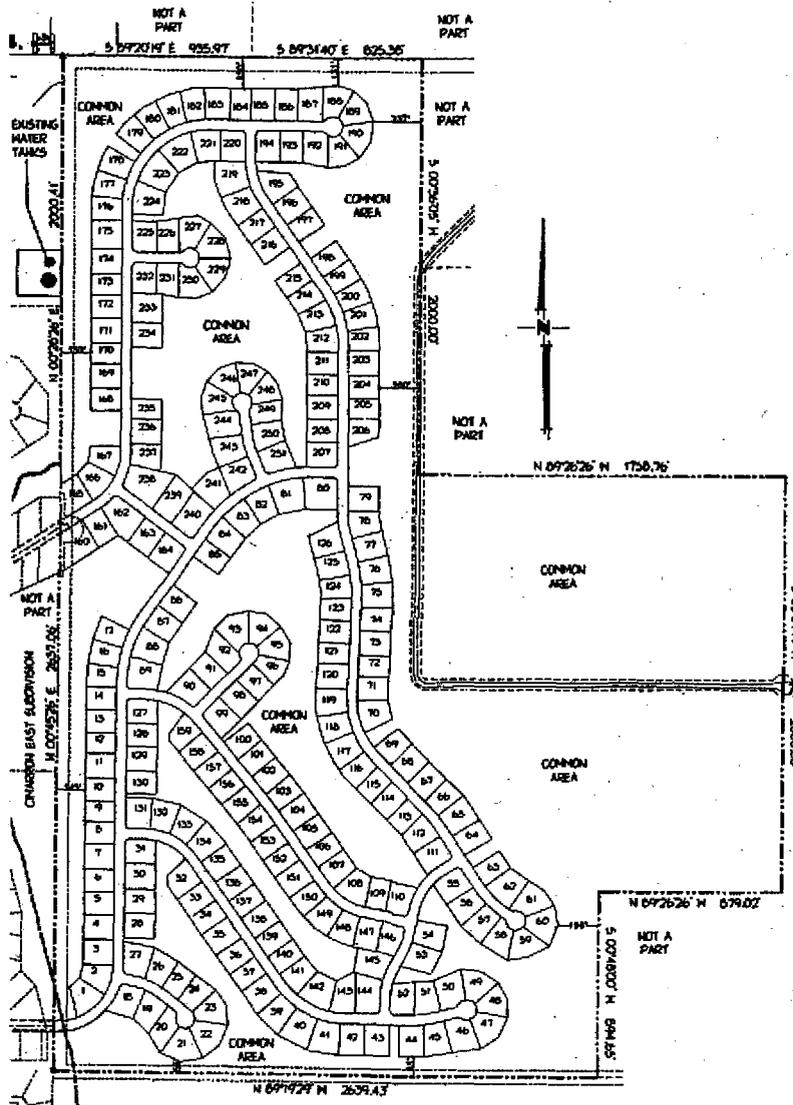




# Annexation, Master Plan Amendment, Rezoning & Planned Development Applications

## for

# THE UPPER HIGHLANDS AT CIMARRON EAST



December 2003

Prepared By:



**WOOD RODGERS**  
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# WOOD RODGERS

October 22, 2003

City of Sparks  
**City Works**  
**ATTN: Sparks Planning Department**  
1675 East Prater Way, Suite 107  
Sparks, Nevada 89432

**Re: Cooperative Planning for The Upper Highlands at Cimarron East Annexation, Master Plan Amendment, Rezone & Tentative Planned Development Review Applications**

To Whom It May Concern:

This letter is a request to process the attached Annexation, Master Plan Amendment, Rezone, and Tentative Planned Development Review applications for the Upper Highlands at Cimarron East, a Reynen and Bardis Development. Please refer to section **2. Development Application** for information on Reynen and Bardis. The proposed 251 lot single family residential subdivision is to be an extension of an existing Reynen and Bardis subdivision; the Highlands at Cimarron East. The subject property consists of 296.27 acres located within the City of Sparks Sphere of Influence and the Cooperative Planning Area. The resulting density for the proposed project is 0.85 dwelling units per acre, and access is through the existing Highlands at Cimarron East Subdivision. Please refer to the attached development application, figures, and legal descriptions for further clarification on the location and configuration of the subject property.

The result of a settlement agreement resolving lawsuits involving the adoption of the 2002 Regional Plan was the establishment of the Cooperative Planning Area. For properties within the extended City of Sparks sphere of influence and in the Cooperative Planning Area, the settlement agreement defines the baseline land use as the County land use prior to May 9, 2002. If a proposed amendment will change the land use to a more intense land use relative to the baseline, then cooperative planning will apply. Since the subject property is within both the established Cooperative Planning Area and the extended City of Sparks sphere of influence, and a more intense land use is proposed, the cooperative planning criteria must be met. Please refer to part **C. Cooperative Planning** of section **6. Application Findings** within this application for a detailed explanation on how The Upper Highlands at Cimarron East meets the cooperative planning criteria. The findings section also contains the required findings for each application.

In a meeting on September 19<sup>th</sup>, 2003 between members of Washoe County Planning, City of Sparks Planning, and Wood Rodgers Inc. procedures for communication and document routing between the entities were agreed upon. The City of Sparks will receive 27 copies of the application, 12 copies will be delivered to the Washoe County Planning Department, and 3 copies will go to the Washoe County Utility Services Division. The delivery of all necessary materials to the appropriate Washoe County entities will be monitored by the City of Sparks. Additionally, it was agreed upon that the applicant will make presentations to the Sparks Citizens Advisory Committee, the Washoe County Citizen Advisory Board, and the Washoe County

Planning Commission Cooperative Planning Sub-committee. These meetings are in addition to those required within the City of Sparks entitlement processes.

The following pages comprise the annexation, master plan amendment, rezone, and Tentative Planned Development handbook applications for the Upper Highlands at Cimarron East. Please refer to section *1. Requested Actions* for a detailed description of each application.

If you have any questions regarding these applications please give me a call.

Thank you,  
*Wood Rodgers*

A handwritten signature in black ink, appearing to read 'Robb Owen', with a stylized flourish at the end.

Robb Owen, P.E.

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SCHEDULE OF EXHIBITS

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- X. Fiscal Impact Analysis
- Y. Vegetation and Wildlife Assessment
- Z. Annexation Map

Note: Sections 4-7 and Exhibits A-O are to make up the contents of the Development Handbook

**REQUESTED ACTIONS:**

**1. Annexation:**

The annexation application is to bring 296.27 acres into the City of Sparks. The property currently has a Washoe County zoning of General Rural (1 dwelling unit per 40 acres). This zoning will be converted upon annexation, per the City of Sparks Code to A40 (1 dwelling unit per 40 acres).

**2. Master Plan Amendment:**

The proposed amendment to the City of Sparks Master Plan is to change the land use designation of the subject parcels from Open Space/Rural Reserve (1 dwelling unit per 40 acres) to Estate Density Residential (1-3 dwelling units per acre).

**3. Rezone:**

The rezoning application is to change the zoning of all 296.27 acres from R1-40 to New Urban District (NUD). It should be noted that future development of the subject site under the NUD zoning must conform to the requirements established in the Planned Development Handbook.

**4. Tentative Planned Development Review Application:**

The Tentative Planned Development Review Application is to create a development handbook for a 251 lot subdivision on the subject property. Handbook guidelines will be very similar in theme and housing product to the existing Highlands at Cimarron East Subdivision. The Planned Development Handbook will be created per section 20.18 of the City of Sparks Municipal Code.

**DEVELOPMENT APPLICATION**

**ACTION REQUESTED:**

- Administrative Review
- Annexation
- Planned Development
- Rezoning
- Special Use Permit
- Tentative Subdivision Map
- Master Plan Amendment
- Site Plan Review

DATE: 10/1/03

PROJECT NAME: The Upper Highlands at Cimarron East

PROJECT DESCRIPTION: 251 lot single family residential development

LEGAL DESCRIPTION OF PROPERTY: Lot \_\_\_\_\_ Block \_\_\_\_\_ Subdivision \_\_\_\_\_

SEE ATTACHED LEGAL DESCRIPTION

(If property is not in a recorded subdivision, attach legal description and map)

PROPERTY OWNER/APPLICANT\*

Name: Reynen & Bardis Development(Nevada), LLC

Address: 1380 Greg St, Suite 230  
Sparks, NV 89431  
 Phone: (775)355-0507  
 Fax: (775)355-5708

DEVELOPER/LESSEE\*

Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 \_\_\_\_\_  
 Phone: \_\_\_\_\_  
 Fax: \_\_\_\_\_

PERSON/FIRM PREPARING PLANS:

Name: Wood Rodgers Inc.  
 Address: 4599 Longley Lane  
 Phone: (775)823-4068

Fax: (775)823-4066

(Mark a box to indicate responsible party and mailing address.)

\*If a corporation, please attach a list of corporate officers. If a partnership, please list all general partners.

CASE NUMBER	FEE
_____	\$ _____
_____	\$ _____
_____	\$ _____
_____	\$ _____
_____	\$ _____
<u>Noticing Fee</u>	\$ _____
<b>TOTAL FEE</b>	<b>\$ _____</b>
Rec'd by: _____	Date: _____
(For Planning Department Use)	

PROJECT ADDRESS:

0 Desert Fox Drive, Sparks NV

PARCEL NO. (APN): 084-400-05, 06, 09, 10, 11, & 12

PROPERTY SIZE: 296.27 AC

EXISTING ZONING: General Rural(Washoe Co.)

PROPOSED ZONING: NUD

EXISTING MASTER PLANNED USE: OS/RR

EXISTING USE: Vacant

SURROUNDING USES:

North: Single Family Residence/Vacant

East: Vacant

South: Vacant

West: Cimarron East Subdivision

NOTE: Affidavits on reverse side must be signed and notarized before the application is submitted.

City of Sparks Planning Department  
RESIDENTIAL PROJECT DATA SHEET

Date: 10/1/03

CASE NUMBERS  
(By Planning Dept.)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Project Name: The Upper Highlands at Cimarron East

A. NUMBER OF DWELING UNITS  
Single Family Detached 251  
Duplexes and Townhouses \_\_\_\_\_  
Apartments and Condos \_\_\_\_\_  
TOTAL 251

B. SITE AREA BREAKDOWN  
Lots or Buildings 102.51AC 34.5%  
Public Street R/W 20.59 AC 7.00%  
Common Area 173.17AC 58.5%  
TOTAL 296.27AC 100.0%

C. GROSS DENSITY  
251 / 296.27 = 0.85  
Total Total Gross  
Dwelling Area Density  
Units (Acres) (DU/AC)

D: SCHOOLS  
List schools serving project:  
Elementary School Van Gorder Elementary  
Middle School Sparks Middle School  
High School Spanish Springs High School

WATER SUPPLY (See Attached Calculations)

Estimated water demand:  
Domestic 150.62 AFY  
Irrigation \_\_\_\_\_ AFY  
TOTAL 150.62 AFY

Source of water supply:  
Washoe County Utilities  
(If commitment has been issued,  
attach SPPC "will-serve" letter)

Water rights appurtenant to property on which this project is proposed:  
Amount N/A AFY Current Use \_\_\_\_\_

F: SEWER SERVICE (attached Calculations)  
(251 DU)x(350GPD/DU)x(3)=263,550 GPD  
Estimated sewage to be generated  
by the project 263,550 GPD

G: TRAFFIC (See Attached Traffic Analysis)

Average Daily Traffic \_\_\_\_\_ TRIPS  
Peak Hour Traffic \_\_\_\_\_ TRIPS

H: AIRCRAFT NOISE

Is this project within the 65 Ldn  
Noise impact area? Yes  No

I: FLOOD HAZARD

Portion of site subject to inundation  
by 100 Yr. flood: 0 AC 0 %

J: SLOPE DATA

Portion of site with slopes from 0 to 10% 191.21AC 64.5%  
Portion of site with slopes from 10 to 15% 60.46AC 20.4%\*  
Portion of site with slopes exceeding 15% 44.60AC 15.1%\*

\*If slopes on 25% of the site exceed 10%, a special use permit is required.

