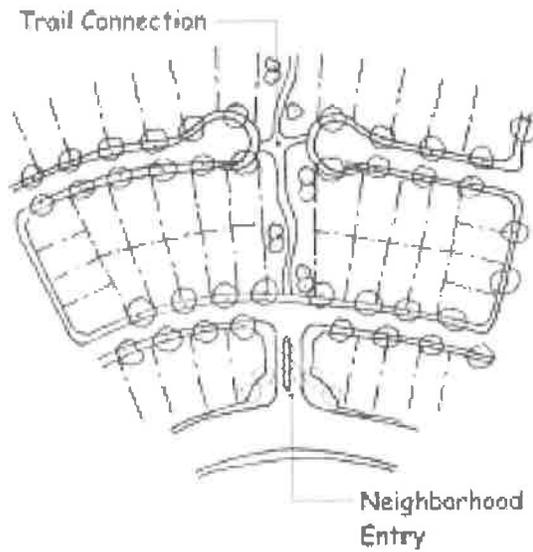
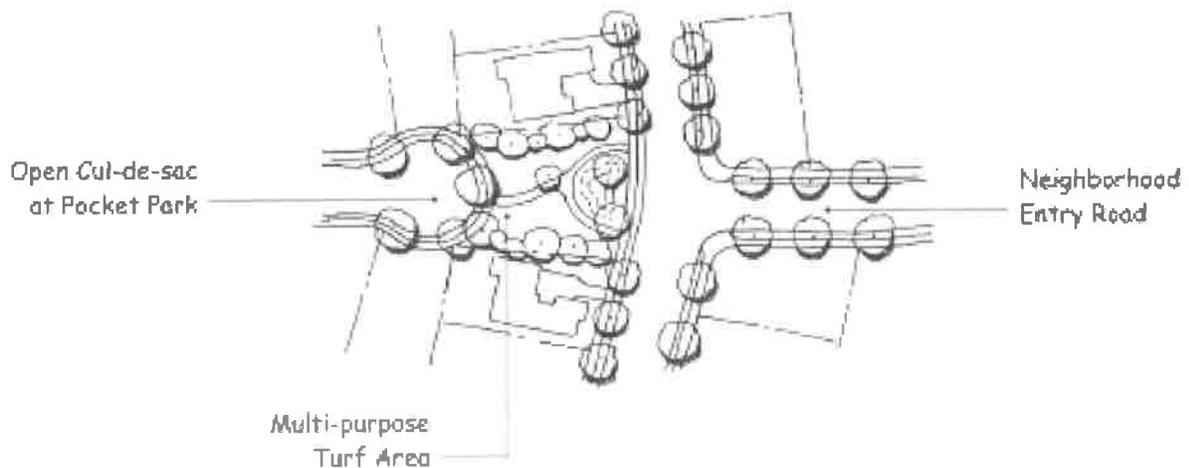


Figure D: Open Cul-de-sac



**3.2.3.2 Grading**

- a) The design of residential neighborhoods shall be sensitive to the natural terrain, and structures shall be located in such a manner so as to minimize necessary grading and preserve natural site features and drainage ways. Any grading of the site terrain shall blend with the natural topography of the site.
- b) Builders shall limit mass cut and fill slopes wherever feasible to retain a natural slope appearance. All grading shall be in compliance with the City of Sparks Hillside Development Ordinance.
- c) Graded slopes shall be rounded resulting in smooth, harmonious transitions between the man-made terrain and the natural terrain.
- d) All graded slopes shall be revegetated prior to building occupancy. If climatic conditions or other circumstances prevent planting at the time of occupancy a bond shall be provided for landscaping during the subsequent growing season or other arrangements made for revegetation, subject to the approval of the administrator. Drought tolerant plant species shall be utilized to help minimize erosion.
- e) Slope banks used in conjunction of the terracing of residential lots shall be maintained by the property on the down slope side.
- f) The developer shall post a surety for reclamation and revegetation prior to issuance of a grading permit.
- g) The developer shall submit an erosion control plan with each grading plan.

**3.2.3.3 Landscape**

a) Within residential neighborhoods, sidewalks shall be separated from the curb edge by a planted parkway consisting of low, spreading groundcover or turf (see example to left). Landscape within the parkway shall be installed by the developer before the occupancy of the adjacent home, unless climatic conditions prevent planting, in which case a bond shall be provided for landscaping during the subsequent growing season. Although the planted parkway is located within the public right-of-way it is to be maintained by the Kiley Ranch North Residential Landscape Maintenance Corporation (LMC).

b) Street trees shall be planted within the parkway at a regular interval of no greater than 50 feet apart, with a minimum of one street tree per residential lot street frontage.

c) Each neighborhood shall use a mix of species of large canopy shade trees for all primary circulation routes within the neighborhood. Refer to Table 2-6, Landscape Palette, Street Trees for permitted tree species.

d) The landscape character should vary from neighborhood to neighborhood. Each neighborhood may use an ornamental/flowering tree species unique to that neighborhood as approved by the DRC and the City of Sparks.

e) Front yard landscaping is required for all homes and will be reviewed and approved with the tentative map establishing installation timing.

f) Front yard landscape packages shall be provided by developers/builders subject to the review and approval of the LMC and the City of Sparks and must meet the following requirements: a variety of standard and upgraded front yard landscape packages with automatic irrigation systems shall be provided (minimum 3 packages); front yard landscaping designs with berming, courtyards, lighting, or other creative features shall be offered for standard landscape designs; and at least one (1) package shall have a minimal use of turf/lawn (no more than 25 percent of the planted area in the front yard).

**3.2.3.4 Lighting**

a) Lighting shall be designed to differentiate land use areas, emphasize community amenities, provide continuity along street corridors and ensure the safety of residents and users.

b) Exterior lighting shall be shielded from projection offsite and designed to be compatible with the architectural and landscape design of the home.



3.2.3.3 a) Parkway and continuous sidewalks provide pleasant pedestrian environment.

**3.2.3.5 Walls and Fences**

a) A master fencing plan for Kiley Ranch North shall be prepared by the Master Developer and submitted to the DRC and the City of Sparks for approval with the development application for the project in which the walls are to be constructed. The master fencing plan shall identify locations for community walls and fences as well as set their design character.

b) Community walls shall be used where necessary to provide privacy and security for residential neighborhoods from adjacent arterial and collector roads. The use of community walls shall be limited. If community walls are necessary adjacent to golf courses or open space, view fences shall be used.

c) Walls within the community shall not become the dominant visual element and walls where needed shall blend into the overall landscape. Berming or berms with lower walls shall be considered as an alternative to typical community walls.

d) Community walls shall be a maximum of six feet in height. Appropriate materials include stone, stone veneer, split face/precision block, tubular steel, concrete, stucco pilasters and cap, and wrought iron. The design style, color and detail shall be consistent throughout the Kiley Ranch North Planned Development. Refer to Exhibit 3-12.

e) Community walls shall blend into the overall landscape and not become the dominant visual element. Through site planning, product plotting, architectural detailing, and landscaping this can be achieved (see example to right).

f) View fences shall be used where the rear of individual lots are adjacent to open space. Refer to Exhibit 3-12, Figure B, for examples of view fences. View fences shall be maintained by the LMC.

g) View fences may include landscaping with trees and shrubs to screen views of private yards from adjacent properties and public right-of-ways.

h) View fences shall be constructed of wrought iron or similar quality material and be consistent in terms of material, color and detail within each residential neighborhood or subdivision.

i) A combination of community walls and view fencing is encouraged to break up long stretches of solid walls.

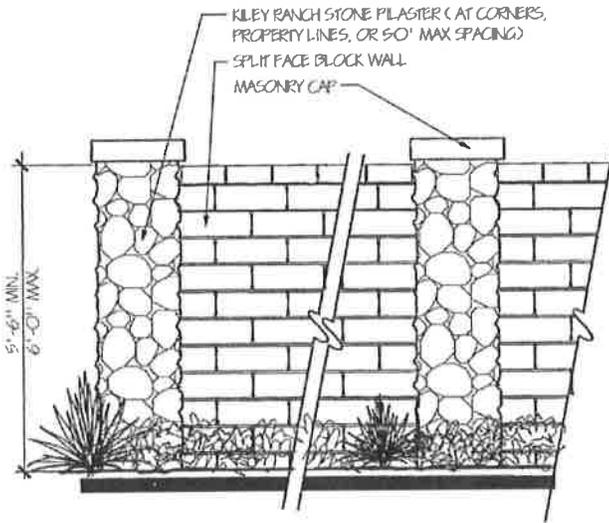
j) Community walls and view fences shall comply with the regulations contained in Section 2.2.

k) All walls and fences associated with a development project shall be installed concurrently with the development and maintained by whomever is maintaining the Landscape Development Zone.

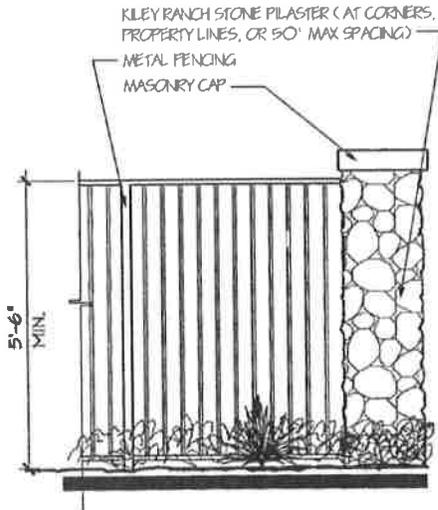


3.2.3.5 e) Landscaped community walls enhance neighborhood appearance.

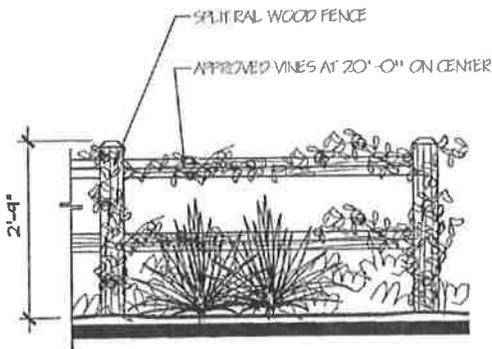
**EXHIBIT 3-12: COMMUNITY WALLS AND FENCES**



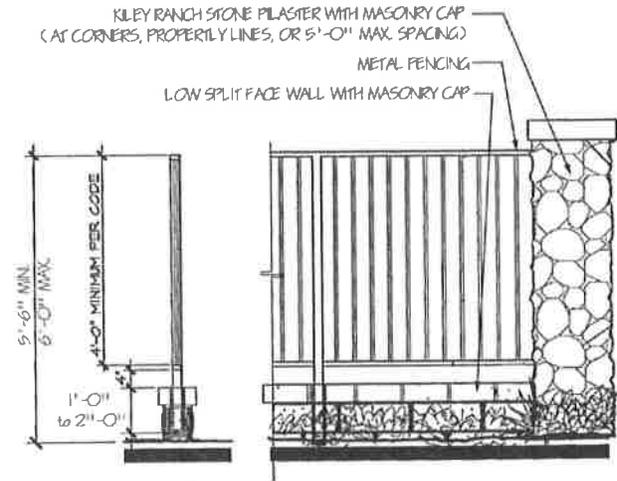
COMMUNITY SOLID WALL



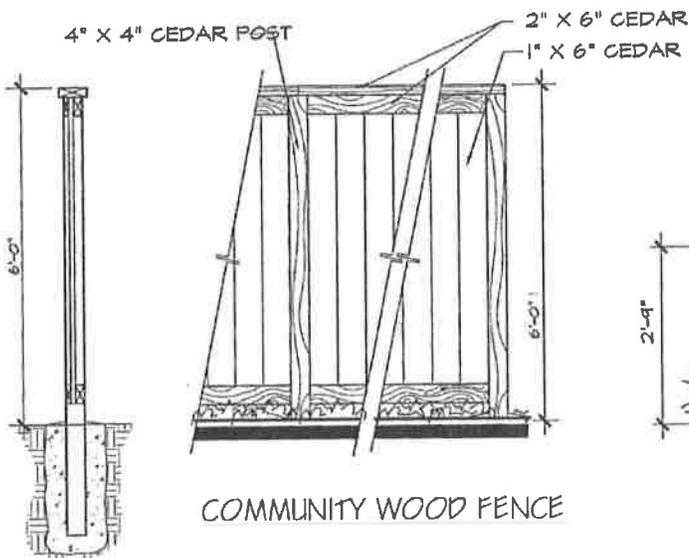
METAL FENCING



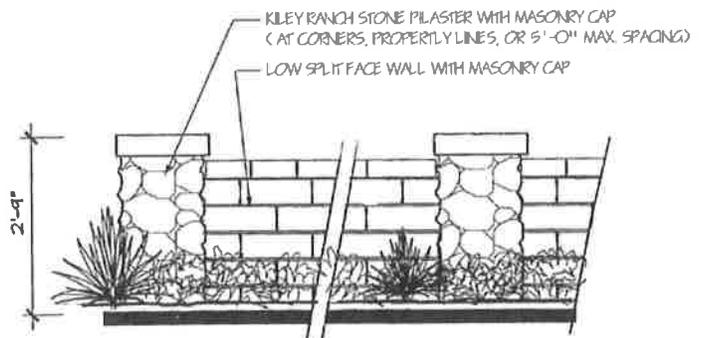
TWO-RAIL THEMATIC SPLIT RAIL FENCE



COMMUNITY LOW WALL WITH METAL VIEW FENCING



COMMUNITY WOOD FENCE



SCREEN WALL

**3.2.3.6 Neighborhood Entry**

a) A neighborhood entry treatment shall occur at the primary entry to each neighborhood. Treatments shall incorporate a local historical theme similar to that of Community Gateways but on a smaller scale.

b) Entries shall incorporate the following (see example to left):

- Ornamental trees
- Groundcover or turf
- Native materials designed to look natural and wild
- Distinctive historical architectural elements

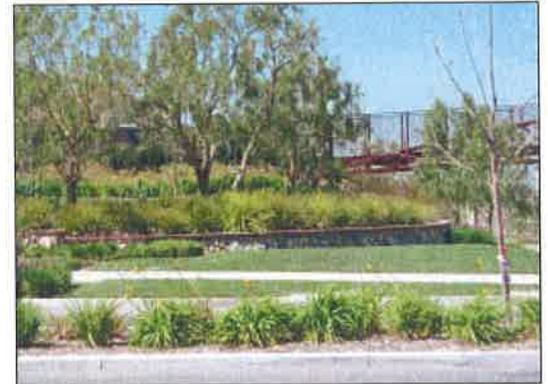
c) Open spaces or pocket parks should be located at the terminus point of the entry road.

d) Raised planted medians may be used at neighborhood entries (see example to right).

e) Refer to Section 2.3.4.2, Neighborhood Entries, for additional standards.



3.2.3.6 b) Raised planted medians calm traffic and pocket parks provide a neighborhood entry feature.



3.2.3.6 d) Landscaping at the entry point to individual neighborhoods sets the theme and image for the neighborhood.



3.2.4.1 c) Multi-family projects with landscape areas surrounded by residential units in a courtyard setting provide safety and community interaction.



3.2.4.1 e) Pedestrian connections allow residents to walk to recreation areas.



3.2.4.1 f) Multi-family development is enhanced with the inclusion of pedestrian paths and transit connections.

### 3.2.4 Multi-Family/Attached Residential Site Planning

Site planning, architectural design, and landscape shall be integrated into a unified design of new multi-family housing or attached single family housing. These site planning standards and guidelines address the following issues: placement and orientation of attached homes or multi-family buildings; site grading and drainage; landscaping and public spaces; placement of parking/carports/garages; walls and fences; trash and storage areas; and lighting.

#### 3.2.4.1 Building Orientation

a) Building placement and orientation shall be designed to create visual interest along public right-of-ways and within the project. Buildings and landscape elements in a single project shall demonstrate a positive functional relationship to one another.

b) Residential buildings should be grouped in clusters and sited to minimize the scale of the project. Larger building masses should provide larger open space areas. Small blocks of parking with walks, entries, and mailboxes within each cluster of buildings shall be utilized to provide a sense of identity and convenience.

c) Buildings shall be oriented and clustered in such a way as to provide courtyards and open space areas (see example to left). The open space shall be usable area, not steep in slope or riparian in nature.

d) To provide privacy between living spaces, there should be distance separations, buffering or changes in the angles of units.

e) All multi-family/attached single family developments shall incorporate pedestrian connections to adjoining residential, recreational and commercial uses as well as to the community trail system (see example to left).

f) Projects along transit routes shall be designed to have a pedestrian entrance oriented towards transit stops for convenient access by transit riders (see example to left).

g) There shall be common barbecue areas with tables provided within the multi-family/attached single family development, which can count towards recreational facilities.

h) Multi-family/attached single family development over 25 units shall have a secure children's play area with play equipment that is visible from as many units as possible. In addition they shall incorporate five (5) of the following recreational facilities:

- Swimming pool
- Tennis courts
- Horseshoes
- Spa
- Exercise equipment
- Game room
- Community room
- Par course
- Walking trails (minimum ¼ mile in length)
- Picnic areas to include tables with barbecues
- Volleyball court
- Basketball court
- Lawn areas for field games

i) The recreational facilities shall be conveniently and centrally located for the majority of the units (see examples to right).

j) Private open space, such as decks or patios shall be contiguous to the units with a minimum width depth of six (6) feet.



3.2.4.1 h) Shared open-space amenities such as barbecue areas, lawn areas and childrens play areas add to the convenience and quality of life in multi-family neighborhoods.

