

APN: (Not required
Per NRS 111.312.1)

CITY OF SPARKS
OFFICE OF THE CITY CLERK

APR 04 2011

DOC # 3973226

02/11/2011 02:23:50 PM

Requested By
DISCOVERY BUILDERS INC

Washoe County Recorder

Kathryn L. Burke - Recorder

Fee: \$77.00 RPTT: \$0.00

Page 1 of 39



When recorded, mail to
City of Sparks
P.O. Box 857
Sparks, Nevada 89432-0857
ATTN: Community Development Dep't

(Space above for recorder's use only)

NOTICE OF ADOPTION OF DEVELOPMENT STANDARDS HANDBOOK
(NRS Chapter 278A)

Name of Development: Eagle Peak
Name of Plan: Development Standards Handbook.
Approval Date: July 10, 2006
City No. PCN04010

NOTICE IS HEREBY GIVEN that on the above indicated date, the City Council of the City of Sparks, Nevada, finally adopted a development plan for the above named development, whose legal description is attached as **Exhibit A**.

Pursuant to NRS 278A.570 (2) after this plan is recorded, all previous approvals and all zoning and subdivision regulations applicable to the property described in Exhibit A cease to apply and are replaced with the plan attached as **Exhibit B** hereto.

Dated this 13th day of JANUARY, 2011

City of Sparks, Nevada

By Linda K. Patterson
Linda K. Patterson, City Clerk

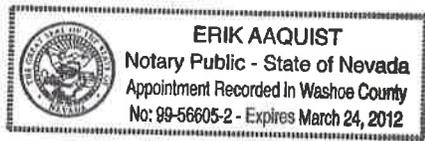
State of Nevada)
) Acknowledgement in representative capacity
County of Washoe) (NRS 240.1665)

This instrument was acknowledged before me on JANUARY 13

2011 _____, By Linda K. Patterson as the City Clerk of Sparks,
Nevada



Notary Public



**LEGAL DESCRIPTION
EXHIBIT A**

All that certain real property located within a portion of the E 1/2 of Section 27, Township 20 North, Range 20 East, M.D.B. & M. Being a portion of that Land shown on the Final Subdivision Map for Eagle Peak Subdivision as Tract Map No. 4876, recorded on June 30, 2008 as file #3665043, Official Records of Washoe County, Nevada, more particularly described as follows:

Lots 1 through 40, Common Area Parcels A, B and C and private streets Round Hill Road and Silver View Circle.

Prepared under the supervision of
David L. Bratcher PLS 14346
800 E. College Parkway
Carson City, NV 89706

END OF DESCRIPTION

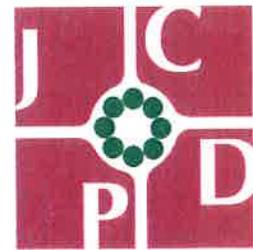


2435.0002

EAGLE PEAK

Development Standards Handbook

Prepared by:



**Planners + Landscape Architects + Engineers
Land Surveyors + Construction Services
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Prepared for:

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Adopted: July10, 2006

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Development Standards Handbook

Statement of Plan and Purpose

The purpose of the Eagle Peak New Urban District (NUD) is to provide for a high quality single family residential project that respects the natural site features through careful placement of homes, preservation of open space, and hillside sensitive grading techniques. Additionally, the NUD will provide for architectural, landscaping, and setback standards to ensure that Eagle Peak complements adjacent developments.

Project Location

Eagle Peak consists of 24.26± acres and is located west of Vista Boulevard, east of Sparks Boulevard, and north of Laser Drive. Primary project access is from Satellite Drive. Figure 1 (below) depicts the location of Eagle Peak.



Figure 1 - Location Map

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Figure 2 (below) depicts the Tentative Map developed for the Eagle Peak site.

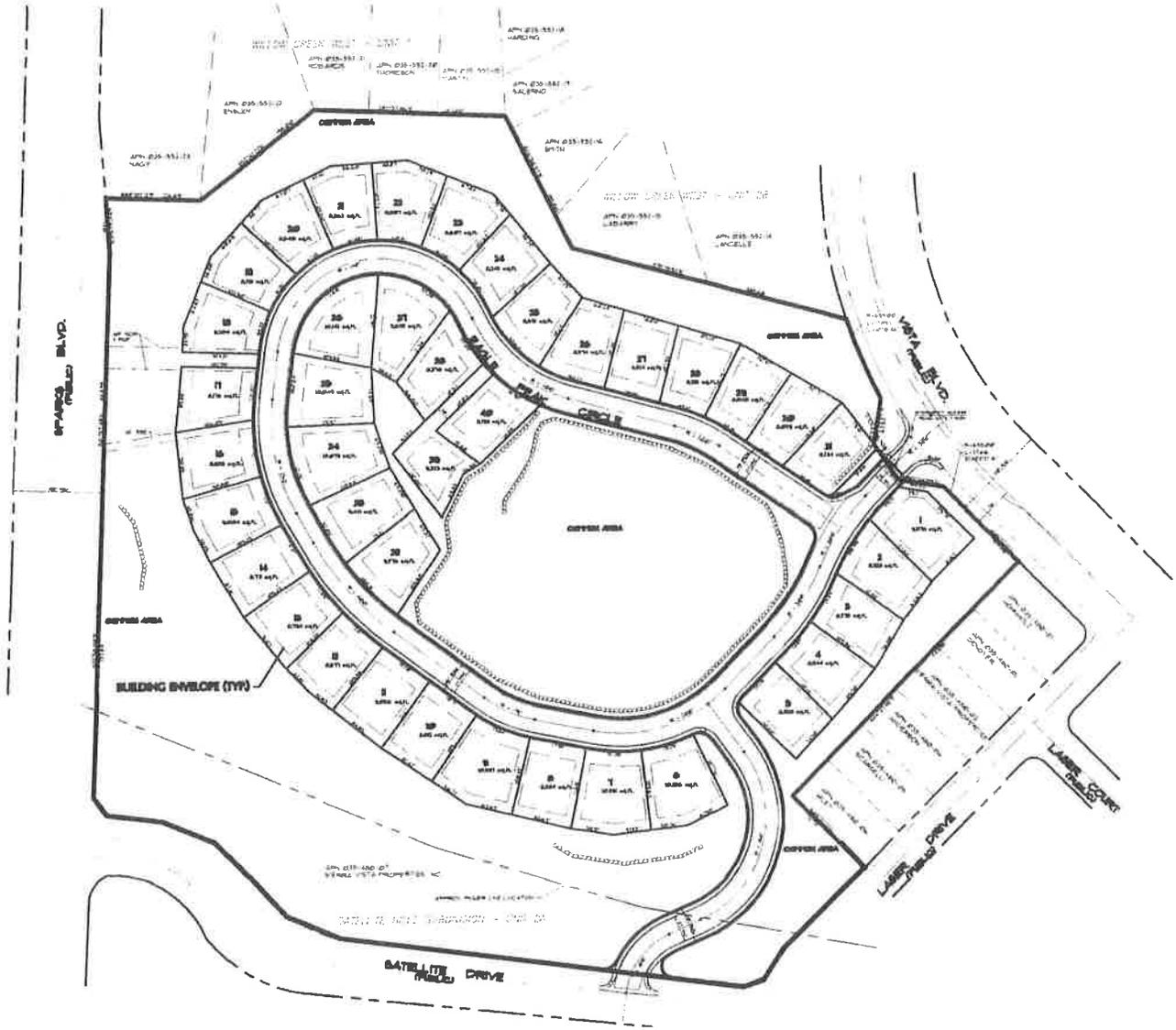


Figure 2 – Tentative Map

Project Concept/Description

Eagle Peak is envisioned as a high quality single family residential community that is designed around the natural splendor of the project site in order to promote a pleasant and livable neighborhood. This is achieved through thoughtful site design standards as well as the provision of dedicated open space/ protection of significant natural features.