(Abbreviations: AC=Acres, AFY=Acre Feet per Year, FT=Feet, BR=Bedrooms, DU=Dwelling Units,  
GPD=Gallons per Day, SF=Square Feet, SP=Parking Spaces)

**SINGLE FAMILY DWELLINGS**

Complete for portion of project consisting of Single Family Dwellings)

Lot sizes:

13,000 SF Min. (Corner)  
 13,000 SF Min. (Interior)  
 31,084 SF Maximum  
 17,790 SF Average

~~Minimum building setbacks:~~  
 20 FT. Front Yard (To Dwelling)  
 20 FT. Front Yard (To Garage)  
 20 FT. Exterior Side Yard  
 7.5/12.5 FT. Interior Side Yard (To Dwelling)  
 7.5/12.5 FT. Interior Side Yard (To Garage)  
 20 FT. Rear Yard

Unit sizes:

2000 SF Min. \_\_\_ BR  
 \_\_\_ SF Max. \_\_\_ BR

Parking provided:

~~Lot coverage:~~  
 Maximum 35%

Garage 2 \_\_\_ SP/Unit  
 Carport \_\_\_ SP/Unit  
 Open 2 \_\_\_ SP/Unit  
 TOTAL 4 \_\_\_ SP/Unit

~~Max. Bldg. Height:~~

40 FT 2 Stories

**L: DUPLEXES AND TOWNHOUSES**

(Complete for portion of project consisting of Duplexes and Townhouses)

Lot sizes:

\_\_\_ SF Min. (Corner)  
 \_\_\_ SF Min. (Interior)  
 \_\_\_ SF Maximum  
 \_\_\_ SF Average

Minimum building setbacks:

\_\_\_ FT. Front Yard (To Dwelling)  
 \_\_\_ FT. Front Yard (To Garage)  
 \_\_\_ FT. Exterior Side Yard  
 \_\_\_ FT. Interior Side Yard (To Dwelling)  
 \_\_\_ FT. Interior Side Yard (To Garage)  
 \_\_\_ FT. Rear Yard

Unit sizes:

\_\_\_ SF Min. \_\_\_ BR  
 \_\_\_ SF Max. \_\_\_ BR

Parking provided:

Lot coverage:  
 Maximum \_\_\_%

Garage \_\_\_ SP/Unit  
 Carport \_\_\_ SP/Unit  
 Open \_\_\_ SP/Unit  
 TOTAL \_\_\_ SP/Unit

Max. Bldg. Height:

\_\_\_ FT \_\_\_ Stories

**M: APARTMENTS AND CONDOMINIUMS**

(Complete for Portion of Project consisting of Apartments and Condos)

Site Area breakdown:

Building Coverage \_\_\_ AC \_\_\_ %  
 Private Streets and parking \_\_\_ AC \_\_\_ %  
 Landscaping and Recreation \_\_\_ AC \_\_\_ %  
 TOTAL \_\_\_ AC 100%

Net density:

\_\_\_ / \_\_\_ = \_\_\_  
 Dwelling Net Net  
 Units Area\* Density  
 (Acres) (DU/AC)

\*Area excluding public streets

Minimum building setbacks:

\_\_\_ FT From Public Street R/W  
 \_\_\_ FT From Private Street  
 \_\_\_ FT From Adjacent R1 Lots  
 \_\_\_ FT From Other Project Boundaries

Required parking:

No. Studios \_\_\_ x 1.5 = \_\_\_ SP  
 No. 1BR \_\_\_ x 1.5 = \_\_\_ SP  
 No. 2BR \_\_\_ x 2.0 = \_\_\_ SP  
 No. 3BR \_\_\_ x 3.0 = \_\_\_ SP

Parking provided: \_\_\_ SP

**REYNEN AND BARDIS**  
**WATER RIGHTS AND METER FUND CONTRIBUTION**  
**CALCULATION WORKSHEET**

Line No.	Lot Number	Lot Size	Demand Calculation
1	1	18,564	0.61
2	2	16,980	0.59
3	3	18,000	0.60
4	4	18,000	0.60
5	5	16,504	0.59
6	6	16,504	0.59
7	7	18,000	0.60
8	8	16,241	0.58
9	9	15,000	0.57
10	10	16,500	0.59
11	11	18,000	0.60
12	12	15,000	0.57
13	13	16,500	0.59
14	14	16,500	0.59
15	15	15,718	0.58
16	16	15,936	0.58
17	17	15,936	0.58
18	18	18,664	0.61
19	19	18,854	0.61
20	20	17,365	0.60
21	21	20,886	0.63
22	22	19,474	0.62
23	23	17,523	0.60
24	24	16,015	0.58
25	25	15,417	0.57
26	26	17,580	0.60
27	27	19,745	0.62
28	28	17,640	0.60
29	29	18,000	0.60
30	30	18,000	0.60
31	31	17,817	0.60
32	32	18,863	0.61
33	33	16,500	0.59
34	34	15,000	0.57
35	35	18,000	0.60
36	36	16,500	0.59
37	37	15,000	0.57
38	38	19,272	0.62
39	39	18,705	0.61
40	40	21,021	0.63
41	41	20,096	0.63
42	42	18,659	0.61
43	43	18,000	0.60
44	44	18,427	0.61
45	45	18,017	0.60
46	46	19,931	0.62
47	47	18,553	0.61
48	48	15,826	0.58
49	49	17,363	0.60
50	50	19,998	0.62
51	51	17,307	0.60
52	52	18,094	0.61
53	53	18,614	0.61

The Upper Highlands at Cimarron East

54	54	17,991	0.60
55	55	18,220	0.61
56	56	17,015	0.59
57	57	17,797	0.60
58	58	17,595	0.60
59	59	18,672	0.61
60	60	19,325	0.62
61	61	19,902	0.62
62	62	21,621	0.64
63	63	15,376	0.57
64	64	16,500	0.59
65	65	19,297	0.62
66	66	15,316	0.57
67	67	17,985	0.60
68	68	17,995	0.60
69	69	16,426	0.59
70	70	19,466	0.62
71	71	17,241	0.60
72	72	15,000	0.57
73	73	18,000	0.60
74	74	16,880	0.59
75	75	17,627	0.60
76	76	17,627	0.60
77	77	17,480	0.60
78	78	17,481	0.60
79	79	18,006	0.60
80	80	24,202	0.66
81	81	23,506	0.66
82	82	17,964	0.60
83	83	17,886	0.60
84	84	19,248	0.62
85	85	15,000	0.57
86	86	18,000	0.60
87	87	18,594	0.61
88	88	21,214	0.64
89	89	21,700	0.64
90	90	20,419	0.63
91	91	16,500	0.59
92	92	18,788	0.61
93	93	20,488	0.63
94	94	17,218	0.59
95	95	16,264	0.58
96	96	15,146	0.57
97	97	16,500	0.59
98	98	18,000	0.60
99	99	19,254	0.62
100	100	15,750	0.58
101	101	16,430	0.59
102	102	16,500	0.59
103	103	15,738	0.58
104	104	18,000	0.60
105	105	16,500	0.59
106	106	15,000	0.57
107	107	17,740	0.60
108	108	20,352	0.63
109	109	15,000	0.57
110	110	17,446	0.60
111	111	18,059	0.60
112	112	18,468	0.61
113	113	15,000	0.57

The Upper Highlands at Cimarron East

114	114	16,500	0.59
115	115	15,000	0.57
116	116	16,725	0.59
117	117	19,346	0.62
118	118	17,598	0.60
119	119	18,892	0.61
120	120	18,000	0.60
121	121	15,000	0.57
122	122	16,500	0.59
123	123	15,613	0.57
124	124	15,255	0.57
125	125	16,993	0.59
126	126	18,880	0.61
127	127	17,808	0.60
128	128	16,500	0.59
129	129	18,000	0.60
130	130	15,941	0.58
131	131	18,512	0.61
132	132	17,983	0.60
133	133	17,983	0.60
134	134	18,903	0.61
135	135	18,000	0.60
136	136	16,500	0.59
137	137	15,000	0.57
138	138	18,000	0.60
139	139	16,500	0.59
140	140	15,000	0.57
141	141	17,002	0.59
142	142	21,162	0.64
143	143	19,229	0.62
144	144	21,854	0.64
145	145	19,844	0.62
146	146	15,776	0.58
147	147	17,354	0.60
148	148	16,866	0.59
149	149	18,525	0.61
150	150	15,784	0.58
151	151	18,000	0.60
152	152	15,000	0.57
153	153	16,500	0.59
154	154	17,259	0.60
155	155	17,362	0.60
156	156	15,000	0.57
157	157	16,500	0.59
158	158	18,000	0.60
159	159	16,578	0.59
160	160	25,574	0.67
161	161	17,684	0.60
162	162	25,267	0.67
163	163	18,000	0.60
164	164	19,414	0.62
165	165	21,333	0.64
166	166	18,806	0.61
167	167	17,550	0.60
168	168	16,500	0.59
169	169	18,000	0.60
170	170	15,000	0.57
171	171	18,000	0.60
172	172	16,500	0.59
173	173	15,000	0.57

The Upper Highlands at Cimarron East

174	174	18,000	0.60
175	175	20,619	0.63
176	176	16,595	0.59
177	177	16,665	0.59
178	178	16,665	0.59
179	179	17,029	0.59
180	180	16,315	0.58
181	181	16,674	0.59
182	182	16,751	0.59
183	183	18,208	0.61
184	184	15,000	0.57
185	185	18,000	0.60
186	186	16,500	0.59
187	187	18,959	0.61
188	188	17,152	0.59
189	189	16,273	0.58
190	190	17,363	0.60
191	191	16,391	0.58
192	192	19,105	0.62
193	193	16,500	0.59
194	194	17,914	0.60
195	195	19,471	0.62
196	196	18,000	0.60
197	197	15,000	0.57
198	198	16,626	0.59
199	199	15,666	0.58
200	200	16,350	0.58
201	201	16,350	0.58
202	202	16,087	0.58
203	203	18,000	0.60
204	204	16,500	0.59
205	205	15,000	0.57
206	206	16,960	0.59
207	207	17,918	0.60
208	208	16,500	0.59
209	209	18,000	0.60
210	210	15,000	0.57
211	211	16,500	0.59
212	212	16,815	0.59
213	213	17,156	0.59
214	214	15,737	0.58
215	215	15,000	0.57
216	216	18,000	0.60
217	217	16,500	0.59
218	218	20,668	0.63
219	219	22,861	0.65
220	220	17,915	0.60
221	221	19,389	0.62
222	222	22,727	0.65
223	223	22,727	0.65
224	224	21,197	0.64
225	225	17,914	0.60
226	226	17,399	0.60
227	227	19,397	0.62
228	228	18,034	0.60
229	229	17,061	0.59
230	230	19,412	0.62
231	231	17,114	0.59
232	232	17,914	0.60
233	233	20,745	0.63

The Upper Highlands at Cimarron East

234	234	18,000	0.60
235	235	15,000	0.57
236	236	17,971	0.60
237	237	17,395	0.60
238	238	31,084	0.70
239	239	23,721	0.66
240	240	24,072	0.66
241	241	20,660	0.63
242	242	18,921	0.61
243	243	19,689	0.62
244	244	19,844	0.62
245	245	17,442	0.60
246	246	15,500	0.57
247	247	15,067	0.57
248	248	15,263	0.57
249	249	15,767	0.58
250	250	17,903	0.60
251	251	19,139	0.62
		4,466,205	150.62

Landscape Demand 0.00  
 Less: Demand Credits 0.00  
**TOTAL DEMAND 150.62**

**TOTAL ACRE FEET REQUIRED 150.62**

Price of Water Rights per AF \$0  
**TOTAL COST OF WATER RIGHTS \$0**

Meter Contribution (\$1,830 per AF of demand) \$275,635

**TOTAL METER FUND CONTRIBUTION \$275,635**

REVIEW / TRANSFER WATER RIGHTS \$0  
 DEED PREPARATION  
 FEE \$0

**TOTAL TO SIERRA PACIFIC POWER COMPANY \$275,635**  
 =====

**TOTAL TO CARSON WATER SUBCONSERVANCY DISTRICT \$49,705**  
 (\$330/acre foot of demand) =====

SUBMITTED BY: \_\_\_\_\_ PHONE: \_\_\_\_\_

APN: \_\_\_\_\_ DATE: 21 Oct 2003

CALCED BY: \_\_\_\_\_

REMARKS: PRELIMINARY-SUBJECT TO CHANGE

# FOR REVIEW ONLY

## LEGAL DESCRIPTION OF ANNEXATION PARCEL

All those certain parcels of land situate within a portion of Section Five (5), Township Twenty (20) North, Range Twenty-One (21) East, Mount Diablo Meridian, Washoe County, Nevada, shown as Parcel 5, Parcel 6, Parcel 9, Parcel 10, Parcel 11 and Parcel 12 of Division of Land Map No. 183 as described in Document No. 2345816 in the Official Records of Washoe County, Nevada, said parcels being more particularly described as follows:

BEGINNING at the Northwest corner of said Section 5;

THENCE from the POINT OF BEGINNING, along the northerly line of said Section 5, South 89°20'19" East, 935.97 feet;

THENCE, continuing along said northerly line, South 89°31'40" East, 825.38 feet;

THENCE, departing from said northerly line, South 00°36'05" West, 2000.00 feet;

THENCE, South 89°26'26" East, 1758.76 feet;

THENCE South 00°37'19" West, 2000.00 feet;

THENCE North 89°26'26" West, 879.02 feet;

THENCE South 00°48'00" West, 894.65 feet to the southerly line of said Section 5;

THENCE, along said southerly line, North 89°19'16" West, 2639.52 feet to the Southwest corner of said Section 5;

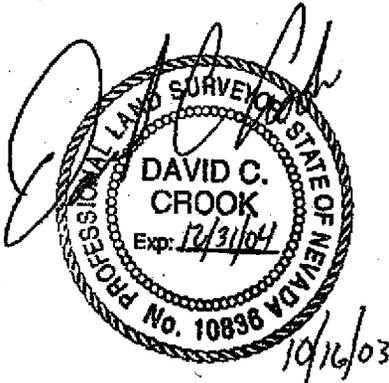
THENCE, along the westerly line of said Section 5, North 00°45'33" East, 2637.02 feet to the West One-Quarter corner of said Section 5;

THENCE, continuing along said westerly line, North 00°28'26" East, 2252.55 feet to the POINT OF BEGINNING.

Contains 296.27 acres, more or less.

The basis of bearings for this description is identical to that shown on Division of Land Map No. 183, Document No. 2345816, filed in the Official Records of Washoe County, Nevada.

Prepared by Tri State Surveying, Ltd.



David C. Crook, P.L.S.  
Nevada Certificate No. 10836

# FOR REVIEW ONLY

## LEGAL DESCRIPTION FOR REZONING

All those certain parcels of land situate within a portion of Section Five (5), Township Twenty (20) North, Range Twenty-One (21) East, Mount Diablo Meridian, Washoe County, Nevada, shown as Parcel 5, Parcel 6, Parcel 9, Parcel 10, Parcel 11 and Parcel 12 of Division of Land Map No. 183 as described in Document No. 2345816 in the Official Records of Washoe County, Nevada, said parcels being more particularly described as follows:

BEGINNING at the Northwest corner of said Section 5;

THENCE from the POINT OF BEGINNING, along the northerly line of said Section 5, South 89°20'19" East, 935.97 feet;

THENCE, continuing along said northerly line, South 89°31'40" East, 825.38 feet;

THENCE, departing from said northerly line, South 00°36'05" West, 2000.00 feet;

THENCE, South 89°26'26" East, 1758.76 feet;

THENCE South 00°37'19" West, 2000.00 feet;

THENCE North 89°26'26" West, 879.02 feet;

THENCE South 00°48'00" West, 894.65 feet to the southerly line of said Section 5;

THENCE, along said southerly line, North 89°19'16" West, 2639.52 feet to the Southwest corner of said Section 5;

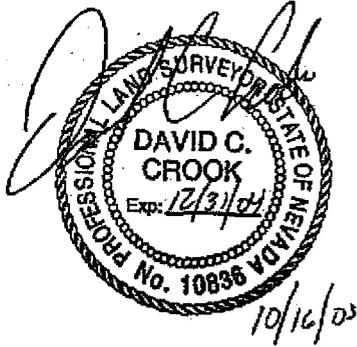
THENCE, along the westerly line of said Section 5, North 00°45'33" East, 2637.02 feet to the West One-Quarter corner of said Section 5;

THENCE, continuing along said westerly line, North 00°28'26" East, 2252.55 feet to the POINT OF BEGINNING.

Contains 296.27 acres, more or less.

The basis of bearings for this description is identical to that shown on Division of Land Map No. 183, Document No. 2345816, filed in the Official Records of Washoe County, Nevada.

Prepared by Tri State Surveying, Ltd.



David C. Crook, P.L.S.  
Nevada Certificate No. 10836

### **3. PROJECT OVERVIEW**

#### **A. Project Location.**

The Property is located in north Sparks, in the Spanish Springs Area, directly to the east of the existing Highlands at Cimarron East, and north-east of the Foothills at Wingfield. Please refer to the vicinity map and assessor's parcel page included in Exhibit A. The subject Property consists of 6 existing parcels totaling 296.27 acres (APN's 084-400-05, 06, 09, 10, 11, and 12).

#### **B. Current Property Conditions.**

At the present time, the Property is unimproved vacant land. There are no trees on the Property and no distinctive geologic features such as rock outcroppings. The Property is covered with low native "scrub" vegetation. Recent photos of the Property are included as Exhibit N. The Property slopes generally from east to west with four major drainages running across the site. These natural features have been incorporated into the common area open space. A topographical map of the existing site is attached as Exhibit O.

#### **C. Project Description.**

The Upper Highlands at Cimarron East consists of 251 single-family residential lots on 296.27 acres. The resultant density is 0.85 dwelling units per acre.

Lots are to be a minimum of 13,000 square feet, ranging from 13,000 to 31,084 square feet, with an average lot size of 17,790 S.F. The subdivision has been designed to preserve the natural drainage features of the property, to conserve open space, to maintain significant buffers to adjacent properties, and to take advantage of the views to the west.

The site is accessed through the existing Highlands at Cimarron East. Road connections are proposed at two points; Desert Fox Drive and Cobra Drive. Lot configuration, open space, and hiking trails for the project can be found on the site plans B-1 and B-2 in Exhibit B.

#### **D. Project Concept and Goals.**

The subject property is proposed to be developed in a fashion consistent with this handbook and in turn the existing Highlands at Cimarron East subdivision. The homes to be built within the Upper Highlands at Cimarron East will be quality, upscale homes consistent with those existing in the Highlands at Cimarron East project. To ensure architectural integrity and quality homes in the Project will be built in strict conformance with the architectural criteria set forth in this handbook and further enforced by the inclusion of those criteria in The Upper Highlands at Cimarron East conditions, covenants and restrictions. A copy of the CC&R's are attached as Exhibit P.

The open space and common area will be owned and maintained by a homeowners' association. Each lot will be a member of that association. Regular assessments will be

charged to each lot to cover the costs of maintaining these common facilities and rebuilding them as necessary.

#### **E. Open Space and Common Areas.**

To preserve the rural feeling of the property, efforts have been made in design to leave a majority of the interesting topography undisturbed. Of the 296.27 acres, nearly 160 acres have been designated as undisturbed open space on the Site Plan. Therefore approximately 46% of the total land area is to remain as open space and undisturbed. This open space will be owned and maintained by the Homeowners' Association.

The open space is intended principally as a passive recreational area with emphasis on preserving the natural foliage and beauty.

A trail system will run throughout the common area open space (Exhibit B-2). The purpose of this trail system will be to provide recreation through walking and hiking. Trail width and construction will be designed to accommodate these functions. A cross section of the proposed trail can be found in Exhibit C. The trail layout will potentially provide this recreational use to the adjoining neighbors in the existing Highlands at Cimarron East and the future Foothills Development.

#### **F. Phasing Plan.**

The project will be developed in four phases as indicated in Exhibit D. The first phase will be directly east of the existing Highlands at Cimarron East. Streets within Phase 1 will connect to existing stubbed streets at two locations creating a loop which will satisfy emergency services access requirements. Successive phases will be developed in a sequence to permit efficient installation of necessary utilities and roadways. The trail system will be constructed with the phase which it is included in per Exhibit D.

#### **G. Hillside Ordinance.**

The site was analyzed in accordance with the City of Sparks Hillside Ordinance. The purpose of the analysis was to determine if The Upper Highlands at Cimarron East site has slopes in excess of 10% over 25% or more of the site.

The color map from the slope analysis is shown in Exhibit Q and yields the following result. The total site area is 296.27 acres.

- Portion of the site with slopes from 0 to 10% = 189.61 acres (64%)
- Portion of the site with slopes exceeding 10% = 106.66 acres (36%)

Because more than 25% of the site is in excess of 10 percent (%) grade, the project will be subject to the City of Sparks Hillside Ordinance.

Further analysis of the site has been completed to quantify the topography of the site. The site breaks down in the following way with respect to the slope ranges and allowable

disturbance within each range as outlined in the City of Sparks Municipal Code Chapter 20.99:

Slope Range	Area of site within each slope range(sf)	Max allowed portion of slope range to be disturbed	Max allowable disturbed area(sf)	Disturbed area within slope range(sf)
0% - 10%	8,300,573	1/1	8,300,573	5,876,283
10% - 15%	2,648,512	3/4	1,986,384	842,145
15% - 20%	1,050,566	2/3	700,377	185,796
20% - 25%	503,930	1/2	251,965	45,124
25% - 30%	246,607	1/3	82,202	10,311
>30%	156,468	1/5	31,294	5,974
<b>Total area =</b>	<b>12,906,656 sf</b> (296.27 acres)	<b>Total allowed</b>	<b>11,352,795 sf</b> (260.62 acres)	<b>Total proposed</b>
		<b>disturbed area(sf) =</b>		<b>disturbed area(sf) =</b>
				<b>6,965,633 sf</b> (159.91 acres)

As can be seen in the above table the disturbance proposed with the development of the Upper Highlands at Cimarron East is well within that allowed by the City of Sparks Hillside Ordinance.

Areas with slope in excess of 30% are considered "constrained" by the Hillside Ordinance. When disturbing constrained land special measures must be taken to comply with the ordinance. That is, a ratio of 3 square feet of unconstrained land must remain undisturbed for every constrained square foot of land which is to be disturbed. Due to the large amount of proposed common area open space included with this design, this requirement is more than satisfied. For every 1 square foot of constrained land which is to be disturbed, 968 square feet of unconstrained land is proposed to be left undisturbed.

The site, as mentioned above, has four major drainage ways which make their way from east to west across the site. They are the only major landforms present on the site. These drainage ways have been incorporated into the design by leaving their paths unencumbered for the most part aside from culvert crossings under roadways. Furthermore, they are considered assets to the site and are incorporated into the layout of the walking path within the subdivision.

As presented in the attached geotechnical investigation (Exhibit R), the site is suitable for the intended use of the proposed project. The primary concerns to be considered in the design of the project, from a geotechnical standpoint, are the potential presence of bedrock and expansive material.

In an effort to minimize disturbance, the majority of proposed development is to be in areas which range in slope from zero to ten percent. These areas are best suited for house construction because they are relatively flat, which will ultimately reduce the need for large cut and fill slopes. To further reduce the area of cuts and fills, slopes will be constructed at a ratio of 2 horizontal to 1 vertical. This will force the cut/fill slope to meet the existing grade in as short a distance as possible. All 2 to 1 slopes will be stabilized via re-vegetation. These slopes will receive slope matting and a natural seed mixture (Exhibit L) to match the existing groundcover and control erosion. Final grading of cut/fill slopes is proposed to be smooth in appearance to blend them into their surroundings.

Development of the site will not encroach on any hill tops or ridges. In a meeting on September 19<sup>th</sup>, 2003 between members of Washoe County Planning, City of Sparks Planning, and Wood Rodgers Inc. it was determined by both City and County staff that the project is at the bottom of the existing natural hillside and is well below any surrounding landforms.

As indicated in the attached Draft Storm Drainage Master Plan (Exhibit S) storm water from the site will be collected in detention facilities. Historic drainage patterns, quantities, and water quality will be maintained throughout the development process and ultimately with the build out of The Upper Highlands at Cimarron East.

Erosion and silt due to construction activities will be controlled per an approved Storm Water Pollution Prevention Plan. Air quality will be protected with the use of water trucks and dust palliatives as required by the Washoe County Air Quality Division.