**3.2.4.2 Grading and Drainage**

- a) The design of multi-family housing or attached single family housing shall be sensitive to the natural terrain, and structures shall be located in such a manner so as to minimize necessary grading and preserve natural site features and drainage ways. Any grading of the site terrain shall blend with the natural topography of the site.
- b) Site grading shall be designed to complement the architectural and landscape design character of the community, screening parking and service areas, reducing the perception of height and mass on larger buildings, and providing reasonable transitions between on-site uses.
- c) Builders shall limit mass cut and fill slopes wherever feasible to retain a natural slope appearance. All grading shall be in compliance with the City of Sparks Hillside Development Ordinance.
- d) Graded slopes shall be rounded resulting in smooth, harmonious transitions between the man-made terrain and the natural terrain.
- e) All graded slopes shall be revegetated prior to building occupancy. If climatic conditions or other circumstances prevent planting at the time of occupancy a bond shall be provided for landscaping during the subsequent growing season or other arrangements made for revegetation, subject to the approval of the administrator. Drought tolerant plant species shall be utilized to help minimize erosion.
- f) The developer shall provide a final hydrological report for the project in conformance with the City’s Hydrological Criteria and Drainage Design Manual (HCDDM) for review and approval by the Engineering Manager.
- h) The developer shall post a surety for reclamation and revegetation prior to issuance of a grading permit.
- i) The developer shall submit an erosion control plan with each grading plan.

**3.2.4.3 Parking**

The goal of the following standards and guidelines are to limit the impact of parking areas on the streetscape and provide a network of pedestrian paths within landscaped corridors that tie into the community trail system.

- a) Parking shall be provided within 200 feet of all residential units.
- b) Parking areas shall be linked to the building and sidewalk network as an extension of the pedestrian system. Pedestrian systems shall be designed within the development to connect buildings and open space/recreational facilities (see example to left). This can be done using design features such as walkways with enhanced paving, trellis structures and/or landscaping treatments.



3.2.4.3 b) Parking areas in multi-family zones have screening landscaping and clearly marked paths to residences and recreational amenities.

c) Carports and garages shall be designed as an integral part of the architecture of the development. They shall be the same in materials, color and detail to the principal buildings of the development. Carports should not have roof pitch of less than 3:12.

d) Parking in the perimeter of the property adjacent to the public right-of-way shall be screened according to the standards in Section 3.2.4.4.

e) Wheel stops shall be provided where parking adjoins landscaping and sidewalks unless an alternative design is approved by the DRC and the City of Sparks.

**3.2.4.4 Landscape**

Multi-family and attached single family residential landscaping provides a unique sense of identity for each project. The following standards and guidelines help to establish the landscape character for each project that will enhance the quality of the development and buffer the project from roadways and undesirable views.

a) All landscaping shall comply with the minimum requirements contained in Chapter 20.32 of the Sparks Municipal Code.

b) Landscaping around the entire foundation base of buildings shall be provided to enhance the area between the parking lot, walkways and the structure (see examples to right).

c) Stepping stones shall be provided through a landscape planter to provide access from parking lots to walkways.

d) Low water demand plant materials and turf shall be used in conjunction with low water demand principles and techniques. Refer to Table 2-6, Landscape Palette.

e) All landscaped areas shall be irrigated with permanent automatic irrigation systems. All irrigation systems shall be placed underground.

f) Planting islands in parking lots shall have a minimum nine (9) foot interior protected by a six (6) inch curb.

g) The landscape along the street periphery shall be a minimum width of 15 feet from the right of way and provide a mix of trees, shrubs, and living groundcover. This 15 foot required width is not in addition to the landscape buffer width required adjacent to arterial and collector roads. The trees shall be a minimum of four (4) trees per 100 lineal feet and six (6) shrubs per tree. All parking lots and buildings shall incorporate landscaping at their street periphery.



3.2.4.4 b) Well-landscaped, semi-private pathways provide safe access to the street and neighborhood amenities.

h) All sites shall incorporate screening at their periphery. Screening shall be implemented utilizing the following:

- Utilize evergreen shrubs and ornamental grasses that are 30 to 36 inches high at maturity to create a loose, informal landscape screen.
- Provide evergreen trees at four (4) trees per 100 lineal feet of landscape area. Evergreen trees shall be installed at a mix of 50% six (6) foot in height and 50 % eight (8) foot in height.

i) Landscaping shall be installed to provide shade and enhancement of open space and recreational areas. The placement of plants shall consider security and safety by avoiding the creation of secluded areas.

j) Project area, open space, common areas and recreational areas shall be landscaped, as approved by the City of Sparks and the DRC.

#### **3.2.4.5 Lighting**

a) Lighting throughout Kiley Ranch North shall be designed to differentiate between land use areas, emphasize community amenities, provide continuity along street corridors and ensure the safety of residents and users.

b) Parking lot, walkway and area lighting heights shall be in scale with the setting and complement the architecture. Any light source over ten (10) feet high shall incorporate a cut-off shield to prevent the light source from being directly visible from off-site areas to prevent glare.

c) Parking lot, walkway and area lighting shall be directed downward with no direct projection of light off-site. The light source shall be kept as low to the ground as possible while ensuring safe and functional levels of illumination. The use of bollard lighting shall be encouraged in pedestrian areas.

d) Overall lighting levels shall be compatible with neighborhood ambient levels and color shall be uniform throughout the development. Soft, indirect lighting shall be employed where feasible.

e) Illumination for aesthetic purposes of any building or surrounding landscape utilizing exterior light fixtures that project light beyond the property line is prohibited.

f) Support structures for lighting should be designed as part of the general theme of the building architecture and be consistent throughout the project.

g) Minimal energy consumption shall be a factor in lighting selection.

**3.2.4.6 Walls and Fences**

a) Multi-family and attached single family residential projects shall minimize the use of solid walls adjacent to the right-of-way to the greatest extent possible. Where walls are necessary, view fences or buildings sited in such a way that they serve the function of walls should be employed (see examples to right).

b) View fences shall include landscape with trees and shrubs to screen views of private yards from adjacent properties and public right-of-ways (Refer to Exhibit 3-12, Community Walls and Fences).

c) All walls and fences shall be incorporated into the design of the surrounding buildings. Design of all walls and fences shall be consistent in terms of material, color and detail within each multi-family and attached single family residential project.



3.2.4.6 a) Low solid walls provide privacy and buffer private outdoor space



3.2.4.7 a) Trash enclosures with landscape screens and architecture that is similar to that of the project help to minimize the negative visual impact of these structures.



3.2.4.7 e d) The screening of utilities can be integrated into the adjacent building through the use of similar materials and architectural elements.

### 3.2.4.7 Service and Utility Areas

a) Storage areas, utility meters, HVAC, trash enclosures, and other service functions shall be screened, recessed or enclosed (see example to left).

b) Trash and storage areas shall be designed as an integral part of the structure(s) and shall not be oriented to any public right-of-way or pedestrian walkway without adequate screening. It is the intent to locate these facilities in the most inconspicuous manner as possible.

c) Trash enclosures shall be finished using durable materials that complement the development's architecture and shall be screened with landscape on three sides.

d) Switch boxes, transformers, electrical and gas meters, including ground mounted air conditioning units and other above ground or building mounted utility elements (including antennas or satellite dishes), shall be screened with elements compatible with the building architecture or located out of view from public roads, driveways and common public areas, such as exterior entrances, pathways and parks (see example to left).

e) All trash and garbage bins shall be stored in an enclosure, approved by disposal services, DRC and the City of Sparks.

f) Trash enclosures shall be constructed to be architecturally compatible with the project. All trash enclosures shall be treated with anti-graffiti material. The trash enclosures shall be constructed of substantial building materials used in the design of the building(s). Gates shall be constructed of durable building materials that screens at a minimum 80% of the view into the trash enclosure. Wood or chain link gates are not allowed.

**3.2.4.8 Project Entry**

a) Primary multi-family project entry drives shall have treatments that incorporate a local historical theme similar to that of Community Gateways but on a smaller scale (Refer to Section 2.3.4 for theming examples).

b) Project entries shall provide an individual identity to the project such as special paving, graphic sign, specialty lighting, specimen trees, or flowering plants (see example to right).

c) Project entry drives for multi-family/attached single family projects with more than 50 units should include at least two (2) of the following:

- A minimum five (5) foot wide landscaped median.
- Textured paving, interlocking pavers or rough textured concrete.
- Gateway elements such as lights, bollards, monuments, or entry walls.
- A roundabout containing landscaping and a water fountain/feature or public art.

d) Multi-family project entry drives shall have sidewalks on both sides connecting the street to the interior pathways of the project.



3.2.4.8 b) Entry drives into multi-family developments that include landscaped medians or other special features set the theme for the project.



Kiley Ranch Homestead

### 3.3 ARCHITECTURE STANDARDS AND GUIDELINES

#### 3.3.1 Background

The purpose of these architectural guidelines is to provide general design criteria and guidance for the development of the neighborhoods of Kiley Ranch. The guidelines are not intended to be restrictive, but rather promote both visual compatibility and variety in a community setting achieved by utilizing complementary, traditional and contemporary architectural styles. The intended result is a high level of design direction and quality.

#### 3.3.2 Architectural Theme

In an effort to promote architectural richness through a diversity of styles, a traditional American small town architectural vernacular has been chosen to characterize the residential neighborhoods, public buildings and commercial centers, excluding the Village Center, within Kiley Ranch North. Architecturally this vernacular encourages such styles as the Craftsman Bungalow, Victorian and stick styles, featuring decorative woodwork, handmade craftsmanship and attention to detail. Refer to Sections 3.3.2.2 through 3.3.2.4 for essential elements of these architectural styles. Office/Business Park will utilize a more contemporary architectural style, described in Section 3.3.4.

The goal is to create an attractive community that when built over time will remain true to its intended character and identity. This will be accomplished by utilizing architectural styles that have a rich heritage and have been traditionally used in the City of Sparks area. The character will be applied throughout the community in the design of community and village/neighborhood gateway monuments, community walls, signs, and neighborhood park structures. The application of these architectural guidelines and standards to individual development projects will be reviewed and approved by the Kiley Ranch Design Review Committee (DRC) and the City of Sparks. New interpretations of these classic combinations of materials are encouraged as they relate to a general feeling of neighborhood unity. The following sections provide guidelines and standards that will aid in the creation of a successful and enduring community.

### 3.3.2.1 Background

The architectural styles that have been chosen to form the foundation of Kiley Ranch North are from the Craftsman, Farmhouse and Victorian heritage. Their inherent attractiveness, informality, and sense of elegance have enabled these styles to remain popular over a long period of time. The goal is to apply the basic architectural elements of these styles without being overly restrictive. Authentic application of historical forms will establish an architectural tradition for both individual residences and neighborhoods without trying to create exact replicas of the past.

Structures located within residential neighborhoods and commercial areas, not including the Village Center will be required to exhibit elements of the Craftsman, Farmhouse, or Victorian styles.

### 3.3.2.2 Victorian

The Victorian Style, originating from medieval roots in England, is an extremely eclectic and exuberant style which features asymmetrical massing, a strong vertical emphasis and decorative wood detailing. It was the most common residential style in the U.S. between 1880 and 1900 and associated with steeply-pitched gable roofs and porches with spindle-work detailing. The Victorian vernacular used for Kiley Ranch is centered on more simplified versions of these elegant forms that were adapted in small towns and rural farmhouses.

As the style spread across the United States to western towns around the turn of the century, it became known as "Folk Victorian", elements of which were used on farmhouses, courthouses, train depots, and commercial structures. Unlike the high style "Queen Anne" variant with its corner turrets, folk Victorian used simpler L-shaped or gable front plans and mass produced wood elements. Even this "stripped down" Victorian style was a colorful and eclectic style, featuring a strong attention to wood detailing and decorative trim elements.

#### Basic Elements

- Steeply pitched gable roofs.
- Wide projecting eaves.
- Vertical proportions for windows and doors.
- Highly detailed window and door head trim.
- Brick, clapboard, board and batten, shingle siding.
- Patterned shingle accents.
- Highly detailed wooden porches.

#### Building Mass and Roofs

- Roofs gabled with a range from 6 in 12 to 12 in 12 for the main roof.
- Steeply pitched dormers or wings placed on the front facade.
- Roof materials using wood shingles, slate or composition shingles.



3.3.2.2) Derivations of Victorian architecture lend a more ornate look to residential and commercial architecture. Extensive wood detailing and a more vertical orientation provide Kiley Ranch North with another popular vernacular style.

### Building Articulation

- Large detailed eave projections.
- Porches full width or covered stoop porches at the entrance only.
- Detailed porches that show variety such as ordered columns and square posts with capitals and brackets.
- Railings have square balusters or turned spindles.

### Doors and Windows

- Windows and doors are tall and narrow in proportion.
- Windows and doors with trim caps, brackets or other details over the window head.
- Doors have sidelights and transoms.
- Doors paneled or a combination of paneled and glazed, and occur single or paired.
- Door trim surround are usually more ornate than the window trim.
- Windows double hung with one over one, and two over two paneled divisions.
- Paired and triple windows.
- Box and angled bay windows are also used as accents.
- Windows have flat, half-round or segmental arched tops.

### Materials and Colors

- Walls clad with brick, wood siding, vertical board and batten, or plain or patterned shingles.

#### **3.3.2.3 Craftsman**

The Craftsman style was inspired by the English Arts and Crafts Movement of the late 19th century. The style stressed the importance of insuring that all exterior and interior elements receive both tasteful and “artful” attention. The resulting Craftsman style responded with extensive built-in elements and by treating details such as windows or ceilings as if they were furniture. The style is further characterized by broad open porches, multiple gable roofs with deep overhangs, and a rustic texture of building materials. The following further describes the essential design elements of this style.

#### Basic Elements

- Gable roofs with deep overhangs.
- Expressive structural elements such as rafters, brackets and columns.
- Broad windows and doors.
- A mixture of materials such as stone, shingles and siding.
- Porches with distinctive pier column combinations.

**Building Mass and Roofs**

- Gabled roofs with a pitch range from 4 in 12 to 6 in 12 for the main roof.
- Wings which project from the main mass and receive independent roof forms.
- Roof materials of concrete or clay tile, 40-year composition asphalt shingles or slate.

**Building Articulation**

- Large, detailed eave projections with exposed rafter tails.
- Gable roof projections may be supported by braces or extended beams.
- Broad porches encompassing the full width of the house.
- The gable roof on porches parallel to the roof of the main structure.
- The detailing of porches showing variety such as short square columns that rest on massive piers, battered columns, or solid balustrades.
- Railings have square balusters or turned spindles.

**Doors and Windows**

- Windows and doors broad in proportion.
- Doors paneled or contain a combination of paneled and glazed elements, and entries usually occur singularly.
- Doors have sidelights and transoms.

The door trim surround consistent with the window trim.

- Windows and doors that have trim caps, brackets or other details over the window head are encouraged.
- Box and angled bay windows used as accents.
- Double hung windows with multiple panes over one divisions.
- Casement windows used as specialty windows.
- Windows either flat, half-round or segmental arched tops.

**Materials and Colors**

- Walls clad with stone, brick, stucco, wood siding, or plain shingles.



3.3.2.3) Craftsman architecture, with its wood detailing, gable roofs and porches, captures the informal naturalistic atmosphere of Kiley Ranch North.





### 3.3.2.4 Farmhouse

Farmhouse represents a practical and picturesque country house. Its beginnings are traced to both Colonial and Cape Cod styles begun in New England. As the American frontier moved westward, the Farmhouse style evolved according to availability of materials and technological advancements, such as balloon framing. Predominant features of the style are large, wrapping front porches with a variety of wood columns and railings. Roof ornamentation consists of cupolas, weathervanes and dove cotes. The following further describes the essential elements for design.

#### Basic Elements

- Variable pitched roofs with moderate overhangs.
- Expressive structural elements such as rafters, brackets and columns.
- Variable window types.
- A mixture of materials such as stone, stucco and wood siding.
- Porches incorporating heavy timber columns with knee braces.

#### Building Mass and Roofs

- Roofs gabled with a pitch range from 3 in 12 to 9 in 12 for the main roof.
- Roofs simple gable, hipped or gambrel forms often with dormers.
- Roof materials to be 40-year composition asphalt shingles, concrete tile or clay tile.

#### Building Articulation

- Simple eave projections with trimmed rafter tails and fascia.
- Broad porches, encompassing the full width of the house.
- Piers and balustrades of the same material as the main mass of the house.
- Porch balustrades are connected to column supports.

#### Doors and Windows

- Windows and doors broad in proportion.
- Doors paneled or a combination of paneled and glazed, and entries usually occur singularly.
- Doors have sidelights and transoms.
- Windows and doors have trim details over the window head and doors.
- Box and angled bay windows used as accents.
- Picture windows.
- Windows double hung with multiple pane over one divisions.

#### Materials and Colors

- Walls clad with stucco or wood siding.
- Stone and brick used as accents.

### 3.3.3 Commercial and Public/Institutional

#### 3.3.3.1 Building Mass and Form

a) Facades shall be articulated to reduce the large scale and often uniform, impersonal appearance of many large retail buildings and to provide visual interest. The intent is to encourage a more human scale architecture.

b) Facades shall be visually interesting by incorporating wall plane projections or recesses. There shall be no long flat expanses of walls that exceed 50 feet without incorporating at least two of the following: color change, texture change, material change, or plane projections or recesses.

c) Ground floor facades that face public streets shall have arcades, display windows, entry areas, awnings, or other pedestrian-friendly features.

d) Building heights shall relate to the adjacent non-building area to address sunlight penetration, ventilation, protection from prevailing winds, public view enhancement and view preservation.

e) Buildings shall have architectural features and patterns that provide visual interest, at the scale of the pedestrian, discourage massive aesthetic effects, and recognize local character (see example to right).

f) Building facades shall use color change, texture change, material change or relief change to avoid large expanses of blank walls and box-like structures (see example to right).

g) Larger buildings may employ a multiple unit facade to give the appearance of smaller stores, similar to that of a downtown.

h) Multiple buildings within a single project shall be designed to be compatible, with a unified appearance of consistent building materials, texture, color or design.

i) Articulated facades shall be used on all sides of the building. The intent is to continue attractive surface detailing which strengthens community design themes.

j) The presence of smaller retail stores gives a commercial center a “friendlier” appearance by creating variety, breaking up large expanses, and expanding the range of activities (see example to right). Windows and window displays of such stores shall be used to contribute to the visual interest of exterior facades.

k) Facades of buildings shall be articulated using at least one of the architectural styles contained in Sections 3.3.2.2 through 3.3.2.4.