Project Goals

The following project goals have been established, consistent with the vision for Eagle Peak:

- Goal 1: To provide a community that has its own sense of place and identity that complements the adjacent residential developments.
- Goal 2: To promote a project that nurtures a sensitive contrast of traditional neighborhood design with the natural features of the site.
- Goal 3: To cluster residential units in order to protect the onsite prominent ridgeline and rock outcroppings, promoting community interest and function.

The overall project theme for Eagle Peak will be similar to that of the adjacent developments using traditional neighborhood planning and design elements. However, Eagle Peak will evoke its own unique character through the standards outlined in this handbook which require the blending of developed areas with the natural features of the site.

Site Analysis

A comprehensive site and slope analysis has been conducted for the Eagle Peak site to determine areas most suitable for development based on slopes, prominent natural features, views, etc. Density reduction factors (as outlined in the Sparks Municipal Code, chapter 20.99) have been applied to the site to ensure compliance with all applicable City of Sparks codes and policies. The following land use table (Table 1) has been developed for Eagle Peak:

Table 1 - Land Use Summary

Land Use	Acreage ¹	Percentage of Total
Subdivision/R.O.W. Area	10.68± acres	44%
Open Space	13.57± acres	56%
Total	24.25± acres	100%

¹ Note - Land use areas subject to 10% deviation based on final engineering design.

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Over half of Eagle Peak (56%) will be preserved as open space. This is reflective of the “knob” and rock outcroppings central to the site, as well as the steeper slopes around the perimeter of the project. This area has been designated as a significant natural ridgeline in the City of Sparks Master Plan. As a result, minimal disturbance will occur in this area.

Table 2 (below) provides for the required density reduction (per Chapter 20.99) and establishes the maximum disturbed area that shall be permitted within the site.

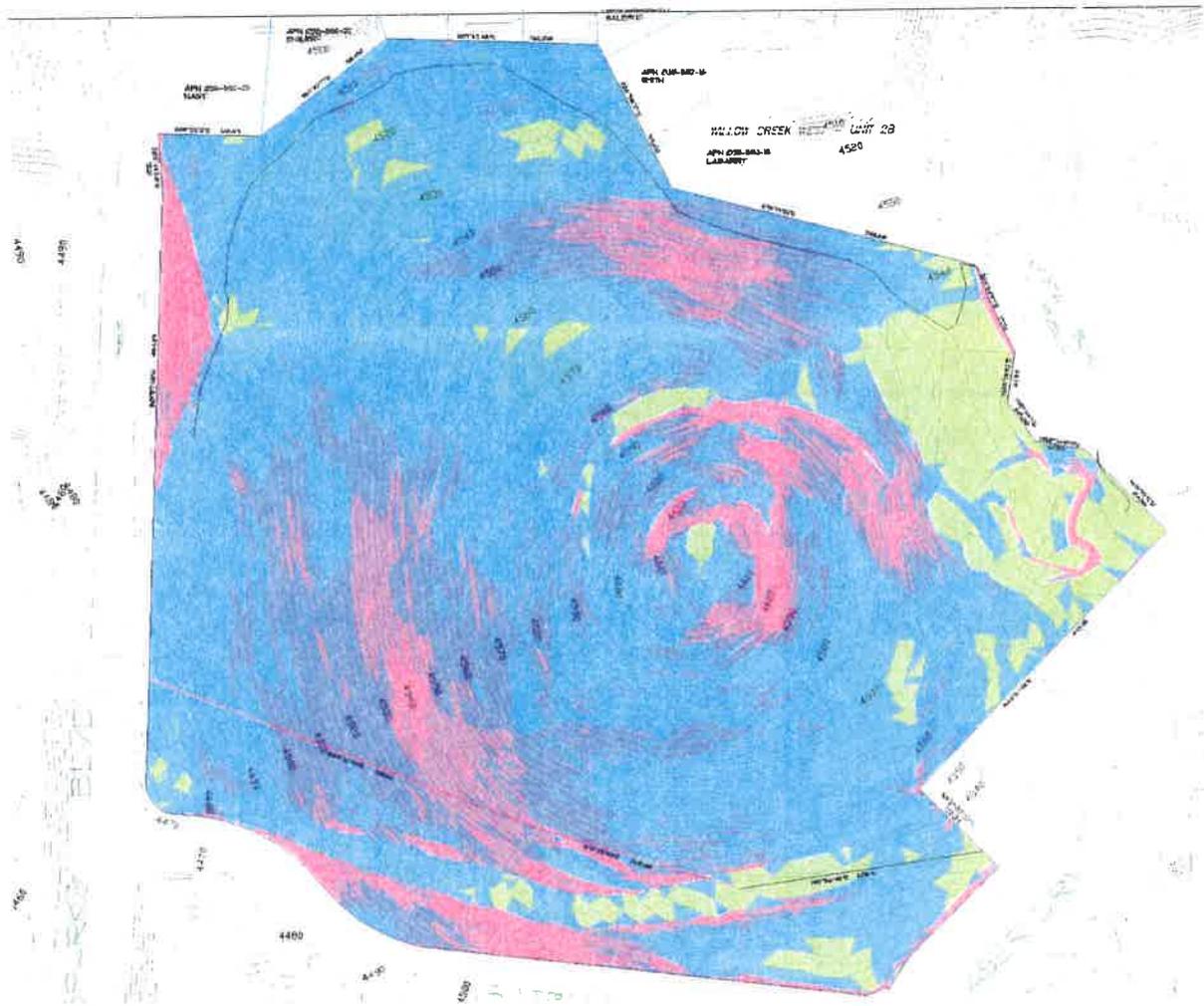
Table 2 – Density Reduction

Slope Range	Area (in acres)	Maximum Disturbed Area	Allowed Disturbance Area	Actual Disturbance Area
0 to 10%	2.44±	Unlimited	2.44± acres	1.93± acres
10.1 to 15%	5.35±	3/4 of Category	4.01± acres	3.55± acres
15.1 to 20%	7.85±	2/3 of Category	5.23± acres	5.19± acres
20.1 to 25%	4.98±	1/2 of Category	2.49± acres	2.79± acres
25.1 to 30%	2.01±	1/3 of Category	.67± acres	1.06± acres
Greater than 30%	1.51±	1/5 of Category	.30± acres	.53± acres
Total	24.14± acres	-----	15.14± acres	15.05± acres¹

¹ Subject to variation with final map. Note: Disturbance area must conform with Chapter 20.99 requirements.