The proposed design for The Upper Highlands at Cimarron East addresses the requirements set forth for "Development on Slopes, Hilltops and Ridges" as described in the City of Sparks Municipal Code Chapter 20.99. The natural constraints of the site are respected. The Upper Highlands at Cimarron East has been designed with consideration for limiting aesthetic degradation of the site as well as erosion, sedimentation, and other hazards.

#### 4. DEVELOPMENT STANDARDS:

##### A. Lot Standards.

Lots in The Upper Highlands at Cimarron East will have the following standards, which are depicted in Exhibit E:

Minimum Lot Size:	13,000 feet
Average Lot Width:	80 feet
Minimum lot Frontage:	35 feet
Minimum House Size:	2000 square feet
Max lot Coverage:	40%
Minimum Front Yard Setback to <u>front</u> load garage:	20 feet
Minimum Front Yard Setback to <u>side</u> load garage:	15 feet
Minimum Rear Yard Setback:	20 feet
Minimum Side Yard Setback:	7.5 feet / 12.5 feet
Minimum Distance Between Structures:	20 feet
Minimum Garages:	2-car garage
Maximum Building Height:	2 stories or 40 feet

The standards as identified in this section are minimum standards or requirements which must be met. Should a conflict unknowingly exist within the Planned Development Handbook, the interpretation and/or governing criteria shall be determined by the City of Sparks Planning Department.

The Planned Development Handbook Standards and CC&R's will permit a 10% variance in the minimum house size upon proof to the Architectural Review Committee (as described below), that the house, as submitted, will present a satisfactory and quality appearance from the street consistent with the other houses in the neighborhood. Documentation of the Architectural Review Committee's 10% Variance approval shall be submitted with the building permit to the City of Sparks.

Other minor deviations may also be approved by the City of Sparks Planning Department if the following criteria are met:

- a. The request is minor in nature and does not deviate more than 10 percent (%) from the approved standards.
- b. The request is for a deviation to one or more of the following measurable design or site conditions:
  1. Lot Dimension
  2. Setback
  3. Structure Height

**B. Architectural Guidelines.**

All homes in the Project will be subject to strict architectural guidelines. These guidelines are set forth below and will also be contained in the CC&R's for the Project in order to provide an additional mechanism for enforcement. Interpretation of these guidelines, and permissible variances, will be the responsibility of the Architectural Review Committee, which will be formed in accordance with the CC&R's. A further description of the Architectural Review Committee, and specific architectural guidelines, are presented below:

House Size:	Minimum of 2,000 square feet of conditioned space <sup>1</sup> .
Roof Pitch:	No less than "5-in-12".
Roof Material:	30-year "dimensional" composition shingle, concrete tile or clay tile.
Exterior Siding:	Wood or composition siding is permissible; provided, however, no "T-111" siding, or similar material is permitted.
Plaster Exterior:	Permitted.
Driveways:	Shall be constructed of Portland cement concrete. Driveway geometry from the garage to the street shall be designated on the individual single family residential building permit for review and approval by the administrator. The desired goal is to reduce the amount of hard-scape in the front yard area of the lot.
Window Trim:	All windows on all side to receive four-sided wood trim or raised stucco bands.
Garage Doors:	All garage doors to be multi-panel wood or metal overhead track doors; no slab doors of wood and no industrial grade roll-up doors permitted.
Front Elevation Wainscoat:	A wainscoat on the front elevation and wrapping around the corners of the front elevation made of a contrasting material is permissible provided the material is generally accepted as a quality accent material and the design and color is

<sup>1</sup> As described above, these minimum sizes shall be subject to a 10% variance in the discretion of the Architectural Review Committee.

approved by the Architectural Review Committee.

**Fascia Material:**

Minimum of "2x6" solid stock wood material.

**Architectural Styles:**

The Pizzaz, The Panache, The Flair, The Finesse, The Showcase & The Temptation. See Exhibit E.

Additional styles which are consistent with the above, and which represent a quality and timeless appearance, may be approved by the Architectural Review Committee.

All exterior colors on the homes will be subject to Architectural Review Committee approval. Permitted colors will include earth tones, cream, beige and similar muted colors. Primary colors and bright pastel colors will not be permitted either as the base color or trim of a home. Home colors shall be submitted to the Architectural Review Committee for prior approval, or may be selected from a pre-approved color palette. The Enforcement Mechanism shall be as set forth in the CC&R's (Exhibit P).

**C. Architectural Review Committee.**

An Architectural Review Committee will be formed in accordance with the CC&R's. This committee will consist of three persons who will have the authority to interpret all architectural, fencing and landscaping criteria prior to submittal to the City of Sparks for building permit. The members of the Architectural Review Committee will be appointed by the Board of Directors of the Homeowners' Association and shall serve for a minimum of 1 year and a maximum of 3 years.

Any vacancies on the Architectural Review Committee shall be filled by the Homeowners' Association Board of Directors within 30 days. The Architectural Review Committee shall have the authority to review requests or applications for approval of architectural, landscaping or fencing proposals. The Architectural Review Committee shall issue its determination within 30 days after receipt of a submittal. The decision of the Architectural Review Committee shall be enforceable against individual lot owners by means of fines and other monetary assessments as set forth in the CC&R's. Documentation confirming Architectural Review Committee approval shall be submitted with permit requests to the City of Sparks.

**D. Fencing Guidelines.**

All fencing within the common area shall be consistent with the Fencing Plan attached hereto as Exhibit G. The intent of this Fencing Plan is to maintain a thematic consistency throughout the project.

Individual lot owners may install fencing on their property lines consistent with the fencing plan. No electric fences will be permitted. Additional fencing criteria are set forth below:

Fence Design at Property Lines  
Adjacent to Common Areas:

Maximum of 4' feet in height with an open design consistent with one of the Project approved designs<sup>2</sup>. These fences shall not obstruct the view in or out of the Lot.

Fence Design on Property Lines  
with Interior Locations:

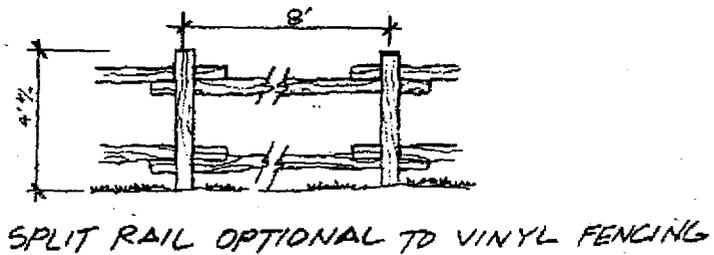
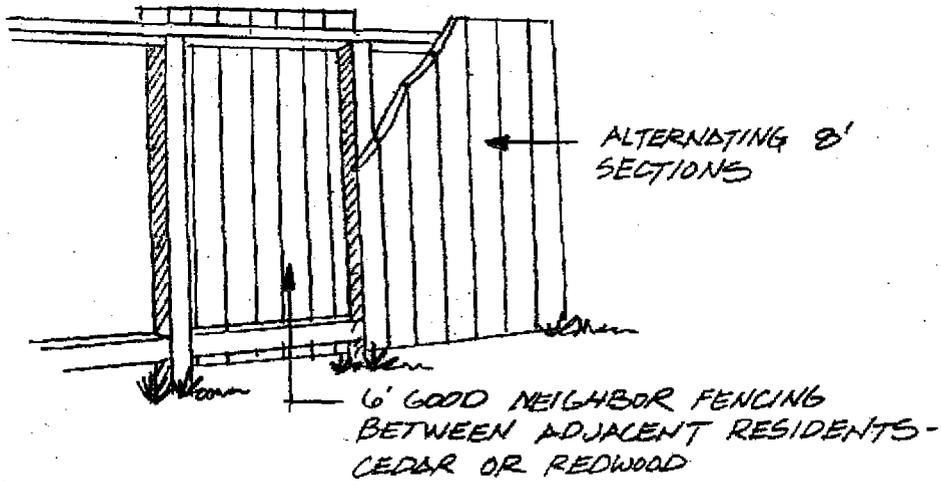
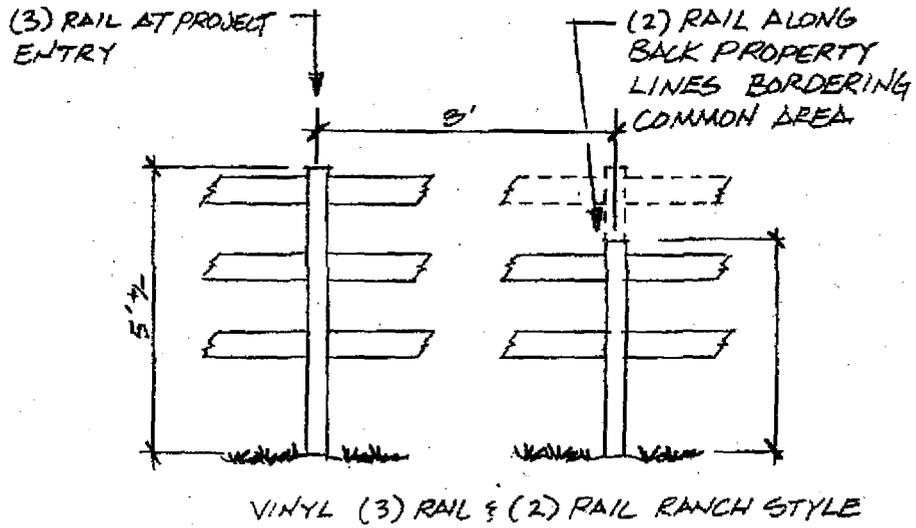
Maximum of 6' feet in height with a design consistent with one of the Project approved designs<sup>2</sup>.

Permissible Materials:

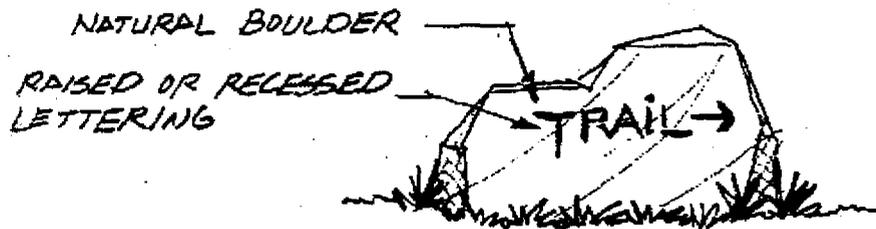
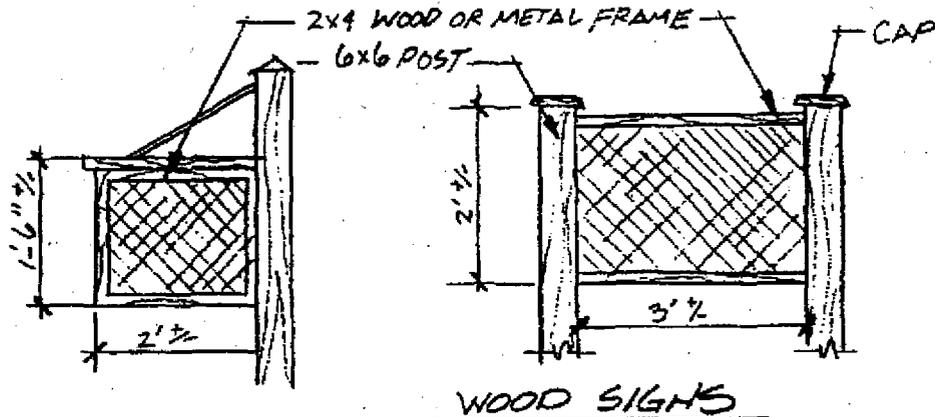
Wood, wrought iron, vinyl, natural rock, stucco stone, open mesh wire and wood, or masonry coated with paint, stucco or with a decorative face.

<sup>2</sup> Other fence designs comparable with the Project approved designs may be used with the prior written approval of the Architectural Review Committee. The approval shall be submitted with the fence permits to the City of Sparks.

**Conceptual Fence Design  
For the  
Upper Highlands at Cimarron East**



**Conceptual Sign Design  
For the  
Upper Highlands at Cimarron East**



NATURAL STONE SIGN

**All signage lighting shall be indirect; No cabinet signs will be used.**

**Individual channalized letter signs, background material will be made of "natural" material consistent with the rural theme at the Upper Highlands at Cimarron East.**

**Prohibited Materials:**

Chain link, vinyl coated chain link, or barbed wire.