3.3.3.1 e) Richly articulated building facades and varied rooflines add variety and enliven commercial storefronts.



3.3.3.1 f) Façade detailing, pedestrian-scale arcades and trellises create an attractive environment for shoppers.



3.3.3.1 j) Smaller retail stores break up the visual monotony of larger stores.



3.3.3.2 a) The use of arcades and overhangs help to identify building entrances.



3.3.3.3 b) Exposed rafter ends, overhanging eaves, multiple roof planes and varied fenestration create interesting commercial buildings.

### 3.3.3.2 Building Entryways

a) Entryway design elements and variations shall give orientation to the shopper and add aesthetically pleasing elements to the building (see example to left).

b) Each principal building on a site shall have clearly, highly visible customer entrances featuring no less than four (4) of the following, unless during the design review process a better design solution is found that will satisfy the design intent:

- canopies or porticos
- overhangs
- recesses/projections
- arcades
- raised corniced parapets over the door
- peaked roof forms
- arches
- outdoor patios
- display windows
- architectural details such as tile work and molding which are integrated into the building structure and design
- integral planters or wing walls that incorporate landscaped areas and/or places for sitting

c) Where additional stores will be located in the principal building, each such store shall have at least one exterior customer entrance, which shall conform to the above requirements in 3.3.3.2 b).

### 3.3.3.3 Roof Form

a) Variations in rooflines shall be used to add interest to, and reduce the massive scale, of large buildings.

b) The visible roof profile line shall incorporate horizontal and vertical offsets and elevation changes, varying roof overhangs, or similar design elements (see examples to left).

c) All rooftop equipment shall be screened from public view at street level in a manner matching the architectural style and materials of the building.

**3.3.3.4 Materials and Colors**

a) Buildings within a development shall be aesthetically pleasing and compatible with materials and colors used in adjoining buildings.

b) Predominant exterior building materials shall be of high quality. These include, but are not limited to:

- brick
- wood
- stone/cultured stone
- other native stone
- tinted, textured, split face concrete masonry units
- tinted, textured stucco or drivet

c) Facades shall utilize low reflecting, subtle, neutral or earth tone colors. The use of high intensity colors, metallic colors, black or fluorescent colors are prohibited.

d) Building trim and accent shall feature brighter colors, including primary colors, but neon tubing shall not be an acceptable feature for building trim or accent areas.

e) Predominant exterior building materials shall not include the following:

- smooth-faced concrete block
- tilt-up concrete panels without textures or finishes
- pre-fabricated steel panels
- unprotected wood
- asphalt shingles



3.3.3.4 a) Natural looking materials such as wood add authenticity to buildings .



Variations in roof line reduce the scale of large buildings.



Variations in façade color and material increase the attractiveness and quality of business park development.



Clearly visible entrances add architectural interest and help orient the visitor.

### 3.3.4 Office/Business Park and Business Park

The Business Park (BP) and Office Business Park (OBP) land uses shall incorporate a warm modern architectural style. “Warm modern” architecture reflects the modernity of today’s quality materials but still maintains respect for the human scale and textural sensibilities. It utilizes the most appropriate materials, effective site orientation and efficient systems for the building’s intended use with little or no ornamentation.

#### 3.3.4.1 Building Mass and Form

a) Facades shall be visually interesting by incorporating wall plane projections or recesses on all four sides of the building to reduce the uniform, impersonal appearance of long, flat wall expanses to the approval of the DRC and the City of Sparks.

b) Building facades shall use color change, texture change, material change or relief plane change to avoid large expanses of blank walls and create relief for pedestrians along edges.

c) Light industrial, manufacturing, assembly and warehouse space shall incorporate windows, translucent panels or skylights if possible. Windows can provide needed views to the outside, visual interest and help breakup what can be long expanses of solid wall.

3.3.4.2 Building Entryways

a) Building entryways shall give orientation and aesthically pleasing character to the building. The entrance shall be clearly distinguished by the architectural design of the building. The use of shed roofs, or simple horizontal overhangs can draw attention to the entrance while providing weather protection.

3.3.4.3 Roof Form

a) Variations in rooflines shall be used to add interest to and reduce the scale of large buildings. Care should be taken to provide variations that align not only with the character of the architecture, but also with the functionality of the space inside.

b) All rooftop equipment shall be screened from public view at the adjacent street level in a manner matching the architectural style and materials of the building.



Traditional proportions and materials can successfully come together in a warm modern building.



A combination of glazing, metal and awnings produce a modern feel with warm tones.



Quality building materials enhance the look of office/business parks.



Quality materials and construction can create a warm modern aesthetic.



Brick or brick veneer with modern glazing and supports creates a modern interpretation of a traditional look.



A variety of building materials shall be used on all four exterior sides of all buildings.

### 3.3.4.4 Materials and Colors

a) Building designs and materials should reference the regions naturally occurring material colors and textures within a palette that has richness and some variety. Simulated materials such as stucco should be minimized and relate to those that would otherwise be found in the local area.

b) Exposed trusses, beams and other structural elements that directly relate to the design of the building are encouraged.

c) A variety of building materials, from the list in d) below, shall be used on all four exterior sides of all buildings. The variety of material selected shall establish a rhythm of texture, wall plane changes, and color to eliminate any long expanse of blank, mono-toned facade. (refer to photos to the left)

d) Exterior building materials shall be of high quality. These may include but are not limited to:

- Iron
- Steel
- Glass or Glazing
- Brick or brick veneer
- Stone or stone veneer
- Metal
- Concrete or form-board concrete
- Stained, painted and/or weathered wood
- Or other material acceptable to the DRC and the City of Sparks

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**3.3.6 Village Center**

**3.3.6.1 Building Mass and Form**

a) The character of the Village Center should reflect the eclectic design imagery of traditional “Main Street Architecture”. This character is a mix of various styles typical of nineteenth and early twentieth century small town commercial districts. The overall architectural theme may include but not be limited to Italianate, Queen Anne Victorian, and Georgian. Contemporary adaptations of this theme may also be used.

b) The intent of these standards and guidelines is to promote the definition of a strong, linear street edge with a consistent building form that abuts the sidewalk with a zero setback. Minor indentations of the façade may allow for the definition of pilasters, columns and façade detailing elements. The linear nature may also be occasionally relieved with patios, courtyards and throughways (see example to right).

c) The linear streets (which may have a slight curve) that define the village center elements should have a 10’ minimum sidewalk with a formal street tree canopy. On street parking (either parallel or head in) is encouraged. Two sided retail (front and back entry ways) is encouraged.

d) The facades shall have two or more story massing with an interior structural system that allows for the flexibility of two story interior retail and/or second and higher floor uses such as office and residential.

e) Facades shall generally be divided into two distinct levels: the street level and the upper floor(s) level. The character of the two floors should be different with the lower level exhibiting more storefront glass than the upper levels which should use smaller casements or double hung windows, as well as awnings, bay windows and balconies (see example to right). These and other special design features that are on the upper floors (above 8’) may project into the public right of way a maximum of 3 feet (3’). If below eight feet (8’) they must respect the setback lines

**3.3.6.2 Building Entryways**

a) Entryways are important features of the Main Street theme. They shall be designed to avoid conflict between swing-out doors and the pedestrian flow within walkways or the public right of way.

b) Corner entryways shall be highlighted with towers, angled doors and deep set doors (see example to right). Color, signage and material accents should be used to highlight entryways



3.3.6.1 b) Throughways can provide pedestrian access and relieve the linear edge of facades.



3.3.6.1 e) Vertical mixed-use features ground floor retail and upper-story residential. A variety of specialty retail adds pedestrian interest. Upper story facades are richly detailed to create rhythm and visual interest.



3.3.6.2 b) Towers and angled doors at corner buildings provide an edge to the “main street”.

**3.3.6.3 Roof Form**

- a) Roofs may be flat parapets with prominent roof eave lines incorporating corbels, cornice molds and cantilevered cornice molds and projecting eaves. Sloping roofs of asphalt shingles, flat concrete or clay tile and slate may also be used with similar strong eave treatments
- b) Individual buildings within a block may have differing roof treatments, but must be designed as a whole to insure a unity within the variety of the overall facades.
- c) All rooftop equipment shall be screened from public view at street level in a manner matching the architecture style and materials of the building. Screening shall be designed as part of the building architecture.

**3.3.6.4 Materials and Colors**

- a) Natural looking materials shall be the dominant wall material for buildings within the Village Center (see example to left). The dominant wall material may be combined with stucco. Wood or similar looking material should be used as accents for three-sided and square bay windows, which may be ground floor or cantilevered.
- b) Walls shall incorporate decorative plane changes such as belting courses, pilasters and window sills and lintels. Shutters, awnings and flower boxes are encouraged.
- c) Colors shall incorporate a wide range of body colors with contrasting trim for eaves, fascias and other trim. The palettes should reflect the overall Village theme as well as individual building facades. Accent colors may be used for windows, doors, awnings and graphics.



3.3.6.4 a) Brick facades can add permanence and quality to the look of the Village Center.

### 3.3.7 Single Family Residential

#### 3.3.7.1 Purpose

One important goal of these guidelines and standards is to create a streetscape possessing both functional and visual variety. The architectural guidelines are intended to provide variety in appearance as well as a sense of individuality for each structure. Projects where nearly identical buildings line the streets without variation in placement and architecture form are discouraged. The application of detail and character to the architecture should be as authentic as possible to avoid the artificiality of “stage front” architecture.

The guidelines provide general goals with regard to architectural elements with the intent of explaining their context to the overall design character of the community

#### 3.3.7.2 Building Mass and Form

a) Facades of buildings shall use one of the architectural styles contained in Section 3.3.7 and incorporate elements of the chosen style.

b) A minimum of three (3) distinctive floor plans shall be used within each subdivision. A subdivision with twenty (20) or less lots may have less than three (3) distinctive floor plans.

c) The architectural detailing similar to that of the front elevations shall be utilized on all sides of the home.

d) Any building addition or additional building(s) (over 120 square feet) on a property shall match the main structure in building design, materials, roof pitch and architectural character.

e) The exterior mass and form of residential architecture should be varied within neighborhoods to improve the streetscape. This can be accomplished through varied setbacks, floorplans, facade detailing and rooflines.

f) The stepping back or change in materials and color of a second story can be used to add variety to homes and the street (see example to right). The second story can be set back in relation to the garage face below it. If building form is viewed as a series of interlocking masses rather than a single volume, a more desirable design solution will result. However, certain styles will dictate a single volume solution.

#### 3.3.7.3 Roof Form

a) Roofs shall have variations in plane accomplished by use of dormers, gables, hipped roofs and variations in pitch appropriate to the homes chosen architectural style as described in Sections 3.3.2.2 through 3.3.2.4 (see example to right).



3.3.7.2 e f) First and second stories are differentiated by color and materials.



3.3.7.3 a) Varied roof planes and second story facade details add visual interest.



3.3.7.4 b) Richly detailed surfaces, modulated facades and varied roofline create attractive, street-facing facade.

#### 3.3.7.4 Materials and Colors

a) The materials and colors used in residential dwellings shall reflect the general theme of architectural style chosen for the subdivision as described in Section 3.3.2.

b) Exterior elevations shall demonstrate a logical use of materials and a unified appearance. The interface between the home and the garage shall use complementary materials and/or colors in keeping with the architectural style (see example to left).

c) Change in materials or color shall occur at changes in plane or at a logical break on the façade, so as not to give the appearance of artificial quality in keeping with the architectural style.

d) Building materials and color schemes shall be consistent with the chosen architectural style as described in Section 3.3.2.2 through 3.3.2.4.

#### 3.3.7.5 Residential Support Structures

Residential exterior support structures such as HVAC and satellite dishes can have a negative impact on the appearance of the streetscape and neighborhood character. The impacts of these structures shall be minimized.

a) Exposed gutters shall be colored to match the roof or wall material. Exposed downspouts shall be colored to match the surfaces to which they are attached.

b) All HVAC, soft water tanks, pool and spa equipment, and electric self-timer boxes for sprinklers or exterior landscape lighting shall be screened with landscaping.

c) Skylights and solar panels shall be designed as an integral part of the roof. The glazing shall be clear or solar bronze. White glazing is prohibited. The framing materials shall be colored to match or blend with the roof.

d) Space shall be provided in an adjacent side yard or interior portion of the garage to handle the size of at least two recycling/trash containers.

e) The use of patio structures is encouraged. They shall be integrated into the building form to add articulation to otherwise large unbroken wall masses.

f) Satellite dishes and home radio antennas shall be screened from any public right-of-way.

g) Boat and recreational vehicle storage shall be limited to rear and side yards and be screened from any public right-of-way.

**3.3.7.6 Garages**

- a) The home and the yard rather than the garage shall be the primary emphasis of the street elevation (see example to right). Garages facing the street shall be setback five (5) feet from the front building facade.
- b) Each subdivision house plan shall incorporate one of the garage design techniques listed below and each neighborhood shall incorporate at least two of these techniques to reduce the emphasis of the garage on the street (see examples to right).

Recessed Garage

Setting the garage back a minimum of five (5) feet in relationship to the front of the house reduces the overall visual mass of the garage.

Deep Recessed Garage

Setting the garage back to the middle or rear of the lot. This creates a more pedestrian-friendly street environment by allowing the homes primary entryway to address the street.

Alley Loaded Garage

The use of alleyways locates garages off the street and creates a more traditional streetscene, without garage facades fronting the street. The garage off the alley shall have architectural features that compliment the main structure.

Side Entry Garage

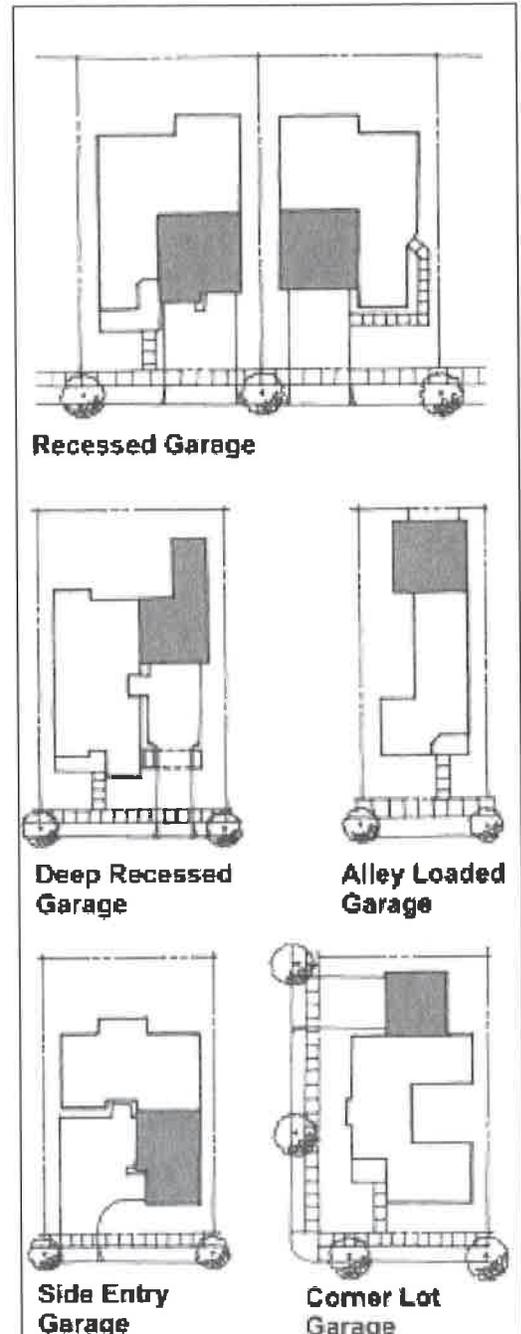
This design technique breaks up the continuous view of garage doors along the street. The façade of the garage facing the street shall incorporate architectural features, windows, faux windows, or other details.

Corner Lot Garage

This garage treatment is derived out of a plan layout where the garage changes from an interior lot plan to a corner lot plan.



3.3.7.6 a) Recessed garages give importance to the entry and create a pedestrian friendly neighborhood.



**Recessed Garage**

**Deep Recessed Garage**

**Alley Loaded Garage**

**Side Entry Garage**

**Corner Lot Garage**

3.3.7.6 b) There are various plotting techniques to reduce the impact of garages.

**3.3.8 Multi-Family Residential****3.3.8.1 Building Mass and Form**

a) Multi-family residential facades can often be box-like and monotonous in appearance, contributing to unpleasant visual qualities and poor community character. Facades of buildings shall be articulated using at least one of the architectural styles contained in Sections 3.3.2.2 through 3.3.2.4. See conceptual facade examples to right.

b) Buildings shall incorporate facade articulation with no long expanses of flat wall planes, vertically or horizontally, exceeding 50 feet (see example to left).

c) Architectural elements (i.e., exterior materials, fenestration, window trims, cornices, arches, etc) shall be utilized on all sides of the building.

d) The architecture facing a pedestrian area shall exhibit a human scale of detail, such as awnings, moldings, pilasters and other architectural details.

e) Use of vertical elements such as towers, piers and varied rooflines may be used to break up the horizontal massing and provide visual interest (see example in exhibit 12).

f) Attached dwelling units whose garage and/or carport are more than 50 percent of the total width of the unit shall incorporate architectural features such as shutters, garage door window trim and minimum offsets of 2 feet, to reduce the visual impact of garages and carports on the front façade.

g) Garages and carports not attached to the main residential building shall match the main structure in building design, materials, roof pitch and architectural character.

h) Building heights shall address sunlight penetration, ventilation, protection from prevailing winds, and views to the adjacent open space areas.

i) All multi-family units shall have a outdoor patio/deck for each unit with a minimum depth of six (6) feet or provide a design solution that provides private open space and therefore satisfies the intent of this standard. The alternative design is subject to the approval of the DRC and the City of Sparks.