Figure 3 (following page) depicts the slope analysis completed for the Eagle Peak site, while Figure 4 (page 6) provides an overall site analysis that considers views, access, significant features, etc.

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Slope Analysis				
Color	Range Beg.	Range End	Percent	Area
Light Green	0.00	10.00	10.1	106287.24
Blue	10.00	15.00	22.2	233237.43
Medium Blue	15.00	20.00	32.5	341862.77
Dark Blue	20.00	25.00	20.6	216772.35
Pink	25.00	30.00	8.3	87760.99
Red	30.00	1000.00	6.3	65798.45

Figure 3 – Slope Analysis

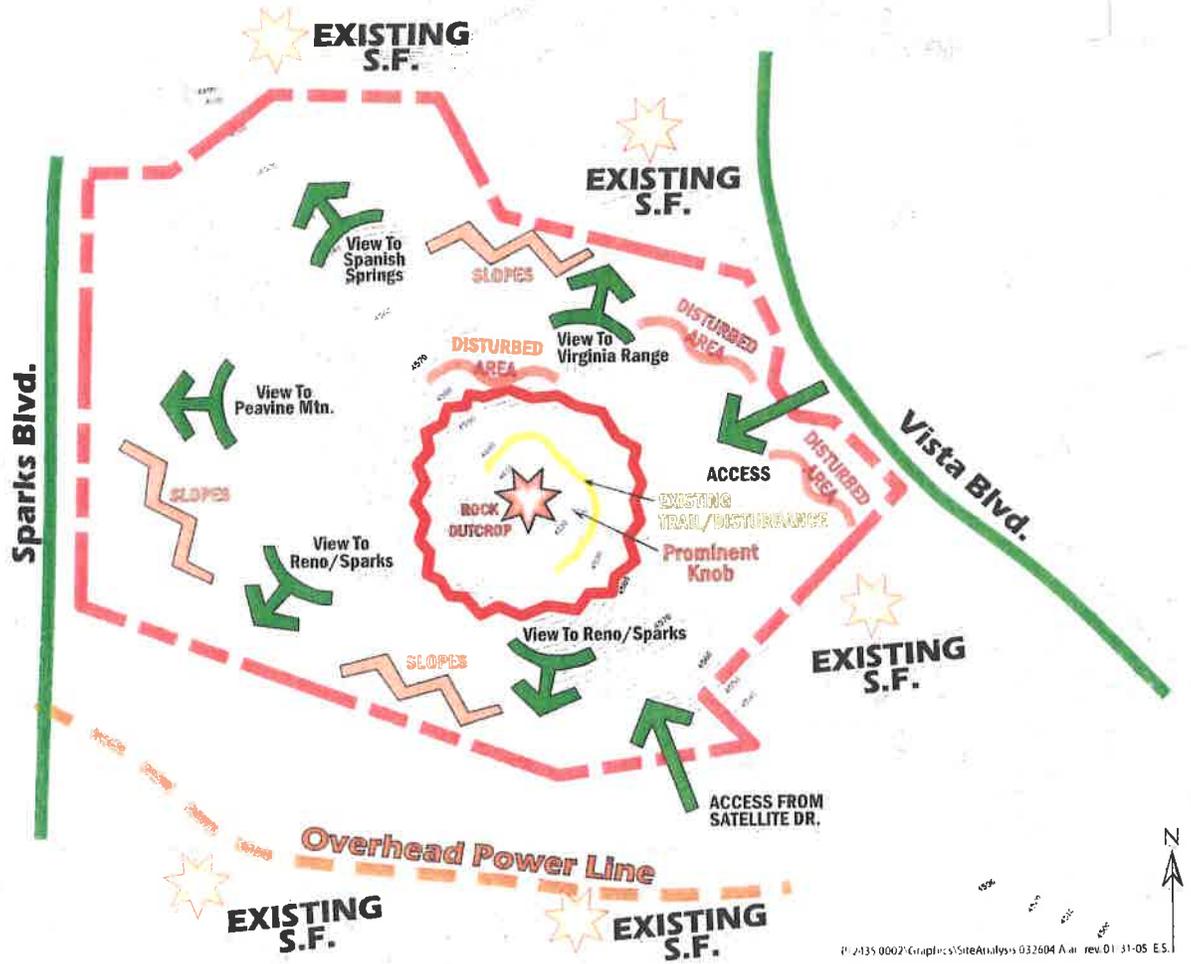


Figure 4 – Site Analysis

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Clustering of housing units within Eagle Peak will preserve the ridgeline that lies within the project boundaries. Additionally, clustering will provide for visual breaks between developed areas (both internal and external to Eagle Peak). There is also certain cost advantages associated with clustering: limiting site clearing and grading, reducing lineal footage of residential streets and utilities, etc. These separations between development also act as extreme weather moderators by reducing summer heat reflection and softening harsh winter winds. Storm water runoff volume is lessened by reduction in permeable surfaces, irrigation requirements are moderated by focused lotting, and a unique element/amenity will be added within the project design.

The Eagle Peak New Urban District (NUD) emphasizes focused development with design controls to enhance the natural features of the site. These design standards will provide for a community that stands out from other typical subdivisions in the area by promoting a sense of community and blending developed areas with the natural environment.

Definitions

Words and phrases used herein shall have the meaning as set forth in this handbook:

1. **Administrator:** - "Administrator" shall mean the City Manager or his lawfully designated representative.
2. **Architect:** - "Architect" shall mean design individual or firm contracted by the Master Developer to design the buildings to be constructed by the Developer, tenant, or user to design their building or tenant space, registered to practice architecture in the State of Nevada.
3. **City:** - "City" shall mean The City of Sparks, Nevada.
4. **Code:** - "Code" shall refer to the City of Sparks Municipal Code.
5. **Design Manual:** - "Design Manual" shall refer to The City of Sparks Design Standards Manual. Concepts and requirements for residential development contained therein are to be utilized and followed. References to other Municipal Code sections within this Manual, and other ordinances as may be applicable, shall be considered as if entirely stated herein.
6. **Design Standards:** - "Design Standards" shall refer to the contents of this handbook and any subsequent revisions approved by the City of Sparks.
7. **Master Developer:** - "Master Developer" shall mean Discovery Builders, Inc. its subsidiaries or subsequent owners, of all or part of this project, collectively referred to as "Master Developer."

8. **Conformance:** Any building/structure erected, placed, established, relocated, created or maintained in the Eagle Peak development shall conform to all standards, procedures, exemptions and all other requirements of The City of Sparks Municipal Code and the Design Standards.