**E. Landscape Guidelines.**

The Landscaping Guidelines for individual lots are set forth below:

**Minimum Area:**

The minimum area of each lot to be landscaped is the front yard area from the back of curb or sidewalk to the front elevation of the house, and from side boundary to side boundary except for driveway and walkways.

**Permitted Materials:**

All natural plants, grasses, ground cover, trees and natural stone per the City of Sparks Municipal Code section 20.32.

**Prohibited Materials:**

Asphalt, artificially colored stone and artificial turf.

**Irrigation:**

The minimum area of landscaping shall include an irrigation system with a stub to the rear yard.

**Maintenance:**

All front yard landscape areas shall be regularly maintained. This maintenance obligation shall be enforced by the Homeowners' Association with fines being assessed against lot owners failing to perform that work, or the Homeowners' Association doing the work at the lot owner's expense.

**Responsible Party:**

The party responsible for installing the minimum area of landscaping shall be the permitted homebuilder.

**Timing of Installation:**

Within 90 days after occupancy, or if such commencement is not practical given the time of year, within 90 days after April 1.

**F. Signage Guidelines.**

The Project will have a consistent signage theme for all public and common area signs. This signage concept is set forth in Exhibit H included with this handbook. The signage theme will be carried out on all street signs (in accordance with the City of Sparks Public Works safety sign standards), hiking trail signs and other common area signage per the City of Sparks Municipal Code section 20.56.

**G. Lighting Plan.**

Streetlights throughout the Project will be decorative fixtures as set forth in Exhibit I. These lighting fixtures are available from Sierra Pacific Power Company and will provide street lighting with minimum offsite visual disturbance. The Homeowners' Association shall be responsible for maintaining the decoration lights in accordance with the Light Maintenance Agreement as set forth within the C,C,&R's (Exhibit P).

**H. Paths, Trails and Sidewalks.**

Throughout the common area a walking and hiking trail system will be established. The conceptual plan for this recreational feature is set forth in Exhibit B-2.

The trails will be constructed of natural materials selected after conference with the City of Sparks Director of Parks & Recreation to blend with the natural open space and to provide a comfortable walking surface (Exhibit C).

## 5. PUBLIC INFRASTRUCTURE AND FACILITIES:

### A. Sewerage.

The Upper Highlands at Cimarron East is currently within the Northern Sparks Sphere of Influence Plan (NSSOI). As part of the NSSOI infrastructure plan the proposed project will pay sewer hook-up fee's, which are administered through the NSSOI by the City of Sparks.

Sewer service will be provided to The Upper Highlands at Cimarron East with the connection to two 8" (inch) sanitary sewer mains which were stubbed to the site with the construction of the Highlands at Cimarron East. One from the Highlands at Cimarron East phase 3 on Cobra Drive and one from the Highlands at Cimarron East phase 4 on Desert Fox Drive (Exhibit T).

An existing 8" sewer line leaves the Highlands at Cimarron East site and continues along the alignment of the "The Z Road". This line will carry flows from the Highlands at Cimarron East, the Upper Highlands at Cimarron East, and contributions from the Foothills at Wingfield. The line then ties into the sewer which is north and east of Wingfield Springs Unit 9, just south of Campello Drive in the Cimarron Project. Refer to the figures within the attached sewer report in Exhibit U. This line is referred to as the "BH" line in the attached sewer report. It then travels through Wingfield Springs Unit 9 and ties into the existing North East Interceptor within Spanish Springs Road. From this point the North East Interceptor ties into the Vista Boulevard Main then to the East Interceptor and finally the Spanish Springs Interceptor.

The attached sewer report, titled "Preliminary Sanitary Sewer Study for The Upper Highlands at Cimarron East" done by Wood Rodgers dated December 2003, examines the contribution from the 251 lots within the Upper Highlands at Cimarron East. A potential constriction point is identified in this report. The constriction point is within the BH line which has capacity to serve 518 lots. With the build out of the Highlands at Cimarron East, the Upper Highlands at Cimarron East, and the Foothills at Wingfield the total number of lots upstream of the BH line will be 785. Therefore to serve this area the system will need to be upgraded.

A possible solution to this problem would be to construct an adequately sized sewer main to replace the BH line. This new sewer could be constructed south from Campello Drive between the Cimarron and Foothills projects. It could then continue to the east just north of Wingfield Springs Unit 9 and tie directly into the 12" North East Interceptor in Spanish Springs Road. The 12" North East Interceptor in Spanish Springs Road currently has capacity for 960 lots.

**B. Water.**

Washoe County Utilities will provide water services for the Upper Highlands at Cimarron East. The Property is currently located in the Washoe County Utilities service territory.

Water rights will be purchased through the Truckee Meadows Water Authority bank of water rights and delivered through their system through a wholesale agreement with Washoe County.

In addition to the distribution system several water system facilities will need to be constructed to serve the Upper Highlands at Cimarron East. A study has been completed by the Washoe County Utility Services Division outlining the required additional facilities. A water tank with an estimated 400,000 gallon storage capacity will need to be constructed at an approximate elevation of 4,955'. Also, a 500 gallon per minute booster pump will need to be in place to serve the Upper Highlands at Cimarron East.

**C. Gas.**

Gas service will be provided by Sierra Pacific Power Company. A "Level 1 Discovery" was conducted by Sierra Pacific on this Project. The findings of that Discovery can be found in Exhibit V. There are no unusual off-site facility requirements associated with Sierra Pacific providing gas service to the Project.

**D. Electric.**

Sierra Pacific Power Company will provide electrical service to this Project. A "Level 1 Discovery" was performed by Sierra Pacific and their findings can be found in Exhibit V. Electrical power will be provided by tapping an existing three phase electrical facility at the pump station just west of the project. There are currently no unusual facility requirements or adverse conditions affecting the provision of electrical service to this Project.

**E. Telephone.**

Telephone services will be provided by Nevada Bell. Service will be provided by tapping into existing underground lines that are stubbed to the Property. At this time there are no adverse conditions to address or facility requirements needed to provide telephone service to the Project.

**F. Cable TV.**

Cable TV services will be provided by Charter Communications. Service will be provided by tapping into existing underground lines that are stubbed to the Property. At this time there are no adverse conditions to address or facility requirements needed to provide cable service to the Project.

### **G. Roadway Improvements.**

The proposed roadway patterns for The Upper Highlands at Cimarron East are shown on Exhibit B-1 of this handbook. All roadways proposed with the project shall be public and dedicated to the City of Sparks through the final map process. The roadway sections proposed for The Upper Highlands at Cimarron East shall be in accordance with the City of Sparks standard street sections including a sidewalk on each side. The typical street section for residential streets is shown in Exhibit J of this handbook.

The primary access for the project shall be through the existing Highlands at Cimarron East.

Right of way widths are based on the attached traffic analysis prepared by Solaegui Engineers (Exhibit W).

Secondary access will be provided to the site by two access points from the existing Highlands at Cimarron East. The roadway pattern is shown on Exhibit B-1 of this handbook.

Cul-de-sacs shall be constructed to residential roadway standards. All cul-de-sac's shall be limited to 400'(feet) in length as measured from the radius point of the bulb to the projection of the right of way at the intersecting street.

All streets shall be constructed to the City of Sparks minimum structural section or the Geotechnical Engineers recommended street section, which ever is greater.

### **H. Fire Protection.**

The Upper Highlands at Cimarron East is currently outside of the 8.5 minute response area for the City of Sparks Fire Station #4. The developer shall install NFPA type 13D residential fire sprinklers within every residence unless other arrangements are made to the satisfaction of the Fire Chief and City Council.

### **I. Police Protection.**

The Sparks Main Police Department, at 1701 East prater Way, will be the main station providing police protection for this Project. Currently police protection service calls, in the Spanish Springs Area are relatively low. The Spanish Springs Valley current police protection demand requires one police beat consisting of one officer. This beat would be expanded to incorporate The Upper Highlands at Cimarron East.

In talking with the Sparks Police Department there are currently no plans to provide a police sub-station in the Spanish Springs Valley. As the growth in the area continues, a police sub-station may become part of the department's plans.

**J. School Services.**

Two relatively new schools, Van Gorder Elementary School in the vicinity of Wingfield Springs and Cimarron, and Spanish Springs High School will serve The Upper Highlands at Cimarron East. Van Gorder Elementary opened in the Fall of 2000 and Spanish Springs High School opened in the Fall of 2001. Currently there are no plans for additional Middle Schools. Sparks Middle School has necessary capacity and will continue to be the provider of the necessary facilities for that age group of students.

**K. Air Quality Measures.**

During the course of construction, grading operations will not be conducted during the time of high wind. Additionally, measures will be taken to wet the soil being worked and exposed to grading to prevent excessive dust. All construction activities comply with applicable local, state and federal air quality and dust control regulations.

**6. APPLICATION FINDINGS:**

**A. Annexation.**

This annexation application is to bring 296.27 acres into the City of Sparks. Refer to the attached annexation map in Exhibit Z. The property currently has a Washoe County zoning of General Rural (1 dwelling unit per 40 acres). This zoning will be converted upon annexation, per the City of Sparks Code to A40 (1 dwelling unit per 40 acres). The Upper Highlands at Cimarron East is the logical extension of the City of Sparks in the Spanish Springs Community. All 296.27 acres are within the City's Sphere of influence with roads and utilities provided to the site in two locations (Exhibits B-1 and T). Furthermore, this annexation will not create any islands of County or City land.

From a utility stand point the existing utility infrastructure will allow for further expansion in the area. A "Level One Discovery" was conducted by the Sierra Pacific Power Company on the project, in which necessary electric and natural gas system additions were outlined to accommodate The Upper Highlands at Cimarron East (Exhibit V). The "Level One Discovery" study indicated that no major facilities would need to be constructed. Sewer facilities, which are analyzed in the attached Sewer Report (Exhibit U) can, with a downstream upgrade, provide for the additional sewer contributions. Expansion of the area's water system has been explored by the Washoe County Utility Services Division. The necessary system additions, including a tank, have been identified in order to provide water service to this expansion. A fiscal analysis has been completed for the proposed subdivision and is attached (Exhibit X).

As shown within the attached traffic analysis (Exhibit W) the proposed expansion can be accommodated by existing roadways which currently service the area.

The Upper Highlands at Cimarron East meets all the criteria for annexation as set forth in the City of Sparks Municipal Code and NRS 268.670 which deals with the cooperative planning settlement.

**B. Master Plan Amendment.**

As properties are annexed into the City of Sparks they are assigned a master plan designation which is no more dense than that which they had in Washoe County. Master plan designations can then be reviewed and possibly changed through the Master Plan Amendment process. This process ultimately ensures that development in these areas is rigorously reviewed and ultimately done in a manner which enhances the community, furthering the goals of the City of Sparks Master Plan.

Upon annexation into the City of Sparks the Upper Highlands at Cimarron East will be assigned a master plan designation of Open Space/Rural Reserve. The proposed amendment will change that designation to Estate Density Residential allowing for a maximum density of 1-3 dwelling units per acre.