3.3.8.1 b) Facade articulation such as the use of dormer windows add richness to both the home and the streetscape.

**3.3.8.2 Roof Form**

a) Roofs shall have variations in plane accomplished by use of dormers, gables, hipped roofs and variations in pitch appropriate to the chosen architectural style (see example to right).

b) Roof materials shall be consistent with the chosen architectural style as outlined in Sections 3.3.2.2 through 3.3.2.4.

**3.3.8.3 Materials and Colors**

a) The materials and colors used shall reflect the chosen architectural style as outlined in Sections 3.3.2.2 through 3.3.2.4.

b) Expanses of uninterrupted single exterior materials without planar or color changes shall not be allowed.

c) Change in materials or color shall occur at changes in plane or at a logical break on that façade, such as change is story, to avoid artificial or “tacked-on” appearances.

d) Building materials and color schemes should be consistent with the chosen architectural style.

e) Materials such as brick and stone shall be left in their natural colors.



3.3.8.2 a) Variations in roof form help avoid box-like structures.

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**CHAPTER 4 INFRASTRUCTURE AND PHASING****4.1 UTILITIES/INFRASTRUCTURE AND PRELIMINARY DEVELOPMENT PLAN PHASING****4.1.1 Phasing**

Exhibit 4-1 illustrates a preliminary phasing plan for the development of Kiley Ranch North. The following infrastructure phasing is intended to provide adequate infrastructure, in four phases of construction to support the proposed development phasing. Specific infrastructure improvements will be constructed as needed, but should generally follow this four-phased progression.

The phasing plan is the developer's best estimate of the phasing of the project. It generally anticipates construction starting at the south end of the Kiley Ranch North project. Table 4-1 summarizes the acreage, allowable square feet and unit count for each phase based on land use.

Utilities would then be extended in a logical progression north, east and west towards the center of the Kiley Ranch North Property. Phase 2H would initiate development in the north portion, with infrastructure being extended in a logical progression north, east and west from this initial northern Phase 2 development.

Development of property is based on market conditions and market needs for certain types of projects. This fluctuates over time and is difficult to predict. Therefore, the extension of infrastructure may vary from what is shown here. The variations may include such potential changes as utilities being constructed in Phase 2 and 1 simultaneously, or some infrastructure in a future phase being constructed in advance of earlier phases.

EXHIBIT 4-1: PHASING PLAN

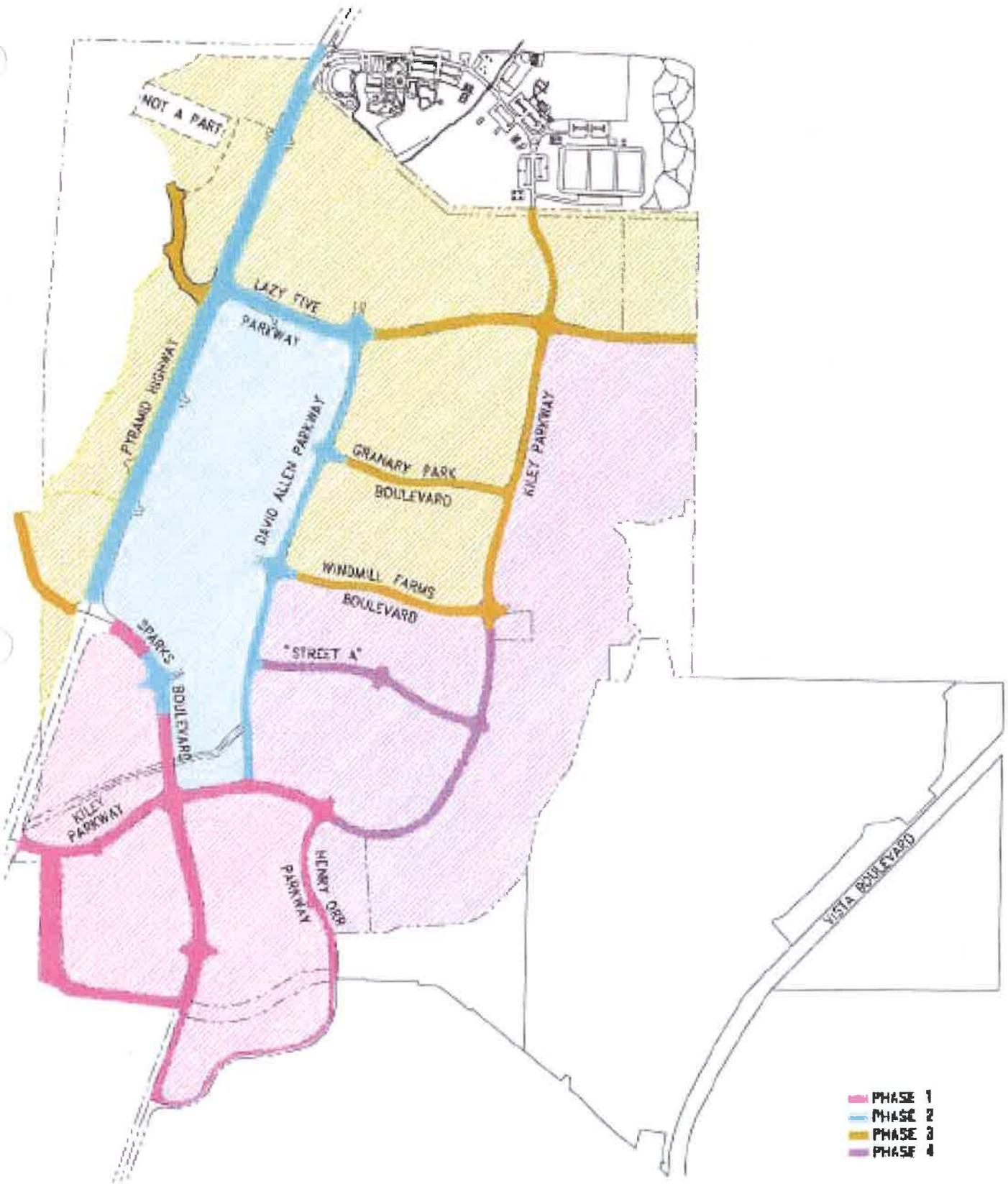


TABLE 4-1

PHASING SUMMARY

PHASE ONE				CUMULATIVE TOTALS		
	<b>RESIDENTIAL</b>			<b>RESIDENTIAL</b>		
	<b>Gross Acres</b>	<b>Min. # of units</b>	<b>Max. # of units</b>	<b>Gross Acres</b>	<b>Min. # of units</b>	<b>Max. # of units</b>
<b>Quadrant</b>	88.1	725	1195	88.1	725	1195
	<b>Commercial</b>			<b>Commercial</b>		
	<b>Gross Acres</b>	<b>Approx. Alternative Eq. FL*</b>		<b>Gross Acres</b>	<b>Cumulative potential \$F</b>	
<b>Quadrant</b>	31.5	1,165,319		31.5	1,165,319	
	<b>Business</b>			<b>Business</b>		
	<b>Gross Acres</b>	<b>Approx. Alternative Eq. FL*</b>		<b>Gross Acres</b>	<b>Cumulative potential \$F</b>	
<b>Quadrant</b>	0	0		0	0	
PHASE TWO				CUMULATIVE TOTALS		
	<b>RESIDENTIAL</b>			<b>RESIDENTIAL</b>		
	<b>Gross Acres</b>	<b>Min. # of units</b>	<b>Max. # of units</b>	<b>Gross Acres</b>	<b>Min. # of units</b>	<b>Max. # of units</b>
<b>Quadrant</b>	13.3	72	114	101.4	797	1309
	<b>Commercial</b>			<b>Commercial</b>		
	<b>Gross Acres</b>	<b>Approx. Alternative Eq. FL*</b>		<b>Gross Acres</b>	<b>Cumulative potential \$F</b>	
<b>Quadrant</b>	92.4	1,079,952		123.9	2,245,271	
	<b>Business</b>			<b>Business</b>		
	<b>Gross Acres</b>	<b>Approx. Alternative Eq. FL*</b>		<b>Gross Acres</b>	<b>Cumulative potential \$F</b>	
<b>Quadrant</b>	0	0		0	0	
PHASE THREE				CUMULATIVE TOTALS		
	<b>RESIDENTIAL</b>			<b>RESIDENTIAL</b>		
	<b>Gross Acres</b>	<b>Min. # of units</b>	<b>Max. # of units</b>	<b>Gross Acres</b>	<b>Min. # of units</b>	<b>Max. # of units</b>
<b>Quadrant</b>	74.2	501	1410	175.6	1298	2719
	<b>Commercial</b>			<b>Commercial</b>		
	<b>Gross Acres</b>	<b>Approx. Alternative Eq. FL*</b>		<b>Gross Acres</b>	<b>Cumulative potential \$F</b>	
<b>Quadrant</b>	17.4	189,486		141.3	2,434,757	
	<b>Business</b>			<b>Business</b>		
	<b>Gross Acres</b>	<b>Approx. Alternative Eq. FL*</b>		<b>Gross Acres</b>	<b>Cumulative potential \$F</b>	
<b>Quadrant</b>	125.8	2,085,502		125.8	2,085,502	
PHASE FOUR				CUMULATIVE TOTALS		
	<b>RESIDENTIAL</b>			<b>RESIDENTIAL</b>		
	<b>Gross Acres</b>	<b>Min. # of units</b>	<b>Max. # of units</b>	<b>Gross Acres</b>	<b>Min. # of units</b>	<b>Max. # of units</b>
<b>Quadrant</b>	159.7	1004	1665	345.3	2702	4484
	<b>Commercial</b>			<b>Commercial</b>		
	<b>Gross Acres</b>	<b>Approx. Alternative Eq. FL*</b>		<b>Gross Acres</b>	<b>Cumulative potential \$F</b>	
<b>Quadrant</b>	0	0		141.3	2,434,757	
	<b>Business</b>			<b>Business</b>		
	<b>Gross Acres</b>	<b>Approx. Alternative Eq. FL*</b>		<b>Gross Acres</b>	<b>Cumulative potential \$F</b>	
<b>Quadrant</b>	16.3	488,752		142.1	2,483,509	

\*Significant alternative open lot is currently under development. Alternative Alternative Eq. FL\* is based on development plans.  
 \*Data for sub-leasehold, shared, public facilities and open space (SOP) areas

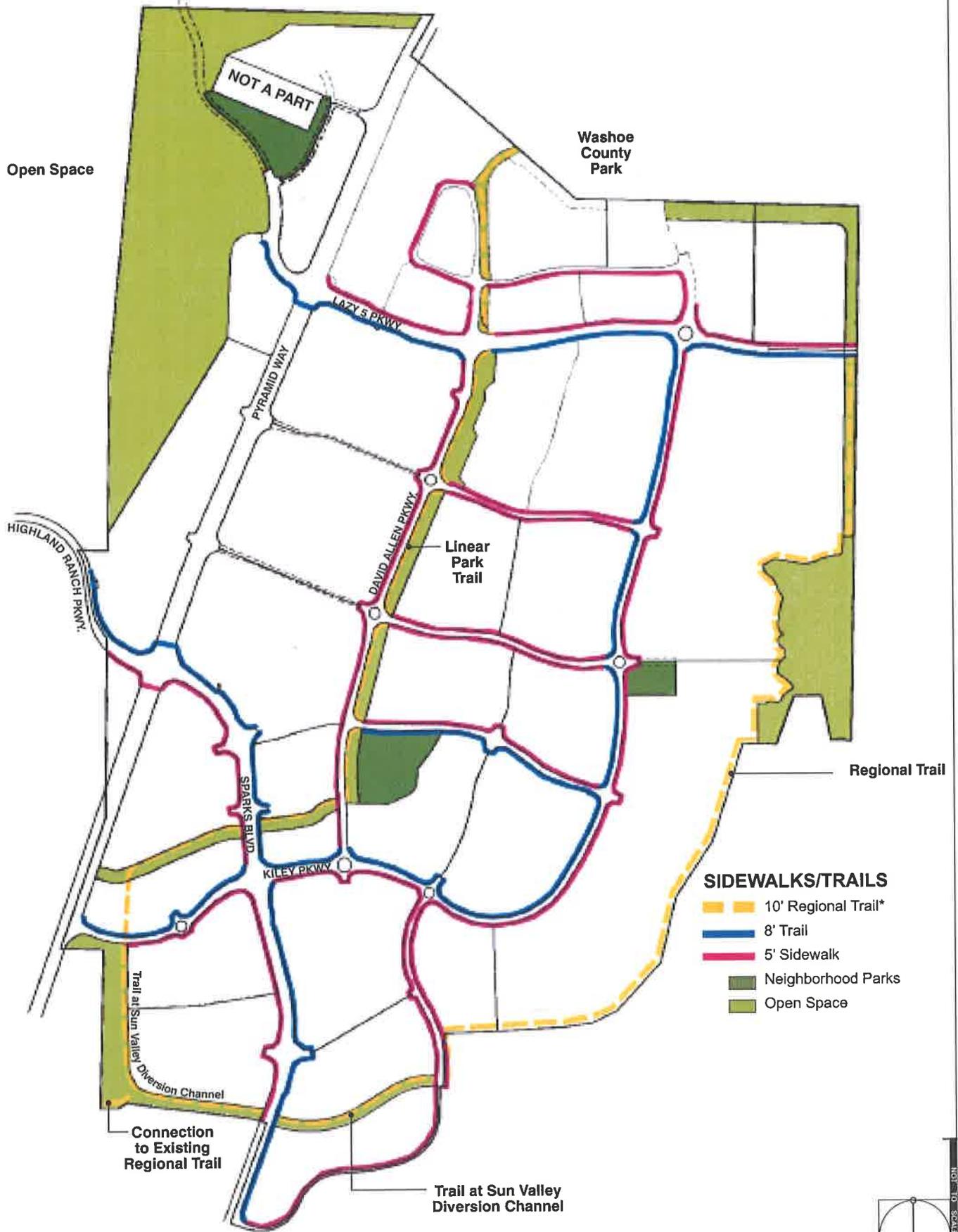
**4.1.1a Open Space, Trails and Parks Plan**

The phasing of open space development, trails and park design and construction will follow the same overall phasing as other infrastructure elements. (refer to 4.1.1 above) As development projects are designed, reviewed, and constructed adjacent to trails, open space and parks as identified on Exhibit 4-1a, the adjacent trail, park or open space will also be designed, reviewed and constructed.

A variation to this phasing may occur with city park construction. The City of Sparks and Kiley Ranch North will ultimately enter into a Park Construction Tax Agreement, mutually agreeable to both parties. This agreement may establish a phasing and construction schedule that is different from the phasing identified in Exhibit 4-1a. This agreement will be negotiated in the early phases of development, to establish a Park Tax Credit arrangement to capture or defer fees normally collected for neighborhood park construction.

Another variation may be for construction of Regional Trails, as identified in the City of Sparks Impact Fee District Number 1. An Impact Fee Agreement will also be negotiated in the early phases of development, that may alter the phasing of construction of certain Regional Trails or portions of trails. This may also be different than identified in Exhibit 4-1a.

EXHIBIT 4-1a: OPEN SPACE, TRAILS AND PARKS PLAN \*



Specific location and design of trails to be reviewed and approved by the DRC and the City of Sparks.  
 \* This map has been modified from the Tentative Development Handbook

#### 4.1.2 Sanitary Sewer

##### Sanitary Sewer - Service Line Facilities

###### PHASE 1

The first phase of Kiley Ranch North shall utilize capacity in a proposed 12" sewer draining from northwest to southeast through the Kiley Ranch, along Sparks Boulevard. It also includes extension of an 18" sewer from the Northwest Trunk at the far southeast corner of Kiley Ranch North. This 18" sewer is part of the approved Kiley Ranch Northeast Golf Community. Additional 8", 10" and 12" lines shall be extended to serve Phase 1 and future Phase 2 and 3 properties. Refer to Exhibit 4-2 - Phase 1 Sanitary Sewer Improvements.

###### PHASE 2

The second phase of Kiley Ranch North is the extension of an 18" sewer from M.H.#40 in the Northwest Trunk Sewer. This 18" extension includes a 12" and an 8" extension to serve property west of the Orr Ditch. A 10" line will be extended in the north west corner to serve the communities located there. Additional 8" lines shall be extended to serve Phase 2 and future Phase 3 and 4 properties.

###### PHASE 3

The third phase of Kiley Ranch North is the extension of an 8" sewer coming off of the 18" sewer constructed in Phase 2. An 8" sewer will be added in Granary Park Boulevard to help serve Phase 3. Refer to Exhibit 4-4, Phase 3 - Sanitary Sewer Improvements.

###### PHASE 4

The fourth phase of Kiley Ranch North is the extension of a 12" sewer connecting to an 8" sewer constructed in Phase 3. It also includes one 8" and 2 12" sewer lines connecting to the Northwest Trunk along the east boundary of the project. There are also 8" extensions to serve the property along Stonehouse Boulevard and the south portion of David Allen Parkway. Refer to Exhibit 4-5, Phase 4 Infrastructure Phasing Plan.