Site Planning Standards

Allowed Uses:

- Single family dwellings of a permanent nature.
- Accessory buildings customarily incident to the above uses, located on the same lot, including tool/storage shed, garden house, children's playhouse, private workshop and private greenhouse (aggregate square footage of accessory structures on each lot - 175 square feet maximum, 12 feet maximum overall height). Location shall not obstruct neighboring views.
- Temporary sales office and model homes (in accordance with SMC 20.41).
- In home child care for the number of children legally permitted with one care giver.
- Home occupation in accordance with Sparks Municipal Code and Nevada Revised Statutes.

Prohibited Uses:

- Garages converted into living space or used exclusively for storage. Garages must maintain vehicle parking space(s), exclusive of accessory garage bays (third and fourth car garages).
- Second story decks, unless designed as part of the original permitted structure.

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Yards/Building Setbacks:

The setback standards included with Eagle Peak are intended to provide for a varied streetscape in order to achieve visual diversity and avoid a monotonous appearance. Therefore, front yard setbacks may be reduced to a minimum of 15-feet (20 feet to garage), allowing for the “staggering” of homes along the street frontage. Side yard setbacks included with Eagle Peak provide for varying distance between homes. This serves to create more privacy for individual residences and allows for more usable side yards.

Table 3 - Development Standards

Development Standard	Requirement
Minimum Lot Area	8,000 square feet
Minimum Lot Width	Corner Lot - 60 feet Interior Lot - 60 feet
Front Yard	15 feet minimum (to house) 20 feet minimum (to garage)
Side Yard	10 feet minimum, and 5 feet minimum (minimum of 15 feet between structures)
Rear Yard	20 feet minimum. Minimum useable rear yard area shall be no less than 500 square feet at 7:1 slope or less.

- A minimum 100-foot setback shall be provided from the center line of the 345 kv overhead power lines south of the Eagle Peak boundary and any inhabitable structure. Additionally, a disclosure notice shall be included with the sale of homes within 100 feet of the power line at time of sale.

Projections into Required Setbacks:

- Decks (not exceed 2 feet above finished grade) may project a maximum of 10 feet into the rear setback line as described above in the Yard/Building Setback Section. Main floors decks shall not project past any common area/open space easement lines. There will be no decks allowed on the second story unless designed as part of the original approved structure.

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- Cornices, canopies, eaves, chimneys, or similar architectural features may extend a maximum of 2 feet into a required front, rear, or side yard setback and are not to exceed more than 10% of each facade with architectural features.

Accessory Buildings:

- Must be located behind main structure.
- Rear setbacks: same as required rear setbacks of primary structure (residence).
- Maximum overall height: 12 feet measured from average grade around the building to the peak of the roof structure.
- Minimum distance from main structure: 10 feet.
- Maximum aggregate square footage: 175 square foot of floor area.

Parking:

- Minimum two (2) car garage and two (2) parking spaces in driveway per dwelling unit. Overall, there shall be at least one space provided for each bedroom on any given lot. Garage and driveway spaces may be counted as well as available on-street parking.

Height Limitation:

- Two Stories (including walk-out basement) or 30 feet. Building height is measured from average grade around the dwelling to the ceiling plate of the upper floor.

Site Grading

The overall grading concept for Eagle Peak is to provide for usable home sites and efficient circulation while ensuring that the prominent ridgeline within the site is retained. Additionally, grading will be used to ensure proper relationships between new homes and those that exist to the north and south of the project. Cut and fill will be balanced, to the extent practical, over the developed site. Views will be considered while maintaining a low visual impact to surrounding properties.

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Standards

- All disturbed areas not included within individual lots will be revegetated or restored per the requirements outlined in Chapter 20.99 of the Sparks Municipal Code. Proper erosion, dust control, and re-seeding techniques will be used as described in the most recent edition of the Handbook of Best Management Practices.
- Transitions at top and toe of graded slopes will be rounded to blend with the natural terrain. Abrupt, squared off transitions are permitted, where part of a traditional/symmetrical landscape design, or where less than 4-5 in height. See Figure 5, Proper Grading Techniques (below)
- Naturalistic grading will be used where complex re-contouring and revegetation must occur. Continuous expanses of land forms will be created to look natural as opposed to contrived or manmade. Where used, architectural or structured berms (i.e., retaining walls, earth buildings, sculptural land forms, etc.) will be an integral part of the architectural and landscape theme of the project, including consideration of color.
- Retaining walls consisting of materials such as native stone or decorative modular blocks will be used where grading dictates. Wall colors must be consistent within a given area. Walls will generally be terraced if higher than six feet. Bench widths may vary, but shall be no less than 10 feet. Rockery walls shall utilize Permeon or an approved substitute in order to blend rockery walls with the natural environment (if needed).
- Individual parcels will be graded to direct runoff away from buildings and into drainage facilities.

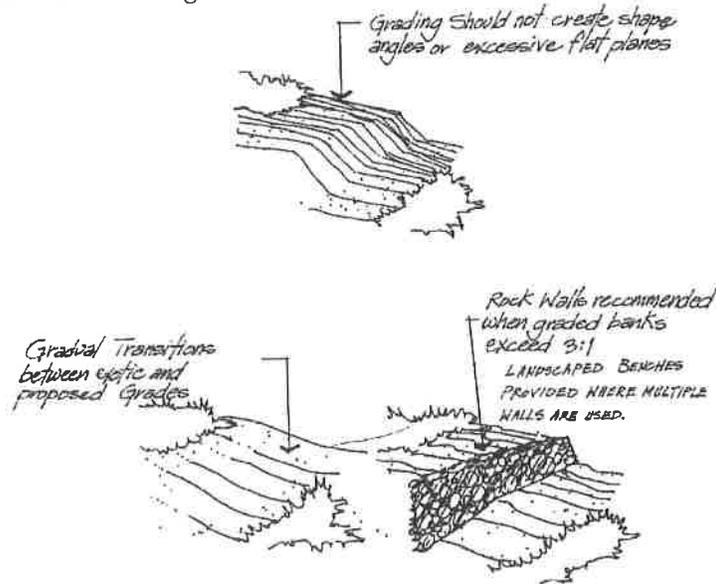


Figure 5 - Proper Grading Techniques

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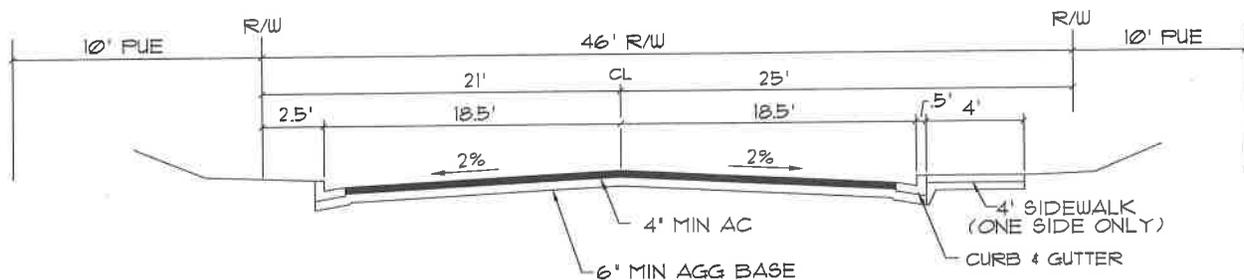
- All grading will follow City of Sparks Design Manual requirements. Fill slopes shall be constructed no steeper than 2:1, unless design includes terracing or other erosion control methods.
- For large cut slope areas, rockery walls shall be used as the stabilization method in order to reduce cut slope area and visual impacts. Rockery walls shall not exceed 6 feet in height, and will include the use of Permeon or equivalent substitute (if necessary) to blend walls with the natural landscape.