This Master Plan Amendment (MPA) and the resulting development will further the goals and policies of the City of Sparks Master plan and the Washoe County Regional Plan in the following ways (Goals referenced below are per the City of Sparks Master Plan):

- This project will be a high quality, relatively low density subdivision. Lower density type of housing communities are not prevalent throughout the City of Sparks, and this development would widen the spectrum of housing types available. (Goal H1)
- Scenic views from the Pyramid Lake Highway and Spanish Springs Road are not detracted from with the proposed development. This subdivision is well below any hill tops or ridges. It is also directly adjacent to existing development so it will not appear to be an island of disturbance. (Goal NSSOI 1)
- There are no trees on the Property and no distinctive geologic features such as rock outcroppings. Efforts have been made in design to leave a majority of the interesting topography undisturbed. Four major drainage ways make their way from east to west across the site. These drainage ways have been incorporated into the design by leaving their paths unencumbered for the most part aside from culvert crossings under roadways. Of the 296.27 acres, nearly 160 acres have been designated as undisturbed open space on the Site Plan. Therefore approximately 46% of the total land area is to remain as open space and undisturbed. The open space is intended principally as a passive recreational area with emphasis on preserving the natural foliage and beauty. Throughout the common area, a walking and hiking trail system will be established. All slopes will be stabilized via re-vegetation. These slopes will receive slope matting and a natural seed mixture to match the existing groundcover and control erosion (Exhibit L). Final grading of cut/fill slopes is proposed to be smooth in appearance to blend them into their surroundings. (Goal NSSOI 3 & 5)
- This project furthers Goal NSSOI 4 as described in part *G. Hillside Ordinance* of section 3. *Project Overview*.
- As presented in the attached geotechnical investigation (Exhibit R), the site is suitable for the intended use of the proposed project. The primary concerns to be considered in the design of the project, from a geotechnical standpoint, are the potential presence of bedrock and expansive material. (Goal NSSOI 7)
- Erosion and silt due to construction activities will be controlled per an approved Storm Water Pollution Prevention Plan. Air quality will be protected with the use of water

trucks and dust palliatives as required by the Washoe County Air Quality Division. (Goal NSSOI 8)

- As indicated in the attached Draft Storm Drainage Master Plan (Exhibit S) historic drainage patterns, quantities, and water quality will be maintained throughout the development process. Ground water recharge is also explored within the report. (Goal NSSOI 8, 9, & 10)
- Wood burning stoves are not permitted per the Washoe County Air Quality Division. As indicated in the attached Traffic Study (Exhibit W) a service level better than "D" is maintained on all roadways impacted by the project. (Goal NSSOI 16)
- A trail system will run throughout the common area open space. The purpose of this trail system will be to provide recreation through walking and hiking. Natural drainage ways have been incorporated into the layout of the walking path within the subdivision. The trail layout will also provide this recreational use to the adjoining neighbors as it connects to paths within the existing Highlands at Cimarron East and the future Foothills Development. (Goal NSSOI 20)
- The Upper Highlands at Cimarron East is to be a planned development which will conform to an adopted development handbook. As proposed the subdivision will have a parallel theme to the Highlands at Cimarron East giving the "Highlands Neighborhood" a unique identity. (Goal NSSOI 22)
- The topography of the site lends itself to clustered development which will increase open space and will also help in reaching the goal of an overall density of 2 dwelling units per acre within the plan area. Buffering around the project where it borders Washoe County is in conformance with joint planning criteria (Exhibit K). (Goal NSSOI 24)
- Building setbacks will be varied as side-load and straight driveways have differing setback requirements as outlined within the development handbook. (Goal NSSOI 26)
- All proposed roadways and right-of-way are per City of Sparks standards (Exhibit J). They will be public and dedicated to the City of Sparks through the final map process. (Goal NSSOI 29)
- The proposed street layout for the Upper Highlands at Cimarron East is curvilinear in nature as mandated by topographic constraints (Exhibit B-1). (Goal NSSOI 32)
- The property is currently within the City of Sparks Sphere of influence and is the logical extension of development in the area as it is currently provided road and utility stubs. (Goal NSSOI 33)
- A fiscal analysis has been completed for the Upper Highlands at Cimarron East and is attached in Exhibit X. (Goal NSSOI 34)
- Consistent and uniform standards will be applied to the Highlands area through the existing "Wyndham Hills" and proposed "Upper Highlands at Cimarron East" development handbooks. The unique topography of the site has been preserved through responsible design and the preservation of open space. (Goal LU1)
- This project will be subject to the joint planning process between the City of Sparks and Washoe County. (Goal LU3)
- The Upper Highlands at Cimarron East is proposed to be a cluster development thusly increasing open space as a recreational resource. (Goal LU4)
- As shown within the attached traffic analysis (Exhibit W) the proposed expansion can be accommodated by existing roadways which currently service the area. (Goal T1)
- The impacts of the proposed subdivision with regards to flooding have been explored within the attached Draft Storm Drainage Master Plan (Exhibit S). The Upper Highlands at Cimarron East has been incorporated into the regional flood model and mitigation

strategies have been explored to properly manage the effects of seasonal and sporadic flooding. (Goal C3)

- A vegetation and wildlife assessment has been done on the Upper Highlands at Cimarron East site (Exhibit Y). According to the report the area has not been mapped by Washoe County or the Nevada Department of Wildlife as containing significant habitat for game species. The JBR Environmental report goes on to say, "The existing development just west of the project area and the limited cover available on the parcel limits the attractiveness of the parcel to big game. The wildlife habitats present on the parcel are not high quality because of disturbance associated with residence to the west, and due to past wildland fires. Impacts to wildlife that could result from the project would be experienced mainly by passerine birds, small mammals, and reptiles that presently inhabit the area where ground disturbance is proposed. The project area lacks habitats used by most sensitive species occurring in Washoe County. Implementation of the proposed East Highlands project is unlikely to impact either game or sensitive species." (Goal C6)
- Disturbed areas in slopes and along walking paths will receive a native re-vegetation seed mix described in Exhibit L to enhance scenic quality and control erosion. (Goal C7)
- As described in part *G. Hillside Ordinance* of section 3. *Project Overview* this project will conform to the City of Sparks Hill Side Ordinance in an effort to ensure the prudent development of slopes, and to provide hillsides with an appropriate aesthetic quality. (Goal C10)
- As proposed the subdivision will be very similar to the existing Highlands at Cimarron East, so there will be no conflict between differing land uses from a noise level standpoint. Also, as described in the attached traffic study, (Exhibit W) traffic levels are within Sparks design parameters and therefore noise from that traffic should not adversely affect surrounding residents. As can be seen in Exhibit K open space buffers have been provided to the north, east and south where differing land uses do abut the project. (Goal C13)
- Water service will be provided by the Washoe County Utility Services Division because they have existing facilities in the area. (Goal G2)
- The attached sanitary sewer report (Exhibit U) and text specific to the Upper Highlands at Cimarron East in part *A. Sewerage* of section 5. *Public Infrastructure and Facilities* detail the capacity of existing facilities and where system upgrades will need to be done. (Goal SS1)

The Upper Highlands at Cimarron East, as proposed, furthers the goals of the Sparks Master Plan in the many ways described above. These items should be taken into account when considering the proposed amendment to change the land use designation of the 296 acres from **Open Space/Rural Reserve** to **Estate Density Residential**.

**C. Cooperative Planning.**

The Upper Highlands at Cimarron East is within the Cooperative Planning Area as defined within the Settlement Agreement of October 17, 2002. Following are the criteria which apply to this project and are to be met within the Cooperative Planning Area. Below each criterion is an explanation (in italics) of how the Upper Highlands at Cimarron East meets that criterion.

**REGIONAL FORM AND PATTERN, INCLUDING OPEN SPACE**

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**A. Policy 1.1.6 – Rural Development Area (for an amendment located within a Rural Development Area).**

➤ *The property is not located within a Rural Development Area.*

**B. Policies 1.1.8 and 2.1.1 – Development Constraints Area (for an amendment located within a Development Constraints Area).**

**Findings:**

1. Allowed land uses are limited to communication facilities; recreational facilities; parks and open space; utilities; agriculture; forestry; mining; transportation infrastructure necessary to service development; and residential uses that are limited to a maximum density of one unit per 40 acres or one unit per parcel in existence on May 9, 2002, whichever is greater.
2. Except for those uses listed in finding 1, uses that encroach on the Development Constraints Area are isolated; enhance the overall project design; and preserve as open space a 2:1 ratio of non-constrained area to every constrained area that is developed.

➤ *Please refer to part G. Hillside Ordinance of section 3. Project Overview.*

**C. Policies 1.1.9 and 2.2.1 – Slope Management (15% - 30%) (for an amendment with identified slopes in excess of 15%) See the above section for slopes 30% or greater.**

**Findings:**

1. The local government has a management strategy for slopes greater than 15 percent but less than 30 percent found in conformance with the regional plan and the amendment is in conformance with that plan.

➤ *Please refer to part G. Hillside Ordinance of section 3. Project Overview.*

**D. Policies 1.1.12 and 1.2.16 – Emerging Employment Centers (for an amendment in an area identified as an Emerging Center).**

➤ *The property is not located within an identified Emerging Employment Center.*

**E. Policy 1.2.1 – Desired population and employment distribution and Jobs/Housing balance**

1. The amendment shall provide an assessment of the impact on the desired population, housing and employment distribution, articulated in the Regional Plan Policy 1.2.1. The Model for this review shall be developed and maintained by Regional Planning Agency in Cooperation with local governments and affected entities.
  - *Refer to the attached Fiscal Analysis (Exhibit X) for an evaluation of how this project will effect the regional fiscal model.*
- F. Policy 1.2.12 – Regional Centers (for an amendment within an identified Regional Center)
  - *The property is not located within a Regional Center.*
- G. Policies 1.2.8, 1.2.9 and 1.2.12 – Transit Oriented Development (TOD) Corridors (for an amendment within a TOD)
  - *The property is not located within a Transit Oriented Development Corridor.*
- H. Properties identified as potential Open Space within adopted Regional Open Space plan.
  - *The property is not identified as potential Open Space within an adopted Regional Open Space plan.*
- I. Policy 1.3.2 and 1.3.3. – TMSA – development standards (for an amendment in the TMSA outside the SOI)
  - *The property is located within both the TMSA and the Sparks SOI*

## HOUSING

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### Findings

1. The amendment is consistent with criteria for densities established in the regional form and pattern section above including sub sections A, B, F, G, and I.
  - *B is the only subsection which applies to this project and as described in part G. Hillside Ordinance of section 3. Project Overview within this application the Upper Highlands at Cimarron East is consistent with subsection B.*
2. The amendment is consistent with the local government's requirements for inclusionary housing as identified in Regional Plan Policy 1.1.13, which must be reviewed by Regional Planning no later than October 2004.
3. Prior to conformance of the local government's requirement's for inclusionary housing the amendment must document that it is not detrimental to the HOME consortium's housing efforts.

**CONCURRENCY, TIMING AND PHASING OF INFRASTRUCTURE**

**Findings**

1. Service capacity of water, wastewater, storm water, road and parks exists or is planned to exist prior to construction of development within the amendment.
  - *Utility improvements outlined in section 5. Public Infrastructure and Facilities will be constructed as needed on a phase by phase basis. The determination as to what facilities will need to be constructed as the development progresses will be made through Engineering, Building permit and Utility Provider reviews.*
2. When using a community system, each of the following studies must identify and mitigate the cumulative impacts on existing infrastructure and facilities plans. These conceptual studies must propose infrastructure mitigation that constitutes reasonable care with respect to adjacent or adjoining areas.
  - a. The amendment includes a conceptual drainage study consistent with the adopted standards of the local government.
  - *Exhibit S contains the Hydrology Study for the project. This study was done on a basin wide scope and the proposed development has been modeled as a component of the Sparks drainage model.*
    - b. The amendment includes a conceptual waste water treatment and conveyance, including septic systems, study consistent with the adopted standards of the local government.
  - *A sanitary sewer report has been completed and is included in Exhibit U. System upgrades and there timing are to be on a "units-served" basis are described in part A. Sewerage of section 5. Public Infrastructure and Facilities within this application.*
    - c. The amendment included a conceptual traffic study that is consistent with the adopted Regional Transportation Plan.
  - *Reference the Traffic Study included in Exhibit W.*
    - d. The amendment included a conceptual potable water supply and conveyance, including individual wells, study.
  - *Water facilities upgrades as determined by the Washoe County Utilities Services Division are outlined in part B. Water of section 5. Public Infrastructure and Facilities within this application.*
    - e. The amendment included a conceptual parks plan consistent with the adopted standards of the local government.

- *Open space within the proposed common area will provide recreation through walking and hiking on the trail system depicted in Exhibit B-2.*
  - f. The proposed cooperative plan amendment that proposes a community system must identify a funding plan for the improvement program.
- *All improvements will be constructed by the builder and dedicated to either the City or the Utility Provider through the final map process.*
- 3. Insert interim policies as identified in the settlement agreement, CV02-03469, Washoe County v. Truckee Meadows Regional Planning Governing Board.