**EXHIBIT 4-2: PHASE 1 - SANITARY SEWER IMPROVEMENTS**



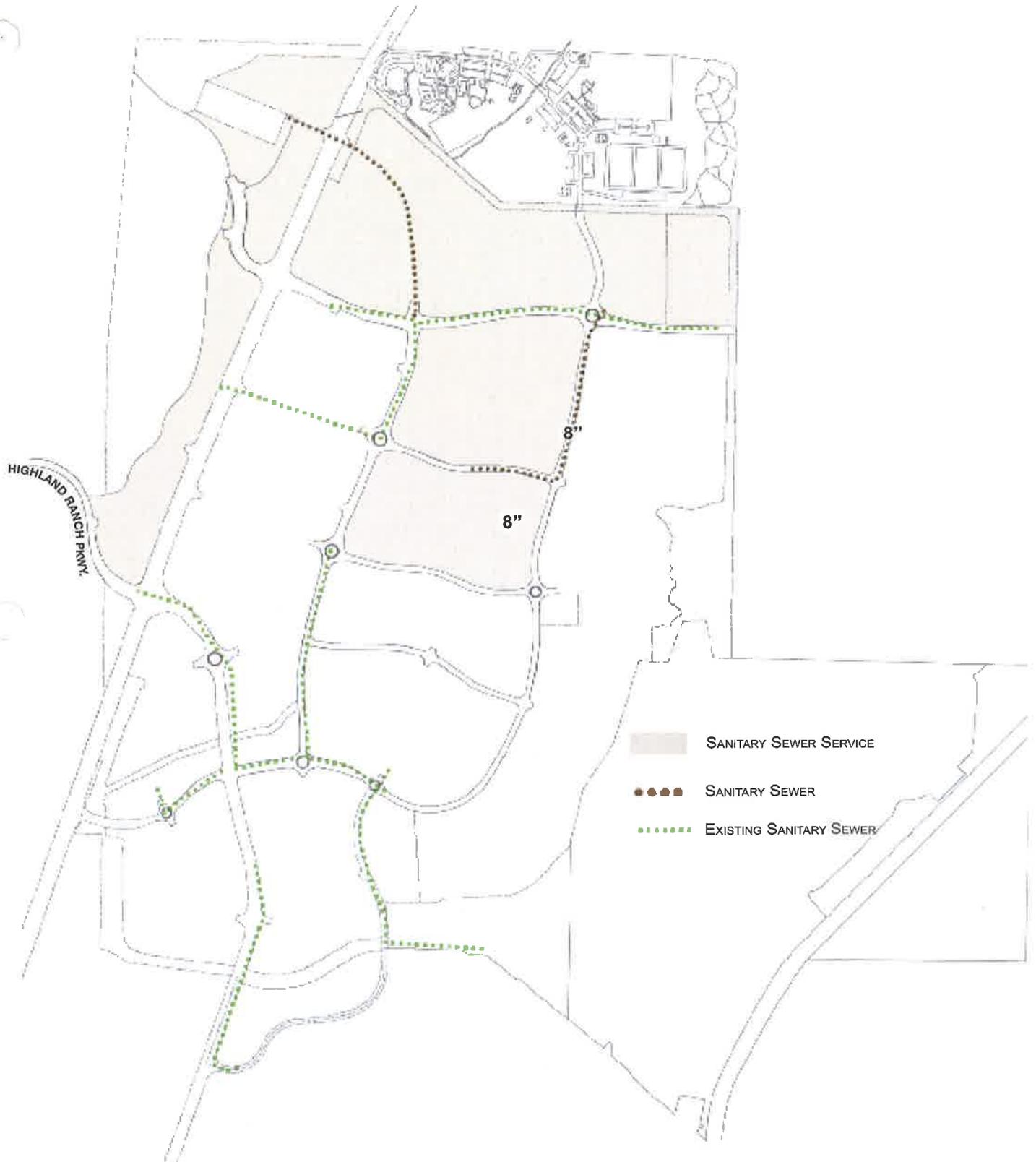
**EXHIBIT 4-3: PHASE 2 - SANITARY SEWER IMPROVEMENTS**



**EXHIBIT 4-4: PHASE 3 - SANITARY SEWER IMPROVEMENTS**



**EXHIBIT 4-5: PHASE 4 - SANITARY SEWER IMPROVEMENTS**



### 4.1.3 Potable Water

#### Service Provider

##### PHASE 1

Kiley Ranch North has been annexed into the Truckee Meadows Water Authority service territory. The majority of the Kiley Ranch North will be served from the Spanish Springs Tank Zone. Partial construction to service Phase 1, 2, and 3 includes the 20" main to be extended in Sparks Boulevard to ultimately serve the Pyramid pump zone and feed the storage tank to be constructed somewhere on the west side of Pyramid Way.

#### Sphere of Influence (S.O.I.) Transmission Lines

##### PHASE 1

Based on the revised Sphere of Influence Plan, the existing 20" water transmission line in Sparks Boulevard was extended and utilized to serve the south-central portion of Kiley Ranch North in Phase 1. Ultimately, these transmission lines are intended to serve all of Kiley Ranch North. Any oversizing credits or reimbursements shall be allocated to the Kiley Ranch or its assigns who will be funding construction of these transmission lines. (Refer to Exhibit 4-6.)

#### Service Line Facilities

##### PHASE 1

Service lines shall be extended off the S.O.I. transmission lines to serve Phase 1, 2, and 3. Each phase shall be served with a looped service line system that ties back in to the 20" and 16" transmission lines, based on TMWA design criteria.

**Service Providers**

PHASE 2

Kiley Ranch North has been annexed into the Truckee Meadows Water Authority service territory.

**Sphere of Influence (S.O.I.) Transmission Lines**

PHASE 2

Based on the revised Sphere of Influence Plan, an existing 20" water transmission line in Sparks Boulevard and the proposed 16" water transmission line from Vista Boulevard shall both be extended from south to north to serve Kiley Ranch North. These transmission lines are intended to serve all of the northern Kiley Ranch. Any oversizing credits or reimbursements shall be allocated to the Kiley Ranch or its assigns who will be funding construction of these transmission lines. (Refer to Exhibit 4-7.)

**Service Line Facilities**

PHASE 2

Service lines shall be extended off the transmission lines to serve Phase 2, 3, and 4. Each phase shall be served with a minimum looped 8" service line system that ties back in to the 20" and or 16" transmission lines, based on TMWA design criteria. In the northern portion, additional 12" lines will be extended to serve Phase 2, 3 and 4. This will include connections to 8" stubs under Pyramid Way.

**Sphere of Influence (S.O.I.) Transmission Lines**

PHASE 3

Based on a revised Sphere of Influence Plan , an existing water transmission line loop is intended to serve Phase 3 of Kiley Ranch North. Any oversizing credits or reimbursements shall be allocated to the Kiley Ranch or its assigns who will be funding construction of these transmission lines. (Refer to Exhibit 4-8.)

**Service Provider**

PHASE 3

Truckee Meadows Water Authority shall serve the entire Kiley Ranch North.

**Service Line Facilities**

PHASE 3

Service lines shall be extended off the 16" and 20" transmission lines to serve Phase 3. Each phase shall be served with a looped service line system that ties back in to the 20" and 16" transmission lines. (Refer to Exhibit 4-8.) The service lines for Phase 3 will also tie into an existing water line in Lazy Five Parkway.

**Service Provider****PHASE 4**

The 16" water main will be looped and connected with Phase 4 development.

**Sphere of Influence (S.O.I.) Transmission Lines****PHASE 4**

Based on the revised Sphere of Influence Plan, the 16" transmission line loop is intended to serve a majority of the northern Kiley Ranch. Any oversizing credits or reimbursements shall be allocated to the Kiley Ranch or its assigns who will be funding construction of these transmission lines. (Refer to Exhibit 4-9.)

**Service Line Facilities****PHASE 4**

Service lines shall be extended off the transmission lines to serve Phase 4. Each phase shall be served with a minimum looped 8" service line system that ties back in to the 16" transmission lines based on TMWA design criteria.

**Potential Wholesale-Emergency Inter-tie with Washoe County Utilities****PHASE 1**

Prior planning of water line stub construction at the time Sparks Boulevard was extended to Pyramid Way allows for a potential inter-tie at the corner of Sparks Boulevard and Pyramid Way. This may become a critical connection from a public health and system reliability standpoint. (Refer to Exhibit 4-6.)

EXHIBIT 4-6: PHASE 1 - WATER IMPROVEMENTS

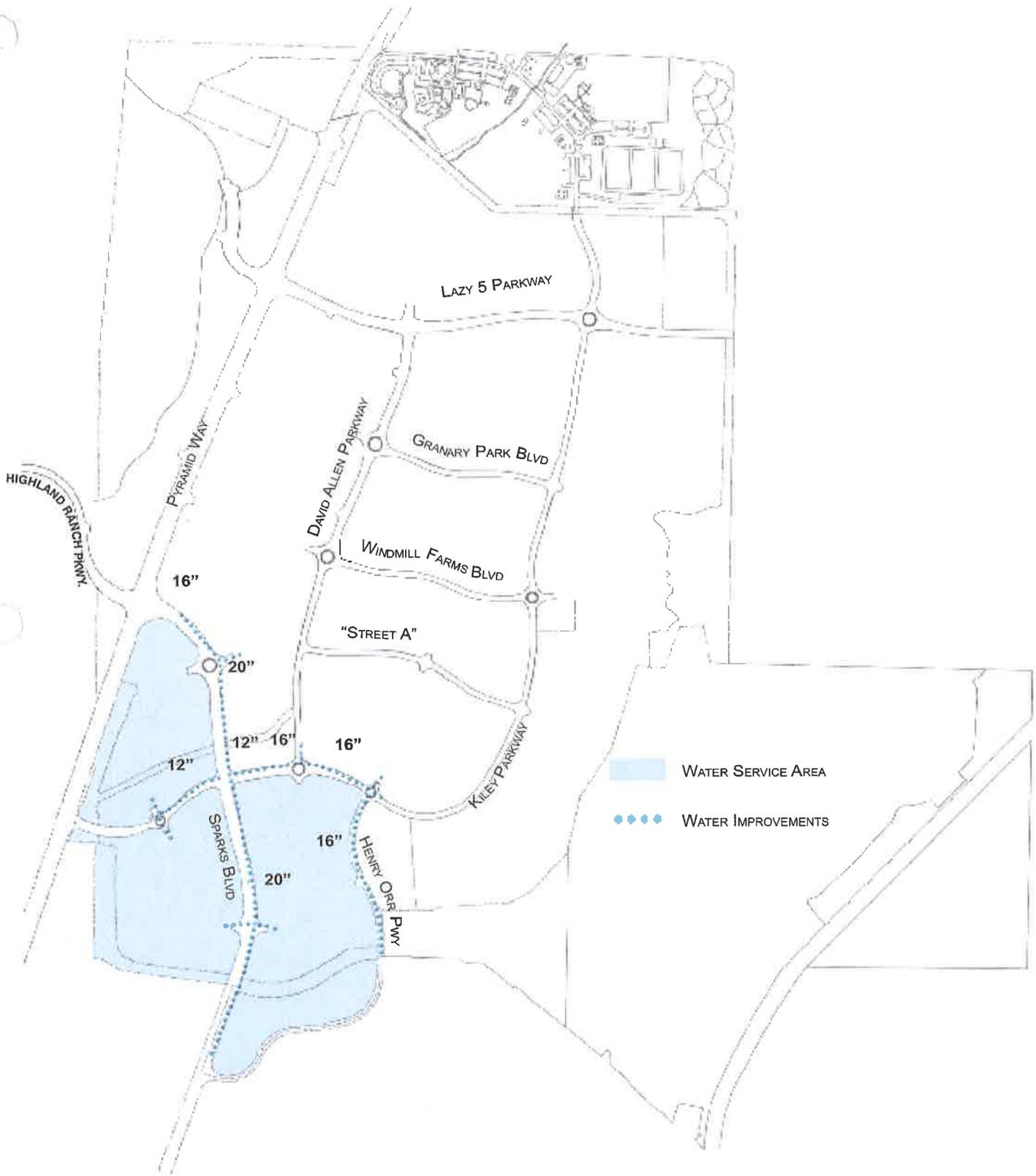


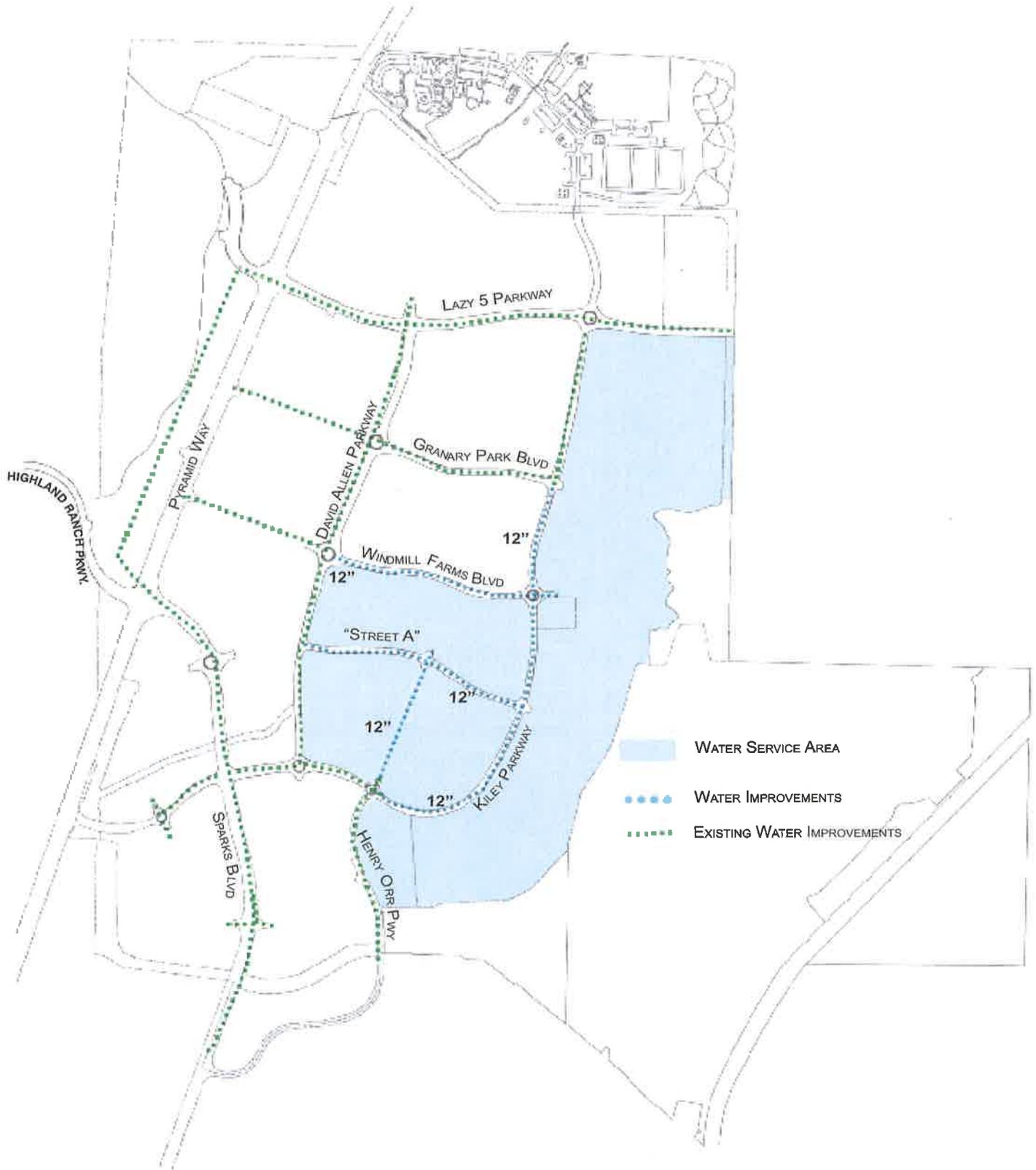
EXHIBIT 4-7: PHASE 2 - WATER IMPROVEMENTS



EXHIBIT 4-8: PHASE 3 - WATER IMPROVEMENTS



EXHIBIT 4-9: PHASE 4 - WATER IMPROVEMENTS



**4.1.4 Reclaimed Water**

**PHASE 1**

The City of Sparks has provided a main trunk line to deliver reclaimed water to the Spanish Springs Valley, including the Kiley Ranch. Exhibit 4-10 illustrates a preliminary master plan for the initial phase of construction of service lines to serve Kiley Ranch North. The extension of service lines to serve Phase 1 and portions of Phase 2 and 3, may be part of the financing for the reclaimed improvements. Should this be the case in the future, any credits or reimbursements shall be allocated to the Kiley Ranch or its assigns who will be funding construction of these facilities. Sparks Boulevard will be served by reclaimed water.

**PHASE 2**

Exhibit 4-11 illustrates a preliminary master plan for the second phase of construction of service lines to serve Kiley Ranch North. The extension of service lines to serve portions of Phase 2, 3 and 4 may be part of the financing for the reclaimed improvements. Should this be the case in the future any credits or reimbursements shall be allocated to the Kiley Ranch or its assigns who will be funding construction of these facilities.

**PHASE 3**

Exhibit 4-12 illustrates the extension of service lines to serve portions of Phase 3 and 4 which may be part of the public financing for the reclaimed improvements. Should this be the case in the future, any credits or reimbursements shall be allocated to the Kiley Ranch or its assigns who will be funding construction of these facilities.