Infrastructure

Roadways

Roadways within Eagle Peak will be built to City of Sparks standards and will include a 46-foot right-of-way. This will provide for on-street parking on one side of the street. In order to reduce grading, a 4-foot sidewalk shall only be required on one side of the street, except where double loading (homes on each side of the street) conditions exist. These areas shall include sidewalk on both sides of the street.

Refer to Figure 6 (below) for typical street standards.



46' RIGHT OF WAY - TYPICAL SECTION
PUBLIC STREET

Figure 6 - Typical Street Section

General Standards:

- All utility plans shall be coordinated with appropriate agencies (i.e. Sierra Pacific Power Company, Truckee Meadows Water Authority, Telephone, and Cable TV).
- To the extent possible, joint trenches shall be used to accommodate new utility service to Eagle Peak.

Water

The Truckee Meadows Water Authority (TMWA) will provide water service to Eagle Peak. Water service shall be provided through one of the following:

- An 8" connection from Sparks Boulevard, looped through the Eagle Peak site to Vista Boulevard.
- An 8" looped system through Eagle Peak, connecting to existing TMWA facilities in Satellite Drive.

Natural Gas

Sierra Pacific Power Company will supply natural gas for new homes within Eagle Peak. One of the following methods shall be used to extend service to the project:

- A 2" looped system connecting facilities within Sparks Boulevard to those located within Vista Boulevard.
- Provide a 2" looped system through Eagle Peak, connecting to existing facilities within Satellite Drive.

Electric, Telephone, and Cable Television

Electric, telephone, and cable television service will be extended from existing facilities along Sparks Boulevard, Vista Boulevard, or Satellite Drive. Electric service will be provided by Sierra Pacific Power Company. SBC will provide telephone service, while Charter Communications will be the cable television provider.

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Stormwater Management

Due to the increase in the area of pervious surfaces proposed with Eagle Peak, there is an increase in the runoff from the site due to development. Therefore, no detention is proposed for this project. Additionally, there are no contributing watersheds to the site.

Runoff that is not intercepted by the new street (Eagle Peak Circle) and catch basins is routed via graded swales to the existing and proposed streets. The site runoff from the west portion of the property is carried to the north to the North Truckee Drain. The site runoff from the east is carried to the south to the Vista Blvd storm drain.

Sparks Boulevard currently has two (2) 12 inch storm drain lines, one south and the other north of the property. The south 12 inch line has a slope of 1.7%, the north 12 inch line has a slope of 4%. The north 12 inch storm drain line travels north to intersect the 30 inch north Truckee drain. Currently this existing 12 inch storm drain along Sparks Blvd north of the property is inadequate for the proposed flows. Therefore, replacement of the 12 inch line with an 18 inch storm drain line will correct this inadequacy.

Development of the Eagle Peak site shall not adversely impact adjacent or downstream properties.

Sanitary Sewer

The sanitary sewer system proposed for Eagle Peak will be routed to two points of connection. The first is to the existing system located in Vista Boulevard. A total of 12 of the proposed lots will flow southeast to this point. The second is to the existing sewer line located at the corner of Sparks Boulevard and Satellite Drive. The remaining 28 of the proposed lots will flow southwest to this point. Proposed 8-inch mains will serve both portions of the Eagle Peak project.

Following is an estimate of the sewage generated from full build out of Eagle Peak. Peak flows are calculated in accordance with the City of Sparks Public Works Design Manual. The average daily flow is 350 gpcd and the peak flow is 1,050 gpcd.

Sewage Generation							
Source		Lots	Flow (gal/capita/day)	Peak Daily Flow (MGD) (cfs)		Average Daily Flow (MGD) (cfs)	
Single Homes	Family	40	350	0.042	0.065	0.014	0.022

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The 8-inch sanitary sewer mains proposed to sewer Eagle Peak have a full flow capacity of 1.12 cfs and a half full capacity of 0.56 cfs based on a slope of .01 ft/ft. and a roughness coefficient (Manning's "n" value) of 0.014. The total peak flow to the 8-inch mains equates to 0.192 cfs which is well below the half flow capacity of the main. The City of Sparks has indicated there is adequate capacity in the existing downstream systems to handle the anticipated flows generated by this project. A detailed study will be prepared with the final improvement plans.

Pedestrian Circulation

Sidewalks

Eagle Peak shall incorporate a series of pedestrian amenities, ensuring efficient and logical internal circulation. In order to reduce the amount of required grading, consistent with Chapter 20.99 of the Sparks Municipal Code, sidewalks shall only be required on one side of all streets within Eagle Peak, with the exception being where "double loaded" (homes on both sides of the street) conditions exist. These areas shall require sidewalk on both sides of the street. Sidewalks shall be a minimum of 4 feet wide (4 feet from front-face of curb) and shall be concrete. Asphalt sidewalks are prohibited.

Architecture

The intent of the architectural design character of Eagle Peak is to evoke an upscale character while providing a traditional feel that complements the site's natural features.

Single and two-story homes will be developed for flat lots, while "split-pad" home sites will include multi-level architecture. The plans included within Eagle Peak shall be reviewed in context of the City of Sparks Design Standards Manual for consistency with the community's vision for single family residential development.

Design Guidelines:

- Eagle Peak will incorporate 5 home plans, each with a minimum of 3 distinct exterior elevations, providing 15 total variations.
- A minimum of 6 coordinated color packages, oriented towards earth tone spectrums, shall be provided to add for overall visual interest within the project.
- Exterior elevations shall not be permitted to repeat adjacent to each other (minimum 3-house separation).
- Site and floor plans will respond to the individual orientation, access, views, and privacy requirements of adjacent lots.