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#### PUBLIC SERVICE LEVELS AND FISCAL EFFECT

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##### Findings

1. The amendment must assess the impacts to public services including police, fire and public recreation based on a level of service that has been adopted by the local government.
  - *Reference the attached Fiscal Analysis (Exhibit X) for projected impacts to public services.*
2. The amendment provides mitigation measures when the impact to public services drops below the adopted level of service for the local government.
  - *As reflected in the attached Fiscal Analysis (Exhibit X) there will be no negative financial impacts do to the Upper Highlands at Cimarron East.*
3. The proposed Cooperative Plan Amendment must analyze the fiscal revenue and service expenditures of development.
  - *As reflected in the attached Fiscal Analysis (Exhibit X) there will be no negative financial impacts do to the Upper Highlands at Cimarron East.*
4. The amendment must identify and evaluate the impacts on public schools.
  - *As outlined in the attached Fiscal Analysis (Exhibit X) there will be no negative impact on area schools.*

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#### NATURAL RESOURCES CONSTRAINTS NOT ELSEWHERE ADDRESSED

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##### Finding

1. The proposed amendment must provide an assessment of wildlife habitats that have been identified in the Regional Open Space Plan. The amendment must include preservation, enhancement and/or mitigation measures.
- *A Vegetation and Wildlife Assessment was completed for the site and can be found in Exhibit Y. As outlined in the report, past wildfires and the sites proximity to existing developments make it an undesirable area for game or endangered species. Wildlife which may be displaced is predicted to be minimal.*
- 

Another component of the Settlement Agreement of October 17, 2002 was that the City of Sparks had to integrate certain adjacency standards in to Municipal Code. With the addition of Chapter 20.45 to its Municipal Code the City of Sparks set forth "Cooperative Planning Area Adjacency Standards," the purpose of which "is to define adjacency standards for different types and intensities of development subject to cooperative planning." How the Upper Highlands at Cimarron East complies with the Adjacency Standards is detailed below.

Properties to the north are buffered by a 140' natural "buffer zone" which is to remain undisturbed. Please refer to Exhibit K for the configuration and magnitude of site buffering. The eastern and southern sides of the subdivision are not bordered by subdivided or developed land and are therefore not held to the adjacency standards. Regardless, a buffer has been provided on the east and south sides of the Upper Highlands at Cimarron East to further the rural feeling of this cluster development. The west side of the project ties directly into the existing Highlands at Cimarron East subdivision.

On the north end of the project some proposed cut slopes are within 500 feet of the property line. The subject slopes do not vary more than 20 feet from the natural grade as stipulated by the Adjacency Standards. Slope intersections between man-made and natural slopes are proposed to be rounded to avoid sharp or abrupt slope transitions. All 2:1 slopes will receive slope matting and be stabilized through re-vegetation with native plant species. For more detail on the re-vegetation seed mix refer to Exhibit L.

Development of the site will not encroach on any hill tops or ridges. In a meeting on September 19<sup>th</sup>, 2003 between members of Washoe County Planning, City of Sparks Planning, and Wood Rodgers Inc. it was determined by both City and County staff that because the portion of the site to be developed is at the bottom of the existing natural hillside and is well below any surrounding landforms the analysis of "Section 20.45.100 Ridgelines" would be omitted from this application.

Finally, this project is compatible with its surroundings as it is an extension of the existing Highlands at Cimarron East. A rural and open feel is provided through the large amount of open space within the project, thusly providing a natural transition to the areas outside of the City's sphere of influence.

## Conformance with the

### REGIONAL WATER PLANNING COMMISSION INTERIM WATER POLICIES AND CRITERIA

Since the Goals and Policy's of the Regional Water Planning Commission (RWPC) are enumerated with the RWPC's February 25, 2003 Interim Water Policies and Criteria, this document will not state each policy and textual description, but rather refer to each , Goal and/or Policy by their number only.

#### A. Goal 1: Plan for the Development of Sustainable Water Supplies

##### Policy 1.1.a – Geographic Use of Truckee River Water

- *The Spanish Springs Hydrobasin is already an area where Truckee River Water Rights are allowed for us. This is under "wholesale" agreements between the Truckee Meadows Water Authority (TMWA) and the Division of Water Resources (DWR). The subject project will be served by the DWR and will be allowed to use Truckee River Water Rights*
- *The use of the water rights is an efficient use and "beneficial use" of the water right as well as the resource. Water rights shall be dedicated to the DWR in the amount sufficient for use on the project in accordance with both the DWR's requirements (specifically Rule 9) as well as under the current TMWA wholesale contract with the DWR.*
- *The use of Truckee River Water Rights in the Spanish Springs Hydrobasin has already been approved by the RWPC.*

##### Policy 1.1.b – Water Conservation

- *Our proposal would result in an eventual development. This development would implement all existing water conservation programs by the DWR and City of Sparks. Specifically, residential water meters and limited irrigation days and times consistent with the DWR's current policies.*
- *The DWR currently has tiered water pricing as a technique for water conservation which would apply to the eventual project.*
- *The proposed project does not propose any areas of "common area" irrigation on a permanent basis, but rather proposes to utilize existing, native vegetation for the project. Therefore, common area irrigation for the project would only consist of that necessary for re-vegetation requirements, with no plans for permanent irrigation of common areas.*
- *Water efficient indoor plumbing fixtures will be installed per Sparks City Code.*

##### Policy 1.1.c – Management of Conserved Truckee River Water

- *This is currently being done by both the DWR and TMWA under the existing wholesale agreement in place which is applicable to the project.*

Policy 1.2.b – Water Resource Investigations

- *Although the ground water supply relative to permitted well rights in the Spanish Springs Hydrobasin have been over-allocated, the use of Truckee River Surface Water Rights on the proposed project ensures that adequate supply for the proposal exists.*

Policy 1.2.c – Emergency Water Supply Standard

- *This is currently being done by both the DWR and TMWA and is not proposed to change by the addition of this proposed project.*

Policy 1.2.d – Water Supplies to Meet Safe Drinking Water Act Requirements

- *This is law and is not proposed to be modified or changed by the proposed project.*

Policy 1.3.a – Well Head Protection

- *This is not applicable to this specific project proposal.*

Policy 1.3.b – Protection and Enhancement of Groundwater Recharge

- *The development proposal does essentially leave the drainageways on the site in their natural state. Only disturbances in the onsite drainageways are made to facilitate roadway crossings to ensure conformance with the City of Sparks emergency service standards, thereby leaving the majority of the drainage ways undisturbed which is consistent with this Policy.*
- *Although the subject site is not identified as a good recharge site, 59% of our site (173 acres) is programmed to be common area – open space.*

Policy 1.3.c – New Water Resources / Importation

- *This is not applicable to this specific project proposal.*

Policy 1.3.d – Water Resources and Land Use

- *There is not currently a water supply deficiency in the area of this proposed project, although consistent with this policy, future development within a specific planning horizon could be constrained and be dependant on a new water supply.*
- *This policy recognizes and concludes that zoning, land use plans and land use opportunities can result in an excess of a potential water supply, although this is not applicable to this specific project.*

**Policy 1.3.f – Water Resource Commitments**

- *This has been done by the DWR for this specific proposal to date and it has been found that adequate resource exists to serve. Formal commitments to serve, in the form of a "will-serve" letter would come later, after water rights were deeded to the DWR and subdivision tract maps are processed with the DWR.*
- *This project will be served by a community water system (DWR's water system) not by domestic wells, therefore, policy relative to domestic wells is not applicable.*

**Policy 1.3.g – Well Siting and Geothermal Influence**

- *Not applicable to this specific proposal.*

**Policy 1.3.h – Groundwater Resource Development and Management of Water Quality**

- *Not applicable to this specific proposal.*

**B. Goal 2: Plan for Regional Wastewater Treatment and Disposal Requirements**

**Policy 2.1.a – Effluent Reuse – Efficient Use of Water Resources and Water Rights**

- *Although reclaimed wastewater (effluent) will be in the east Spanish Springs area by July 2004, use on the subject proposal may not be applicable due to the fact that no common area landscape or common feature landscaping is programmed into the proposed development. Irrigation of landscape occurs (within this proposed project) only on the actual lot yards. Currently, use of effluent on lot yard landscaping has not been done, only irrigation with effluent on common feature or common area landscape has been implemented.*
- *This most likely is not applicable to this specific development, unless policy changes at TMWA and/or the DWR were to occur in the future.*

**Policy 2.2.a – Septic Tank Density and Groundwater Pollution**

- *Not applicable to this specific proposal.*

**C. Goal 3: Plan for the Protection of Human Health, Property, Water Quality and the Environment through Regional Floodplain and Stormwater Management**

**Policy 3.1.a – Regional Floodplain Management Plan & Regional Flood Control Master Plan**

- *Due to the geographical location of the proposed project, if approved, the project would become part of the North Sparks Sphere of Influence (NSSOI) and will be subject to the Hydrologic and Flood Control Master Plan already created and adopted by the City of Sparks.*
- *With our submittal, we have demonstrated that should the project be approved, it is conformant with the NSSOI Flood Control Plan and would construct at its' own cost, the on-site flood control improvements as well as pay into the NSSOI flood control fund with each building permit.*

- *The NSSOI recognizes and plans for flood volumes in excess of the pre-existing condition (on a project specific basis) and mitigates this increase based on regional project improvements to ensure that no adverse impacts to downstream properties occur. Prior to recordation of any maps relative to the proposed project, this report would be reviewed and approved by the City of Sparks.*

#### Policy 3.1.b – Floodplain Storage within the Truckee River Watershed

- *This project would be part of the NSSOI Flood Control Master Plan, and would be subject to all the requirements thereto, which include floodplain storage and volumetric increases due to development.*
- *We are fortunate that the City of Sparks has implemented this plan (years ago) and that it has been the Stormwater management and Floodplain Management tool for this portion of the City.*
- *Floodplain Storage downstream is part of the NSSOI plan currently, our project is required to be conformant with all the components of said plan.*

#### Policy 3.1.c – Floodplain Storage outside of the Truckee River Watershed

- *This project would be part of the NSSOI Flood Control Master Plan, and would be subject to all the requirements thereto, which include floodplain storage and volumetric increases due to development.*
- *We are fortunate that the City of Sparks has implemented this plan (years ago) and that it has been the Stormwater management and Floodplain Management tool for this portion of the City.*
- *Floodplain Storage downstream is part of the NSSOI plan currently, our project is required to be conformant with all the components of said plan.*

#### Policy 3.1.d – Truckee River Restoration

- *This proposed project does not lie within the Truckee River Corridor and is not in either Zone 1, Zone 2 or Zone 3 of Exhibit A of the RWPC's document*
- *Enhancement of the Truckee River and Truckee River Restoration will occur, as stated in this Policy, by the jurisdictions within the identified areas.*

#### Policy 3.1.e – Watershed Protection

- *The watershed protection program is the NSSOI Hydrologic Master Plan.*

#### Policy 3.1.f – Adoption of Uniform Storm Drainage Programs

- *This has already been done by the City of Sparks and is the NSSOI Hydrologic Master Plan, which applies to this site.*

#### Policy 3.1.g – Management Strategies for Slopes Greater than 15 Percent

- *This project would be subject to the Hillside Development Criteria as set by Sparks Municipal Code (SMC) 20.99.*

- *All plans and activities on the site would have to conformant with SMC 20.99 and NPDES permitting.*
- *An erosion control plan, NPDES permit, as well as a project specific Storm Water Pollution Prevention Plan (SWPPP) are required by the City of Sparks prior to any grading activity.*
- *Part of the project approval also is an analysis to identify flood hazard (NSSOI Drainage Master Plan) and erosion hazard (required to be contained within the site specific Geotechnical Study for the project) upon plan approval and prior to any grading activity.*

**Policy 3.1.i – Floodplain Management / Flood Control Projects Subject to RWPC Review**

- *The NSSOI plan is active and is not a new proposed plan. This Policy is not applicable to this project proposal.*

**D. Goal 4: Support the Implementation of the Regional Plan**

**Policy 4.1.a – Infrastructure Studies – Conformance with the Regional Water Management Plan**

- *This is not applicable to this specific project. Again said proposed project lies within an approved plan area relative to water supply, wastewater (project will connect to City of Sparks sanitary sewer), storm water and flood control.*

**Policy 4.1.b – Cost Development**

- *This is not applicable to this specific project, since the cost development associated with infrastructure studies in this Policy are relative to those which are “performed by the” RWPC.*

**Policy 4.1.c – Timing and Sizing of Facilities**

- *Portions of the infrastructure have already been built which will serve the subject project.*
- *Sanitary Sewer exists at our property line with capacity to service the project.*
- *The flood control improvements and storm drainage improvements will be built with the project.*
- *The water improvements necessary to serve the project will also be built with the project.*
- *This has all been or will be done to the extent allowed by State statues, codes and local ordinances.*