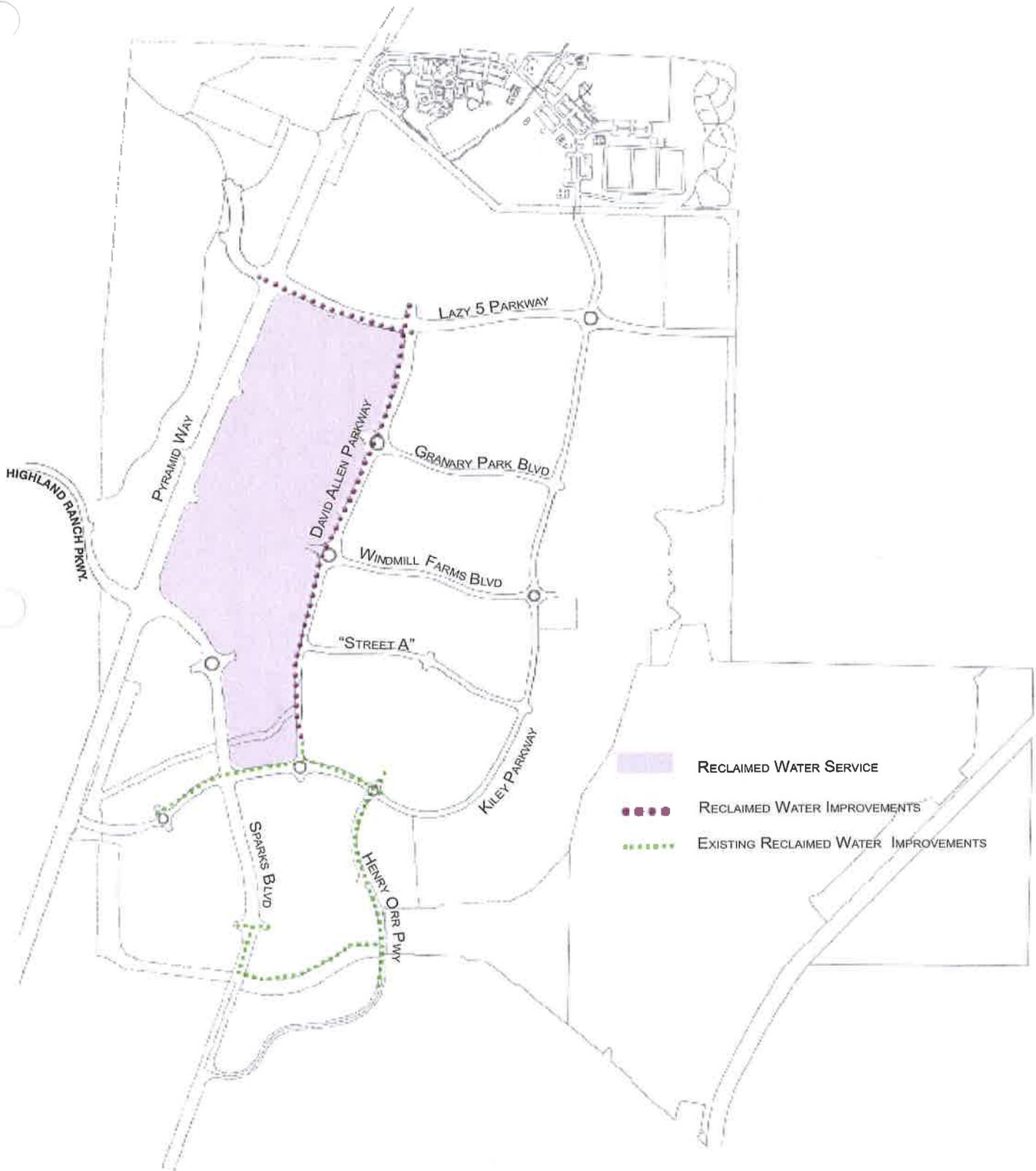
**PHASE 4**

Exhibit 4-13 illustrates a preliminary master plan for the phased construction of service lines to serve Kiley Ranch North. Phase 4 construction will complete the looped reclaimed water system as adjacent development occurs. Portions of Phase 4 may be part of the financing for the reclaimed improvements. Should this be the case in the future, any credits or reimbursements shall be allocated to the Kiley Ranch or its assigns who will be funding construction of these facilities.

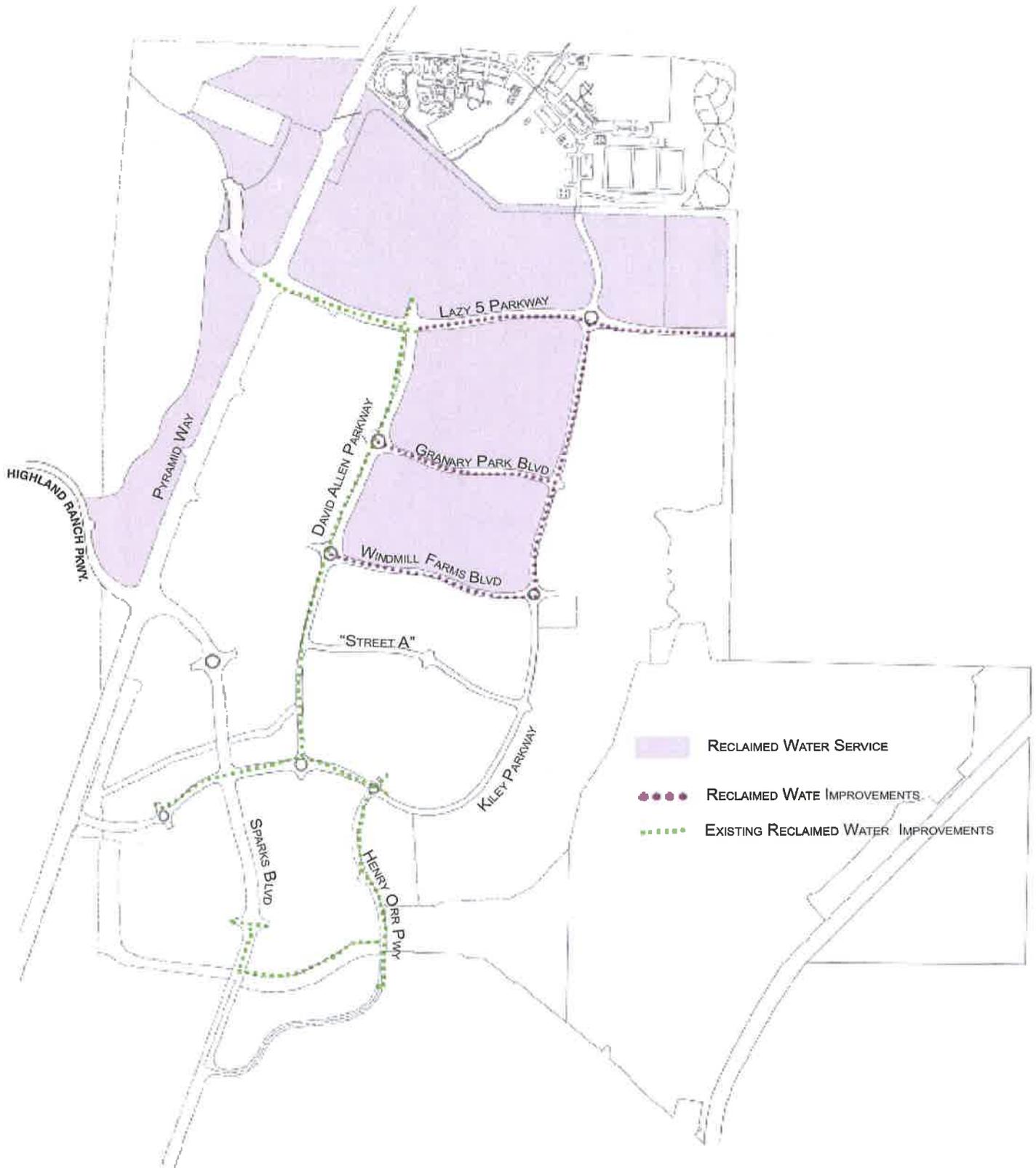
**EXHIBIT 4-10: PHASE 1 - RECLAIMED WATER IMPROVEMENTS**



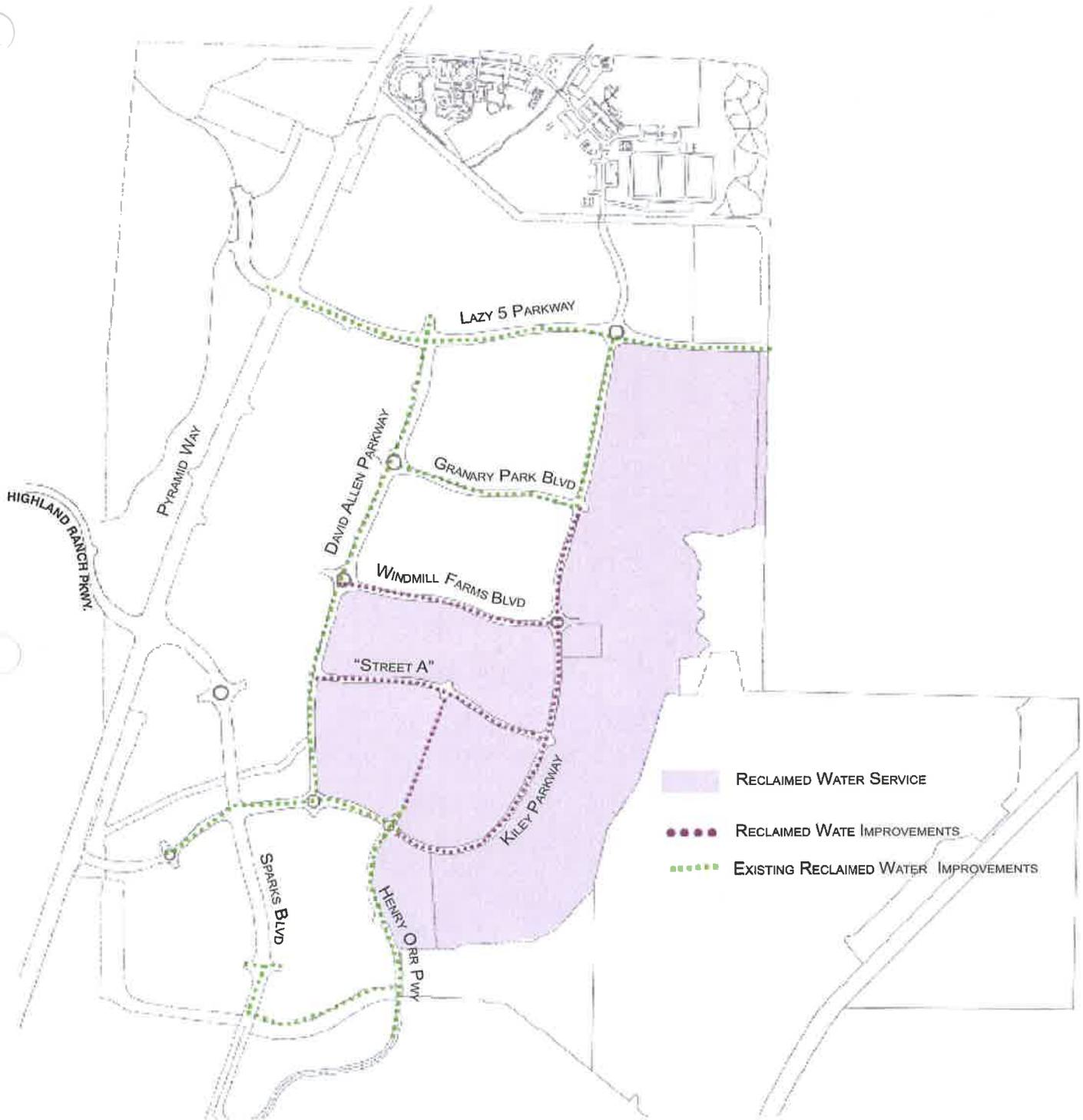
**EXHIBIT 4-11: PHASE 2 - RECLAIMED WATER IMPROVEMENTS**



**EXHIBIT 4-12: PHASE 3 - RECLAIMED WATER IMPROVEMENTS**



**EXHIBIT 4-13: PHASE 4 - RECLAIMED WATER IMPROVEMENTS**



#### 4.1.5 Storm Water Management

##### PHASE 1

All Phase 1 drainage will be conveyed to the Sun Valley Diversion Channel. Phase 1 parcels will collect storm water in an internal network that will connect to drainage infrastructure, that will convey all storm water to the Sun Valley Diversion Channel. The required drainage infrastructure will be constructed in Sparks Boulevard, Kiley Parkway, and Henry Orr Parkway. Refer to the appendix, Drainage/Flood Control Master Plan for details and Exhibit 4-14 for general location and service areas.

Temporary drainage swales shall be constructed to direct drainage to existing drainage ways within Kiley Ranch.

Refer to appendix, Drainage/Flood Control Master Plan for preliminary details on drainage construction.

##### PHASE 2

All parcels will collect storm water in an internal network that will connect to the drainage infrastructure.

A part of the southern portion of Phase 2 will connect into Phase 1 drainage and continue to the Sun Valley Diversion channel. The remaining area in Phase 2 will connect to the Reach 9 Drainage Channel by way of storm drains in David Allen, Lazy 5 and Granary Parkways (Refer to Exhibit 4-15).

The use of permanent and temporary ditches and channels will be constructed in Phase 2 to convey the storm water from Phases 2, 3, and 4. The North Kiley Ranch Flood Control Channel will be constructed to convey storm water for later phases as well as water shed areas west of Pyramid Highway. The North Kiley Ranch Flood Control Channel will connect to the Reach 9 Channel that will connect to the Sparks Detention facility.

**PHASE 3**

Areas west of Pyramid Way will connect to either the Sun Valley Diversion Channel directly, as does the southern area, or to the North Kiley Ranch Flood Control Channel, as does the northern area. Phase 3 parcels will contain internal networks that will connect to drain pipe constructed in Phase 2 or the North Kiley Ranch Flood Control Channel (Refer to Exhibit 4-16).

Additional storm drain will be required in Windmill Farms Boulevard and Kiley Parkway and will connect to the Reach 9 channel through existing or temporary ditches.

**PHASE 4**

Phase 4's drainage will flow to the Reach 9 channel or directly to the Sparks Detention Facility by means of internal drainage networks or drainage infrastructure. Drainage infrastructure in Phase 4 will include storm drain construction in Kiley Parkway and Street "A" (Refer to Exhibit 4-17).

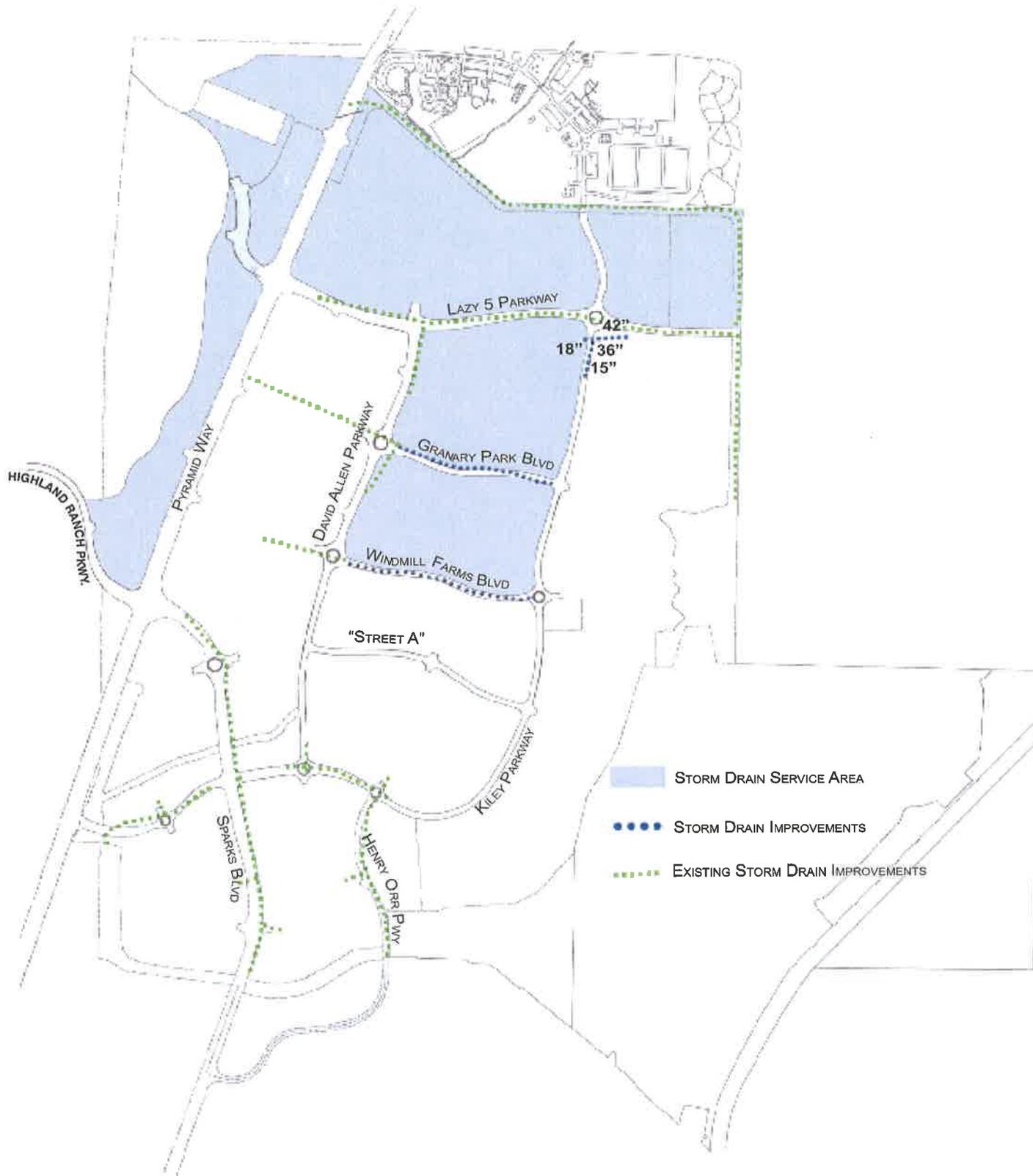
**EXHIBIT 4-14: PHASE 1 - STORM DRAIN IMPROVEMENTS**



**EXHIBIT 4-15: PHASE 2 - STORM DRAIN IMPROVEMENTS**



**EXHIBIT 4-16: PHASE 3 - STORM DRAIN IMPROVEMENTS**



**EXHIBIT 4-17: PHASE 4 - STORM DRAIN IMPROVEMENTS**



#### 4.1.6 Roadways

##### PHASE 1

Refer to Exhibit 4-18 and the following paragraphs for preliminary details on which roadways would be constructed within Phase 1. Refer to the Roadways section in Chapter 3 for details on the type, size and phased construction of roadways to be provided within Phase 1 infrastructure improvements.

##### PHASE 2

Refer to Exhibit 4-19 for preliminary details on which roadways shall be constructed within Phase 2. Included in the improvements is the Sparks Boulevard round-a-bout reconstruction. Refer to the Roadways Chapter 3 for details on the type, size and phased construction of roadways to be provided within Phase 2.