EAGLE PEAK DEVELOPMENT STANDARDS HANDBOOK

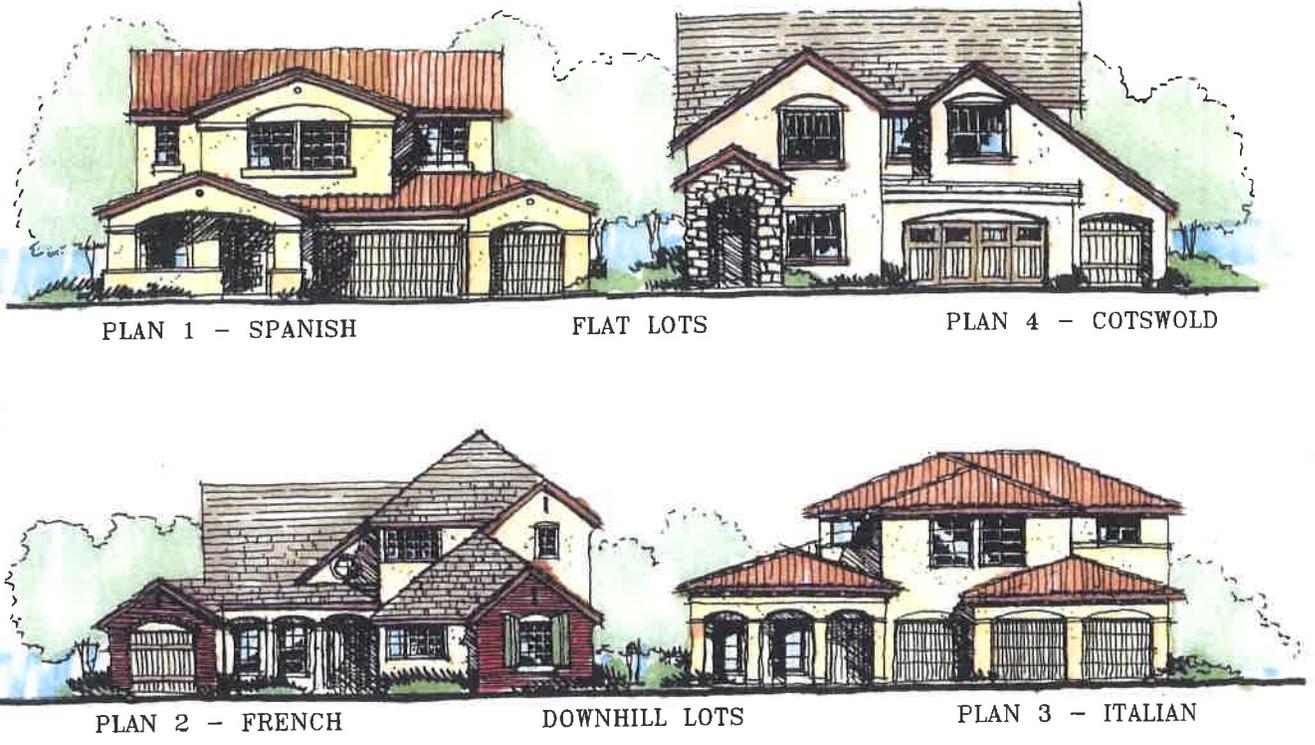
- Homes with street loading garages that are 50% or more of the total overall length of the street building façade, shall incorporate a minimum 2-foot offset as part of the front façade.
- Architecture shall properly relate to the human scale by providing for varied roof lines and garage door locations, ensuring that the final footprint reflects a varied streetscape appearance.
- Varied front yard setbacks shall be required to maintain a varied streetscape appearance.
- Stucco with a medium lace finish shall be the primary exterior material.
- Homes shall include flat tile roofs with matching vents and jacks, and incorporate full gutters and downspouts.
- Quality white vinyl frame windows with internal grid systems for front elevations shall be required.
- All elevations shall provide full window trim.
- At a minimum, elevations shall include two of the following acceptable accent materials: lap, shingle or vertical style sidings, built-up trims, shutters, pop-outs and recesses, bracketing, exposed rafter tails, stone or brick veneers, wrought iron detailings and railings, or wood railings.
- All building colors will be reviewed and approved by the City of Sparks Community Development staff. Colors must relate to the selected architectural style. Bright colors such as pink, lavender, and purple are not allowed. Bright blues, yellows, and reds (except natural brick) shall only be allowed as accent colors. Subtle variation in colors shall be a requirement throughout developed areas of Eagle Peak.
- Front porches and/or courtyards shall be incorporated into the elevation offerings.
- All side-load garages shall contain windows and detailings (i.e. shutters, architectural trim detail, etc.) and full architectural treatment consistent with main house.
- All houses shall be finished on all four sides with regard to rooflines, windows, and architectural features.

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- Minor adjustments to the architecture which are consistent with the project theme may be allowed with approval by City Staff.
- Siding materials shall be continued down close to finished grade on any elevation visible from public areas to eliminate large areas of exposed foundation, or foundation may be covered with stone, brick, rubble or similar materials.
- Overhead screens, shade covers, patio roofs, and other similar structures shall be constructed of materials and colors to match or complement the main roof.
- Any building addition or additional building(s) over 120 square feet in size on a property shall match the main structure in building design, building materials, roof pitch, and architectural character.
- Passive solar heating is highly encouraged within Eagle Peak where lot size, topography, and orientation allow. This can be achieved by locating building pads to take advantage of southern exposures, etc.

The Eagle Peak NUD allows for flexibility in architectural design while ensuring high quality development with the standards detailed above. Figure 7 (following page) depicts a typical streetscape within Eagle Peak, while Figures 8 through 11 depict the envisioned architectural elevations that meet the intent of the Eagle Peak NUD and the standards outlined in this handbook.

EAGLE PEAK DEVELOPMENT STANDARDS HANDBOOK



STREETSCAPE
EAGLE PEAK

S P A R K S N E V A D A

EDI of NEVADA - ARCHITECTURE / PLANNING
2800 POST OAK BOULEVARD, SUITE 3800
HOUSTON, TX 77058
T 713-375-1400 F 713-375-1400



05017
26 JAN 06
Eagle Peak-PRSS.dwg
DISCOVERY BUILDERS, INC. 00

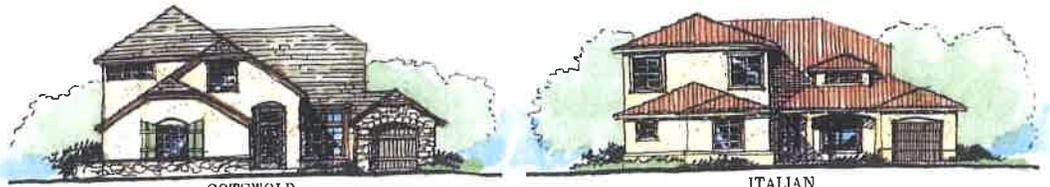
Figure 7 - Typical Architectural Streetscape

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Figure 8 – Typical Architecture

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COTSWOLD

ITALIAN



SPANISH

FRENCH

PLAN 2



LEFT

RIGHT



REAR

PLAN 2 - TYPICAL REAR & SIDE ELEVATIONS (Italian)

Figure 9 – Typical Architecture

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Figure 10 – Typical Architecture

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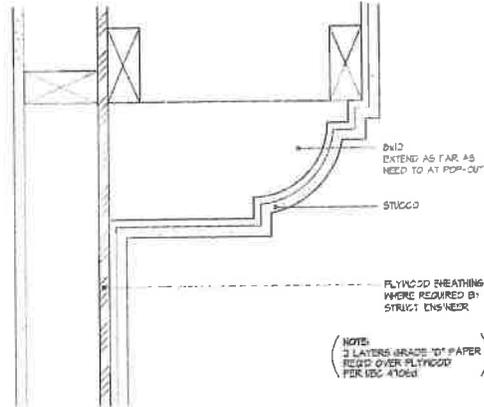


PLAN 4 - TYPICAL REAR & SIDE ELEVATIONS - Cotswold
◇ EAGLE PEAK ◇

Figure 11 - Typical Architecture

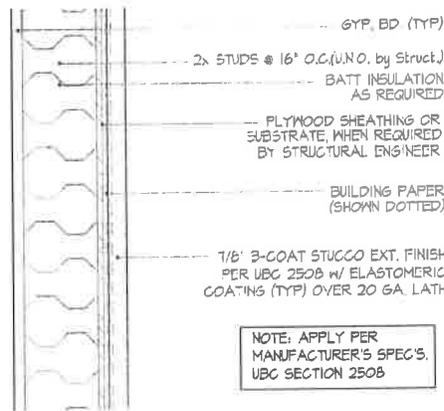
EAGLE PEAK DEVELOPMENT STANDARDS HANDBOOK

Figure 12 (below) and Figure 13 (following page) depict the typical details that will be used for the elevations within Eagle Peak.



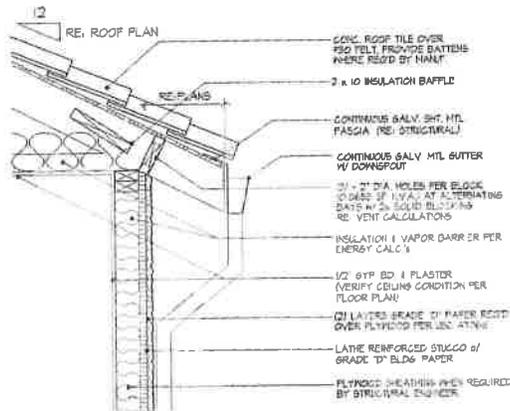
BRACKET AT STUCCO ELEVS.

D-11



TYP. EXTERIOR STUCCO FINISH

D-12



TYPICAL EAVE

D-13

Figure 12 – Typical Details

Trail System

A trail is proposed linking Eagle Peak Circle with the onsite knob area that will be located within dedicated open space. The following standards shall apply to the trail:

- Trail width shall be a minimum of 6 feet.
- The trail shall be constructed utilizing decomposed granite with side “headers” or asphalt grindings.

Landscape Architecture

Front yard landscaping shall be completed prior to the issuance of a final certificate of occupancy for each home within Eagle Peak. Front yard landscaping shall include at a minimum:

- Two trees (50% at 6’ and 50% at 8’ for evergreen, and 2-inch or greater caliper for deciduous).
- Turf Areas (not to exceed 2,000 square feet).
- Ten shrubs (5 gallon minimum).
- Automatic sprinkler system (turf areas) with drip irrigation (trees and shrubs).

Note: Front yard landscaping, as detailed above, shall be included as a standard item by the project developer. Landscaping shall be installed by the developer and is to be maintained by individual homeowners as homes are sold

Rockery Walls/Landscape Treatment

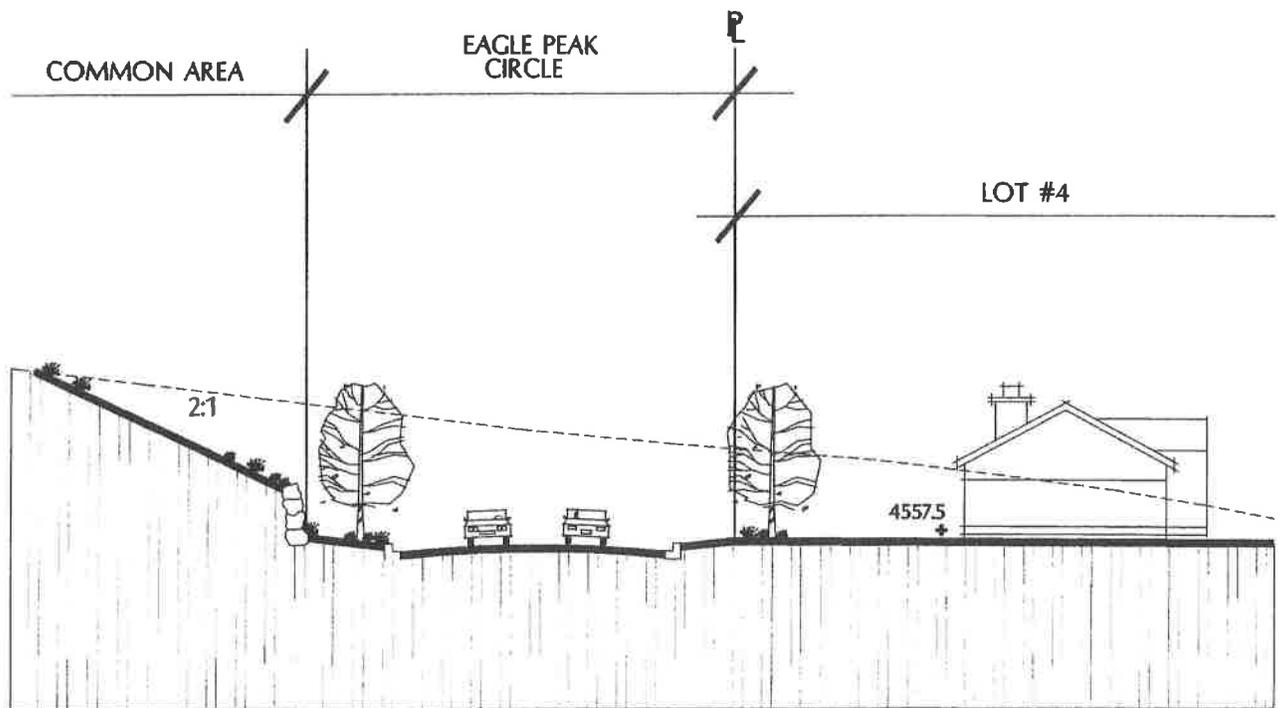
The use of rockery walls within Eagle Peak is required to provide a more aesthetically pleasing solution to the stabilization of slopes within graded areas. These rockery walls will not only serve to pick up the grades across the site but will also set the landscape design theme for the property.