##### PHASE 3

Refer to Exhibit 4-20 for preliminary details on which roadways shall be constructed within Phase 3. Refer to the roadways section for details on the type, size and phased construction of roadways to be provided within Phase 3.

##### PHASE 4

Refer to Exhibit 4-21 for preliminary details on which roadways shall be constructed within Phase 4. Refer to the Roadways Chapter 3 for details on the type, size and phased construction of roadways to be provided within Phase 4.

##### TAX INCREMENT FINANCING (TIF)

Master Developer requests the option of dedicating the LDZ's that are included in the proposed TIF plan to City of Sparks. This would allow TIF to fund the improvements within the LDZ. The Kiley Ranch Landscape Maintenance Corporation would be responsible for all maintenance within the LDZ.

#### Kiley Parkway

##### PHASE 1

One 2,534-foot portion of Kiley Parkway shall be constructed as a function of development of the first phase of the southern area. Full buildout right-of-way shall be dedicated as part of Phase 1 development. This roadway is subject to reimbursement/credit as an RTC facility. Refer to Chapter 7, Financing Plan, for details. (Refer to Exhibit 4-18.)

##### PHASE 2

A 2,184-foot portion of Kiley Parkway shall be constructed as a function of development of the third phase of the Kiley Ranch North. Full buildout right-of-way shall be dedicated as part of Phase 4 development. The remaining extension to adjacent Pioneer Meadows development will be a part of Phase 4 (Refer to Exhibit 4-20).

**PHASE 3**

A 3,629-foot portion of Kiley Parkway shall be constructed as a function of development of the fourth phase of Kiley Ranch North. This section will tie to Henry Orr Parkway. Full buildout right-of-way shall be dedicated as part of Phase 3 development. Two lanes shall be constructed (Refer to Chapter 3 for details). This roadway is subject to reimbursement/credit as an RTC facility. (Refer to Exhibit 4-21.)

**Sparks Boulevard Widening****PHASE 1**

Phase 1 improvements will include widening Sparks Boulevard to 4 lanes from Pyramid Highway through the Kiley Parkway intersection, south to the First Tee Parkway intersection. This widening will create 4 lanes utilizing the pavement constructed with the initial 2 lanes of Sparks Boulevard and adding median curb, curb and gutter and pavement widening. This roadway is subject to reimbursement/ credit as an RTC facility. Refer to Chapter 7, Financing Plan, for details. (Refer to Exhibit 4-18.)

**Pyramid Way****PHASE 2**

Pyramid Way access consists of all right-in/right-out access points and the future signalized intersection at Lazy 5 Parkway. An interim left turn-in may be constructed and utilized until the Lazy 5 Parkway intersection is constructed and signalized. The two initial right-in/right-out access' north of Sparks Boulevard and the interim left turn lane will be constructed with Phase 2 improvements. (Refer to Exhibit 4-19.)

**Lazy 5 Parkway****PHASE 2**

The initial improvements (4 lanes) for 1,901-feet of this roadway will be constructed in the northern portion of Phase 2 to maximize the efficient use of the Pyramid Way Intersection. (Refer to Chapter 3 for details.) This roadway is subject to reimbursement/credit as an RTC facility. Refer to Chapter 7, Financing Plan, for details. (Refer to Exhibit 4-19.)

**PHASE 3**

A 2,733-foot extension of Lazy Five Parkway shall be constructed as a function of development of adjacent parcels in Phase 3. Full buildout right-of-way shall be dedicated as part of Phase 3 development. Two lanes shall be constructed. (Refer to Chapter 3 for details). This roadway is subject to reimbursement/ credit as an RTC facility. (Refer to Exhibit 4-20.)

**David Allen Parkway****PHASE 2**

David Allen Parkway a 4,487 foot roadway will be constructed in Phase 2. The roadway will be constructed with two (2) lanes from Kiley Parkway to Windmill Farms Boulevard, and four (4) lanes from Windmill Farms Boulevard to Lazy 5 Parkway. Full buildout right-of-way shall be dedicated as part of Phase 2 development.

The traffic study dated January 2007, prepared by Solaegui Engineer's indicates that David Allen Parkway should be constructed as a two (2) lane roadway the entire length from Kiley Parkway to Lazy 5 Parkway, however, the master developer has elected to construct a four (4) lane section from Windmill Farms Boulevard to Lazy 5 Parkway. This roadway may be subject to CCFEA credit / reimbursement as an RTC facility and as supported by the traffic study. Refer to Chapter 7; Financing Plan for details also (Refer to Exhibit 4-19).

**Henry Orr Parkway and Collector Streets****PHASE 1**

There will also be extensions of the Henry Orr Parkway in the southern section of Phase 1 and 4. A 1,561 foot section of Henry Orr Parkway shall be constructed with Phase 1. Additional public or private collector streets will be constructed to serve adjacent projects as development occurs in Phase 1. This roadway may be subject to reimbursement/credit as an RTC facility. (Refer to Exhibit 4-18.)

**Highland Ranch Parkway****PHASE 3 OR PHASE 4**

Highland Ranch Parkway may be constructed in Phase 3 or Phase 4. A traffic analysis and sight-line study will be prepared to determine roadway design and access to Village 14.

**EXHIBIT 4-18: PHASE 1 - ROADWAY IMPROVEMENTS**



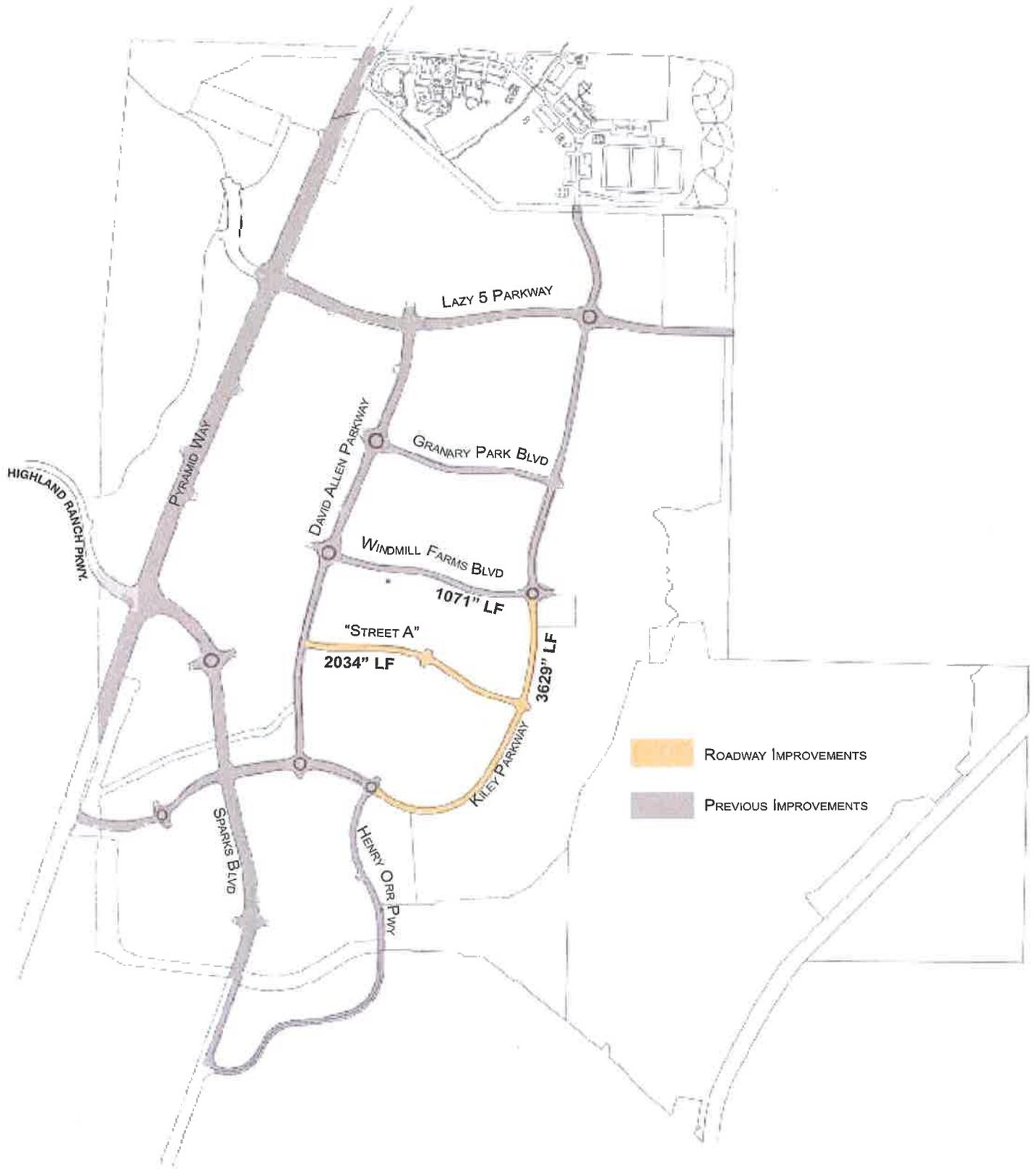
**EXHIBIT 4-19: PHASE 2 - ROADWAY IMPROVEMENTS**



**EXHIBIT 4-20: PHASE 3 - ROADWAY IMPROVEMENTS**



**EXHIBIT 4-21: PHASE 4 - ROADWAY IMPROVEMENTS**



**4.1.7 Gas/Electric/Phone/Cable**

**PHASE 1**

Gas and electric services shall be extended to all parcels developed adjacent to the first phase of infrastructure. A gas distribution line shall be constructed in Kiley Parkway to serve future phases of Kiley Ranch North. Gas will be extended from an existing 8" main adjacent to Pyramid Way to serve Phase 1. Service lines will be extended from the existing 8" in Sparks Boulevard to serve Phase 1. (Refer to Exhibit 4-23.)

All new electric lines shall be undergrounded within the first phase of infrastructure development to serve Phase 1; Electric/Phone/Cable service will be extended from the west side of Pyramid Way, through conduit installed under Pyramid Way with the prior widening. Phase 1 will be served from extension of Electric/ Phone/Cable in Sparks Boulevard.

**PHASE 2**

Gas and electric services shall be extended to all parcels developed in the second phase.

An 8" gas distribution line was constructed in Sparks Boulevard to connect the Southern Development Division with the Kiley Ranch Marketplace.

All new electric lines shall be undergrounded within the second phase of development. (Refer to Exhibit 4-24.)

**PHASE 3**

Gas and electric services shall be extended to all parcels developed in the third phase.

A gas distribution line shall be constructed in Kiley Parkway to serve future phases of the Kiley Ranch Marketplace.

All new electric lines shall be undergrounded within the third phase of development. (Refer to Exhibit 4-25.)

**PHASE 4**

Gas and electric services shall be extended to all parcels developed in the fourth phase.

A gas distribution line was constructed in Sparks Boulevard to connect the Southern Development Division with Kiley Ranch North.

All new electric lines shall be undergrounded within the fourth phase of development. (Refer to Exhibit 4-26.)

EXHIBIT 4-22: PHASE 1 - UTILITY IMPROVEMENTS

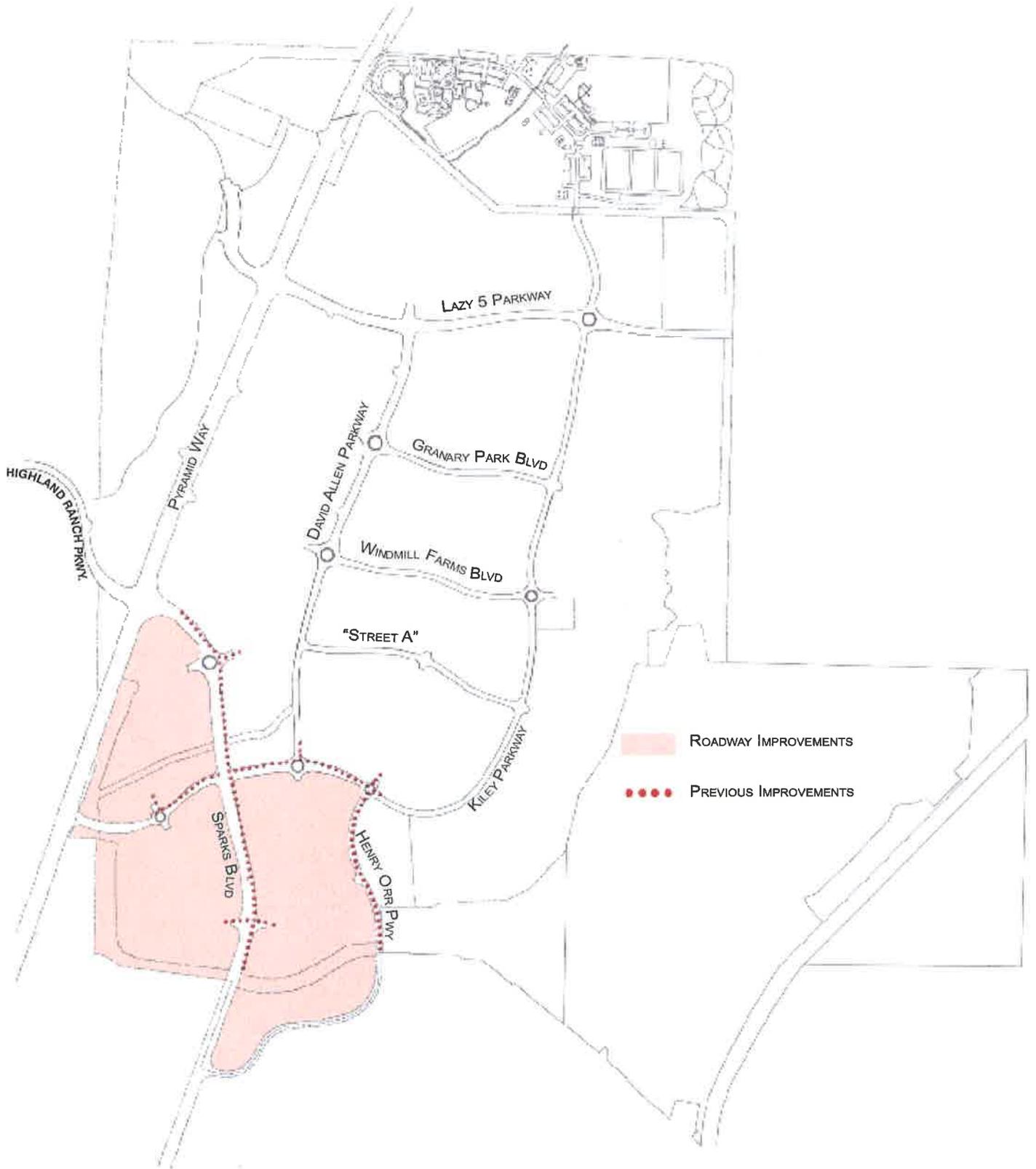


EXHIBIT 4-23: PHASE 2 - UTILITY IMPROVEMENTS

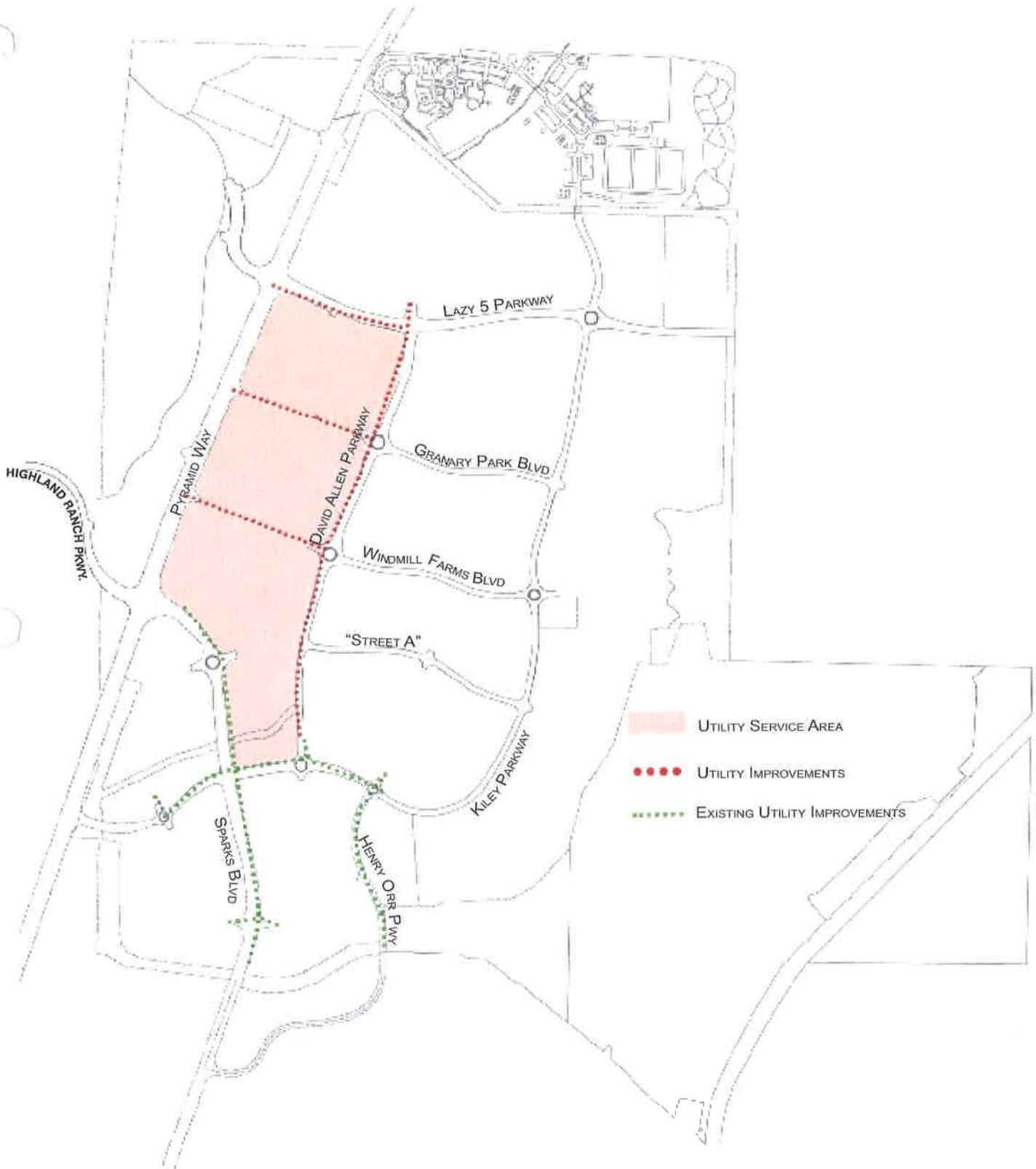
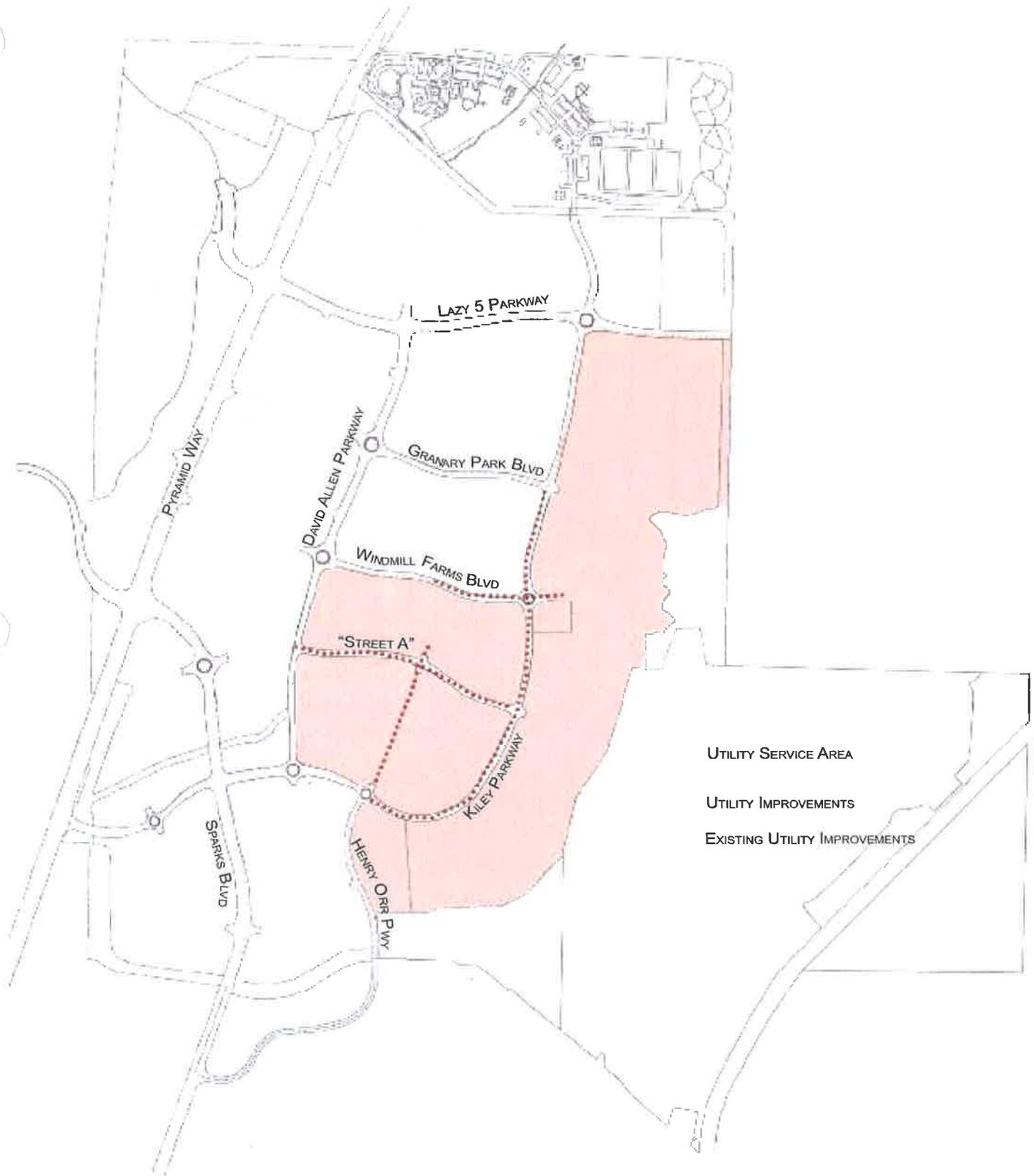


EXHIBIT 4-24: PHASE 3 - UTILITY IMPROVEMENTS



EXHIBIT 4-25: PHASE 4 - UTILITY IMPROVEMENTS



## 4.2 Fire Protection

The new Sparks Fire Department Station Number 4, located at Disc Drive and Vista Boulevard is the closest urban fire department facility.

As development occurs within the Sphere of Influence area, an additional facility and equipment specifically designed for structural fires shall be needed. An aspect of fire department operations that is not obvious is the demand for medical emergency response from the fire department.

The majority of calls to the fire department are, in fact, related to medical emergencies rather than fires. A centrally located fire station site is also available within the proposed Wingfield Springs development. No site is proposed in the Kiley Ranch North. One possibility is the development of a joint fire/police substation at a central location. The City of Sparks Impact Fee Service Area #1 provides for a fee collection to support construction of a fire station to serve the Sphere of Influence.

## 4.3 Police Protection

The Sparks Police Department shall assume the responsibility for police services. Sparks has recently constructed a new police headquarters building on East Prater Way near Sparks Boulevard, which will allow a rapid response northward into Spanish Springs.

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**CHAPTER 5 RESOURCE MANAGEMENT**

Goal: Development of a community that utilizes and manages resources effectively.

**5.1.1 Air Quality****5.1.1a Co-Concentration**

The Spanish Springs Valley is currently not included in the area, which is designated to be in “non-attainment” of federal standards for carbon monoxide (Co) and total suspended particles (Tsp). As development of the valley occurs Co and Tsp levels will increase. Contributing sources are increased with vehicle trips, fugitive dust from construction, disturbance of vegetated areas, wood-burning devices, and commercial and industrial pollutants.

**5.1.1b Mitigation****1. Construction Practices**

During construction phases, an ongoing program in accordance with Washoe County Health Department standards shall be maintained to reduce fugitive dust emissions. Revegetation of disturbed areas for long term dust and wind erosion concerns are addressed in the Open Space Section of the handbook.

**2. Traffic Mitigation's**

As discussed in the previous Transportation section, mitigation measures described shall be developed in phases consistent with approved phasing of the project to assure air quality standards will not be violated.

**3. Wood Burning Devices**

Wood burning which does not comply with EPA (Environmental Protection Agency) standards on emissions shall be prohibited in accordance with Washoe County and the City of Sparks standards. Maintenance of these standards and prohibition of wood burning devices in multi-family units (3 or more) will reduce the potential impacts on particulates (Tsp).

**4. Commercial and Industrial Uses**

Commercial and/or industrial uses, which are generators of pollutants, shall be discouraged. Refer to allowed uses in the Commercial, Business and Office sections of the handbook.

**5.1.2 Water****5.1.2a Landscaping**

Following are a list of items to reduce water usage for irrigation.

1. Where possible, drip irrigation systems shall be installed.
2. All systems shall be automated. Time clocks shall be required to be set to run systems at time of minimal evaporation and homeowner's shall be required to follow the areas Evapotranspiration guide in watering schedules.
3. The plant materials shall be selected from the drought tolerant and low water demand plant material available through the County Extension Service.
4. Large turf areas are limited to a percentage by use in the landscape section of the Appendix.

**5.1.2b. Appliances and Fixture Use**

1. Mandatory state-of-the-art water saving fixtures, showerheads and toilets.

2. Recommended installation of state-of-the-art water saving appliances such as washing machines and dishwashers.

3. Energy

4. The developer shall utilize methods of energy conservation. All residential units shall consider incorporating Sierra Pacific Power Company's "Good Cents" standards in design construction. Building orientation shall also be considered in conservation of energy.

**CHAPTER 6 CONSTRUCTION, OPERATION AND MAINTENANCE****6.1.1. Clean Job Site**

All construction job sites within the Kiley Ranch North are to be maintained in a clean and orderly fashion. Each developer/builder shall adopt procedures to suit his individual circumstances.

If a temporary use site is not maintained or returned to a reasonable state of cleanliness, the Kiley Ranch North Owners Association has the authority to authorize clean-up by an outside party and assess the cost of this clean-up against the owner.

**6.1.2. Existing Vegetation Areas – Orr Ditch (SECTION REMOVED)****6.1.3 Erosion Control Plan and Storm Water Pollution Prevention Plan**

The Erosion Control Plan and SWPPP shall include at a minimum the following:

1. Erosion control plan for the entire site or area of disturbance. This plan shall note all Best Management Practices (BMP's) to be used on site, along with all descriptive notes etc.
2. A Reclamation bond based on an approved exhibit A of the estimated cost to revegetate the site
3. A Storm Water Pollution Prevention Plan that shall include the following information:
  - a. Facility Owner/operator and other applicant information
  - b. Project Site information, including pre- and post site conditions and land uses, runoff coefficients, sequence of construction activities total area disturbed, etc.
  - c. Existing soil and water quality information
  - d. Site Maps
  - e. Storm water discharge points and receiving waters
  - f. List of Best Management Practices
  - g. Inspection and maintenance procedures and a log of all inspection activities, changes in BMP's, weather condition changes, etc.

These requirements will apply to the development site itself and any surrounding property that may be used as a borrow or stockpile site for excess soil cut or fill.

**6.1.4 Temporary Uses and Structures**

All temporary uses and/or structures shall be maintained in a clean and orderly fashion. Storage of vehicles or machinery required for set-up or delivery shall not be kept onsite. Adequate parking, trash, and restroom facilities shall be provided for the expected attendance. All components required for any event shall be removed and the site cleaned up within 24 hours of the close of each event or use. If a temporary use site is not maintained or returned to a reasonable state of cleanliness, the Kiley Ranch Marketplace Owners Association has the authority to authorize clean-up by an outside party and assess the cost of this clean-up against the sponsor.

**6.1.5 Non-Residential Construction, Operation and Maintenance**

All non-residential land uses shall be maintained through a Common Area Agreement. The CC&R's shall include this agreement as an irrevocable covenant for the life of the project. A single contact person responsible for common area maintenance shall be identified to the Planning /Community Development Department at all times. All common area, paving, buildings, signage, structures, landscaping, walls and lighting shall be maintained in good repair at all times.

a. The CC&R's shall designate the responsible party for all grease traps which shall be approved by the Industrial Waste Division of the City of Sparks Public Works Department.

b. Shopping cart enclosures shall be approved by the City of Sparks at the time of site plan review. The center, as part of its common area maintenance, shall be responsible for keeping shopping carts on-site subject to City ordinances as amended from time to time. The center shall provide for prompt retrieval of carts taken off-site.

c. Construction and construction-related activities shall be limited to the hours of 7 a.m. to 7 p.m., Monday through Friday, Saturday 9 a.m. to 5 p.m. No work shall be performed on Sundays. The developer shall install and maintain signs at the project entries stating these limits. At the conclusion of construction, the developer shall remove these signs.

d. Deliveries to the site and noise-generating maintenance such as parking lot sweeping, snow removal and trash service shall be limited to 7 a.m to 10 p.m. No Truck idling shall be permitted on-site outside of these hours.

e. Security patrol for the center and parking lots shall be provided from 7 p.m. to 6 a.m.

**6.1.6 Residential – Model Parks and Construction Yards****6.1.6a. Temporary Sales Office within a Model Home Complex**

Model Home Complexes shall comply with the following standards:

1. Sales Office hours of operation: 10 am to 7 pm weekdays, 10am to 6 pm on Saturdays and Sundays.
2. Temporary sales office and model homes will cease operation with the sale of the final home in the subdivision, at which time the temporary sales office will be vacated and a building permit issued to return the former office to a garage, remove temporary trap fencing and model home signs. The model homes will then be sold as residential units.
3. A paved off-street parking lot shall be provided for the model; home complex and accessible parking provided per S.M.C. The off-street parking lot will terminate at the point in time which all the residential lots have been sold and the sales office is closed. The parking lot will be removed and a residential structure constructed, if the parking is situated on a residential lot. If not a residential lot, then the lot shall be landscaped as open space or the other intended use as recorded on the final map and/or as indicated on the improvement plans for the development site.
4. The developer shall provide minimum of (2) paved, off-street parking spaces for each model home on (1) of which is van accessible disabled parking to the approval of the administrator prior to final inspection. The parking lot must comply with all requirements of the Title 20.49 and be striped parking spaces and signed identifying the van accessible parking space.
5. The model home lots will be completely landscaped as well as the area surrounding the off- street parking lot area for review and approval by the administrator prior to issuance of building permit for the model home complex and off-street parking. The landscaping and irrigation shall be installed per the approved plans prior to final inspection for occupancy of the model home complex office and off-street parking lot.
6. If temporary trap fencing is used, it shall be placed between the path to the model homes and the street to guide the prospective buyers to each model home. The temporary trap fencing shall be located on private property and shall not block or obstruct the public sidewalk along the street. The temporary trap fencing will be removed when the conversion of the sales office to a garage is submitted to the City.
7. Signs for the model homes will include small freestanding monument signs at thhe entrance of the temporary sales office and the entrance of each model home. The monument signs are temporary and will be removed when the conversion of the sales office to a garage is submitted to the City. Sign sizing shall be per S.M.C. and as approved by administrator. The sign locations shall comply with the safe sighting standards in the Title 20.56.
8. The developer shall limit all construction and construction related activities to between the hours of 7:00 a.m. through 7:00 p.m., Monday through Friday and 9:00 a.m. to 5:00 p.m. Saturday. There shall be no construction related activities on Sundays in residential areas. The developer shall install signs at all access points to the project that clearly indicate these limited hours of activity on-site prior to the start of any construction related activities. The developer shall maintain these signs in good repair for the duration of the construction of the project. Once construction is completed, the developer shall remove these signs.
9. The developer shall designate to the administrator a project contact person responsible/authorized to correct problems regarding the project on a 24 hour/7 days a week basis. The developer shall designate the project contact person to the Administrator prior to issuance of a grading permit for the project.
10. If the sales office is not converted back into a garage, there must be parking documented to the approval of the administrator that complies with Title 20.49.

### 6.1.6b. Construction Yards

Within the planned development, construction yards will be necessary. The following requirements will apply to all zoning classifications within the planned development.

1. Definitions: Construction yard is a temporary area used for the storage of construction materials, supplies, equipment, tools, stock pile of useable construction materials and other items as permitted including temporary storage containers, construction trailers and temporary office trailers.

2. Proposed construction yards shall be associated to a specific project with an approved building permit issued for grading, construction, remodel and/or demolition.

3. Construction yards shall be supervised by one (1) contractor who will be responsible for enforcing compliance of these standards. The contractor shall be responsible for compliance of the construction yard to all applicable codes.

4. Construction yards shall be fenced and located on private property out of public view whenever possible to the approval of the administrator and shall not be placed in required parking spaces or block pedestrian/vehicular access.

5. Construction yards shall be removed prior to a final inspection of the last building in a non-residential project and for the last structure in a residential project or final approval for the project.

6. The contractor shall be required to provide curb cuts for all egress/ingress areas onto a paved street. To prevent mud/dirt from transferring trucks, vehicles, and equipment onto the paved street, the contractor shall install a surface treatment, such as gravel or base at all egress/ingress points from the yard a minimum of 50 feet in length to the street access to the approval of the administrator.

7. A project site with physical constraints may utilize an alternative off-site property for a construction yard subject to site plan review process. The contractor shall be required to reclaim the alternative off-site property to its original condition prior to final inspection/issuance of a certificate of occupancy for the associated project to the approval of the administrator. Site reclamation may include site clean-up and/or revegetation with temporary irrigation. Bonding may also be required to verify revegetation within (3) three years.

8. The developer shall limit all construction and construction-related activities to between the hours of 7:00 a.m. through 7:00 p.m., Monday through Friday and 9:00 a.m. to 5:00 p.m., Saturday. There shall be no construction yard usage on Sundays in residential areas. The developer shall install signs at all access points to the project that clearly indicate these limited hours of activity on-site prior to the start of any construction-related activities. The developer shall maintain these signs in good repair for the duration of the construction of the project. Once construction is completed, the developer shall remove these signs.

9. The developer shall designate to the administrator a project contact person responsible/authorized to correct problems regarding the project on a 24-hour/7 days a week basis. The developer shall designate the project contact person to the administrator prior to issuance of a grading permit for the project.

10. The developer may construct a fence around the construction yard that is higher than (6) six feet and use barbed wire or concertina wire on the top of the fence with the approval of the City of Sparks building department and Administrator.

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**CHAPTER 7 FINANCING****7.1 SERVICE DISTRICT ONE FINANCING PLAN –CITY OF SPARKS****7.1.1 Adopted Fee Programs – Impact Fee Service Area No. 1**

The City of Sparks adopted the Sphere of Influence Voluntary Fee Program in 1994. The RTC established a Regional Road Impact Fee in 1995. In 2002, the City of Sparks inserted this fee program into an Impact Fee Service area called Service Area No. 1. The current fee structures at the time of adoption of the Kiley Ranch North Project are summarized in Tables 7-1 and 7-2. These fees are subject to change with annual or bi-annual reports. Check with the governing agencies for the current fee schedule. Based on these programs, the fees generated or credits available for construction of infrastructures at Kiley Ranch North are summarized in Table 7-1.

**7.1.2. Development Fee Agreement**

A Development Fee Agreement for the Kiley Ranch North shall be executed prior to the issuance of a building permit. The Development Fee Agreement can cover more than one development site or phase. It shall include both credit and reimbursement provisions. It shall also include provisions for fee determination, timing of construction or land dedication, and final credit determination procedures.

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