The rockery wall concept for Eagle Peak is to vary wall heights (consistent with the grading standards previously detailed) and spacing and provide for planting areas between a series of terraced rockery walls. Landscaping within these terraced planting areas will consist of evergreen trees and a mix of deciduous and evergreen shrubs that soften the walls. The following rockery wall planting standards shall apply:

- Trees shall be planted at a rate of 1 tree per 30 lineal feet of bench area.
- Plantings shall consist of 70% evergreen (50% at 8-foot, 50% at 6-foot), and 30% deciduous (2-inch caliper).
- Shrubs (50% at 1 gallon. 50% at 5 gallon) shall be planted at a rate of 6 shrubs for every required tree.

Walls shall provide curvature at termination points in order to transition to existing grades

A cross-section of the typical rockery wall concept and associated landscape treatments is depicted in Figure 14 (below).



Typical Section

Figure 14 – Typical Rockery Wall Landscape Treatment

Disturbed Grading Areas

All areas disturbed by grading located in the dedicated common areas that will not be formally landscaped or developed with rockery walls, will be reseeded with a mixture of grasses, forbes, and shrubs consistent with existing on site vegetations to provide a transition to native plant species on undisturbed portions of the site. The plantings are intended to blend with the existing hillside plants. Species to include, but not limited to, Sagebrush, Rabbit Brush, Mormon Tea, etc.

Project Entry

Eagle Peak will incorporate a project entry monument along Satellite Drive with landscape improvements. The project entry will welcome residents and guests with attractive sign(s), plantings and lighting. The landscape design will express the overall image of Eagle Peak.

At a minimum, the project entry shall include landscape treatments that provide for community identity, providing visual separation from adjoining projects. This includes formal and informal plantings to the north and south of the main entry road, as depicted in Figure 15 (below).



Figure 15 – Project Entry Monument/Landscape Treatments

EAGLE PEAK DEVELOPMENT STANDARDS HANDBOOK

In addition to the Satellite Drive entry, the emergency access along Vista Boulevard will also include landscape improvements to provide an aesthetically pleasing external streetscape, as depicted in Figure 16 below.



Figure 16 – Vista Boulevard Streetscape

Entry Landscape Standards (Including Secondary at Vista Boulevard)

- Deciduous canopy trees will be sized with 25% at one inch caliper, 50% having a minimum caliper of two inches, and 25% having a minimum caliper of three inches at the time of planting, measured six (6) inches above the root ball.
- Evergreen trees will consist of the following height mix at the time of planting: 50% at 6 feet height, 25% at 8 feet height, and 25% at 10 feet height (measured from finished grade to tree apex).
- A minimum of 50% of the shrubs installed will be 5 gallon size.
- Entry landscaping shall be installed by the developer prior issuance of first certificate of occupancy of homes.
- Lighting shall conform to the provisions of the City of Sparks Municipal Code.
- A maximum 14 foot long by 6 foot high indirectly or non-illuminated project identification entry monument sign(s) shall be permitted. The entry monument may be located on either side of the project entry along Satellite Drive
- No signs shall be erected at the secondary access located along Vista Boulevard.
- The entry monument sign will be either integrated into terraces, architectural features or freestanding. The sign material will consist of either concrete, stucco, rock, wrought iron/metal or a combination of these materials consistent with the theme of the project.
- Lighting of the sign shall be indirect and shall conform to specifications provided within the Sparks Municipal Code.

Open Space/Common Area Maintenance

A homeowners association (HOA) will be created for Eagle Peak. The HOA shall be responsible for all common area maintenance.

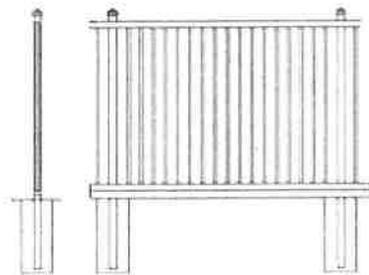
Walls and Fences

This section addresses the walls and fences on the individual lots, exclusive of the entry. Walls and fences provide visual screening, privacy, and security.

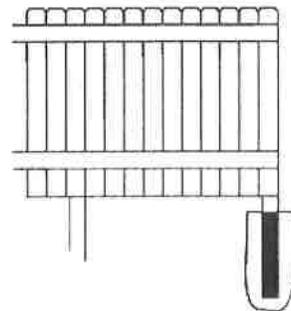
Privacy Fencing

- Solid 6 foot fencing (cedar or redwood) will be allowed between homes but shall not extend past the front yard setback line of each house.
- Rear yard area fencing adjacent to common areas must be open and will include 4' or 6' black wrought iron.
- Side and rear yard (excluding rear yards backing to common areas) fencing shall consist of a 6-foot solid wood fence, consistent with that depicted in Figure 17 (below).
- Interior court yard stucco fencing/wall may be constructed provided they are limited to 6 feet in height and constructed in conformance with architectural floor plans. Courtyard fencing can be designed to be incorporated into side yard retaining walls (if applicable).

Figure 17 (below) provides for the typical fencing standards permitted within Eagle Peak.



Typical Wrought Iron Fencing



Typical Solid Wood Fencing

Figure 17 – Typical Fencing

Signage

Signage will be limited to entry sign(s), street address signs and the street signs. The sign standards presented are purposely intended not to be overly prescriptive to allow for the artistic development of signs to be concurrent with the more detailed development of the architecture.

Information and Directional

Street address signs will be integrated with the architecture of each home.

Lighting

Lighting within Eagle Peak shall conform to the requirements outlined within the City of Sparks Municipal Code. The project may incorporate decorative street fixtures, to the approval of City staff, if it can be demonstrated that the fixtures conform to Municipal Code requirements.

Project Phasing

Eagle Peak may include up to four phases for development. Mass grading of the site may occur with the initial phase of the project. Any disturbed areas not developed within the first phase shall require treatment with a Washoe County District Health Department approved dust palliative, with perimeter silt fencing to ensure that blowing dust does not occur. Trail improvements to the onsite “knob” shall be completed with the first phase of development.

Administrative Approval for Minor Revisions

The Administrator shall have the authority at his/her discretion to administratively approve minor deviations in the plans, standards, and guidelines as requested by the Master Developer. Minor deviations include, but are not limited to, parcel configurations, parcel sizes, irregular lots, building heights, setback conditions, etc. (up to 10%). Any deviation or modification that exceeds 10% will require an amendment of the Final Planned Development Handbook.

Design Flexibility

The final development plan, standards, and regulations contained in this handbook are intended to depict the general nature and intensity of the development proposed within Eagle Peak. Sufficient flexibility shall be allowed to permit detailed planning and design at time of actual development (to the approval of the administrator). The configuration and acreage of development parcels and phases may be altered from what is shown on the Conceptual Site Plan to accommodate detailed site conditions.

Construction Hours

Construction hours for Eagle Peak shall be limited to the following:

Monday through Friday: 7:00 am to 7:00 pm

Saturday: 9:00 am to 5:00 pm

Sunday and City-Observed Holidays: No construction activity

Omissions

In cases where the handbook does not specifically address a standard/subject, the provisions of the Sparks Municipal Code, Sparks Design Manual, and NRS in effect at the time shall prevail.



WASHOE COUNTY RECORDER

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Printed Name