**Policy 4.1.d – RWPC Programs and Policies to Reinforce Goals of Regional Plan**

- *This has been done, and this project has been designed within the framework of those goals.*
- *Our response within this document addresses the RWPC Goals and Policies itself.*

Policy 4.1.e – Inclusion of Non-Economic Criteria in Evaluation of Alternatives

- *The City of Sparks may require an Archeological Study be performed on the site prior to any grading activities. No wetlands, vegetation or significant habitat exist on the site. This is proven by the "Vegetation and Wildlife Assessment", prepared by JBR Environmental Consultants, Inc. report dated March 11, 2003 for this specific site. A copy of this Report has been included as part of our Entitlements Application.*

Policy 4.1.f – Economic Decision-making Criteria

- *This is not applicable to this specific application.*

Policy 4.1.g – Criteria for Conformance with Regional Water Management Plan

- *Our review of the standards of the Regional Water Management Plan with regard to this specific project proposal shows that the proposed plan is conformant. This is further echoed by the City of Sparks' independent review of the same.*
- *This project proposal is the best based alternative. The use of clustered lot arrangements as proposed by this application results in less disturbed area (even then that allowed by SMC 20.99), allows for over 50 percent of the project to remain in it's native state, and allows the existing drainageways to virtually remain native. Alternatives would be to disturb the entire project parcel with un-necessary grading and lot sizes which are too large and are not sub-urban by nature. This is the best based alternative.*
- *An evaluation of the projects impacts have been quantified in our project submittal. These range from water usage and supply, waste water collection and treatment, storm drainage and floodplain management and finally traffic. The project must be reviewed in the context of all the information provided.*

Policy 4.1.h – Facilities Excluded from Conformance Review

- *This is not applicable.*

Policy 4.2.a – Involvement of Regional Water Planning Commission in Water Related Issues

- *We do not oppose this Policy, this Policy is a statement of fact, and is not specific to this project.*

Policy 4.2.b – Recognition of Existing Entity Roles

- *We do not oppose this Policy, this Policy is a statement of fact, and is not specific to this project.*

Policy 4.2.c – Projects Subject to RWPC Review

- *This proposed project does not fall under this criteria. It is not a project of Regional Significance, it has no effect on Regional water, wastewater or flood control.*

## **E. Water Resource Overview by Hydrobasin – Spanish Springs Valley Hydrobasin**

### *Response:*

- *This project will not be served by individual wells, it will be served by a community water system, specifically the Washoe County Department of Water Resources (DWR) who is the retail provider. This is consistent with the long term strategy for the Spanish Springs Valley.*
- *This project will not use septic tanks or individual wastewater disposal, but rather the City of Sparks community sewer system. The City of Sparks will be the sewer collection and treatment provider. Therefore, no additional nitrate contamination will result as a part of this project approval. This is consistent with the long term strategy for the Spanish Springs Valley.*
- *This project will be part of the NSSOI which has infrastructure funding components specific to sanitary sewer, storm drainage and flood control which it (the project) will pay into to. This also is consistent with the long term strategy for the Spanish Springs Valley.*

**D. Planned Development.**

The Tentative Planned Development Review Application is to create a development handbook for a 251 lot subdivision on the subject property. Handbook guidelines will be very similar in theme and housing product to the existing Highlands at Cimarron East Subdivision. The Planned Development Handbook will be created per section 20.18 of the City of Sparks Municipal Code. Following are the required findings per the Tentative Planned Development Review Application packet and how the Upper Highlands at Cimarron East meets each.

*PD1 The plan is consistent with the objective of furthering the public health, safety, morals and general welfare by providing for housing of all types and design.*

- This project will be a high quality, relatively low density subdivision. Lower density type of housing communities are not prevalent throughout the City of Sparks, and this development would widen the spectrum of housing types available.

*PD2 The plan is not consistent with the objective of furthering the public health, safety, morals and general welfare by providing for necessary commercial and industrial facilities conveniently located to the housing.*

- *This project is not commercial in nature.*

*PD3 The plan is consistent with the objective of furthering the public health, safety, morals and general welfare by providing for the more efficient use of land or private services.*

- *This project will use the land in a responsible and efficient way through advanced planning and a realistic development scheme for this unique site.*

*PD4 The plan is consistent with the objective of furthering the public health, safety, morals and general welfare by providing for changes in technology of land development so that resulting economies may be available to those in need of homes.*

- *The Upper Highlands at Cimarron East provides a type of housing which is not abundant throughout the City of Sparks.*

*PD5 The plan is/is not consistent with the objective of furthering the public health, safety, morals and general welfare by providing/not providing for flexibility of substantive regulations over land development so that proposals for land development are disposed of without undue delay.*

- *The Development Handbook is intended to give the area a uniform theme and feel and is not intended to hinder development in the area.*

*PD6 The plan does not depart from zoning and subdivision regulations otherwise applicable to the property, and these departures are in the public interest for density.*

- *The proposed handbook is consistent with the Master Plan Designation of Estate Density Residential.*

PD7 The plan does not depart from zoning and subdivision regulations otherwise applicable to the property, and these departures are in the public interest for bulk.

- *The plan is consistent with the otherwise applicable zoning. The site is best suited for low density cluster development to take advantage of the most developable portions of the property.*

PD8 The plan does depart from zoning and subdivision regulations otherwise applicable to the property, and these departures are/are not in the public interest for use.

- *Land use is consistent with the area and the Master Plan.*

PD9 The ratio of residential to nonresidential use in the planned development is:

- *Zero*

PD10 Common open space in the planned development exists for what purpose, is located where within the project, and comprises how many acres (or what percentage of the development site taken as a whole).

- *Of the 296.27 acres, nearly 160 acres have been designated as undisturbed open space on the Site Plan (Exhibit B-1). Therefore approximately 46% of the total land area is to remain as open space and undisturbed. A trail system will run throughout the common area open space. The purpose of this trail system will be to provide recreation through walking and hiking.*

PD11 The plan does provide for the maintenance and conservation of the common open space by what method.

- *This open space will be owned and maintained by the Homeowners' Association.*

PD12 Given the plan's proposed density and type of residential development, the amount and/or purpose of the common open space is determined to be adequate.

- *The amount of open space provided with this development is more than adequate to provide future residents with an area for walking and Hiking.*

PD13 The plan does provide for public services. If the plan provides for public services, then these provisions are adequate.

- *As discussed in the "Public Infrastructure and Facilities" section of this application, public services will be provided and adequate in extent.*

PD14 The plan does provide control over vehicular traffic.

- *The attached Traffic Report (Exhibit W) shows that traffic generated by the proposed development will not over tax existing roadways in the area.*

PD15 The plan does provide for the furtherance of access to light, air, recreation and visual enjoyment.

- *Again, of the 296.27 acres, nearly 160 acres have been designated as undisturbed open space on the Site Plan (Exhibit B-1). Open space will potentially provide open air recreation and access to sun lit areas. The proposed development is also on the lower portion of the property as to not interfere with visual enjoyment of the surrounding hills.*

PD16 The relationship of the proposed planned development to the neighborhood in which it is proposed to be established is beneficial.

- *This project is compatible with the surrounding neighborhood as it is an extension of the existing Highlands at Cimarron East.*

PD18 The project, as submitted and conditioned, is consistent with the City of Sparks Master Plan.

- *The plan is consistent with the City of Sparks Master Plan as amended with this application.*

PD19 The project is consistent with the surrounding existing land uses.

- *This project is compatible with the surrounding land uses as it is an extension of the existing Highlands at Cimarron East.*

PD20 Public notice was given and a hearing held per the requirements of the Sparks Municipal Code.

- *Notice will be given and hearings held per the Sparks Municipal Code.*

PD21 Modification of \_\_\_\_\_ Planned Development furthers the interest for the City and the residents and preserves the integrity of the plan.

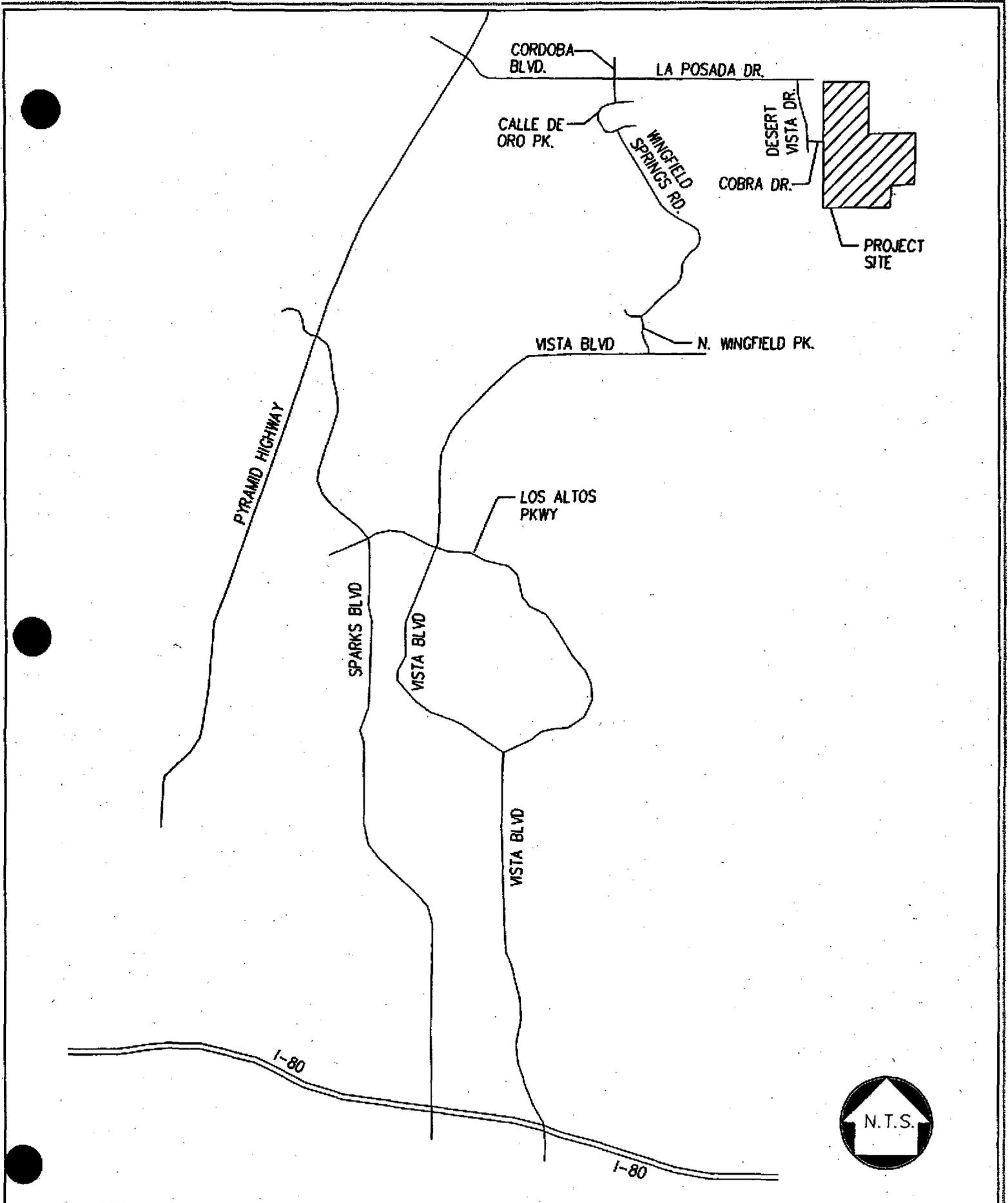
- *This finding does not apply to this application.*

The Tentative Planned Development Review Application is to create a development handbook for a 251 lot subdivision on the subject property. As can be seen from the above findings this development and the proposed Handbook are consistent with the intent of the Planned Development process.

## **7. APPLICATION CONTRIBUTORS:**

To assist in the preparation of this application, the following consultants were utilized:

- Civil Engineer:** Wood Rodgers, Inc.  
Mr. Robb Owen, P.E.  
4599 Longley Lane  
Reno, NV 89502
- Environmental Consultant:** JBR Environmental Consultants, Inc.  
Mr. David Worley  
4741 Caughlin Parkway, Suite 2  
Reno, NV 89509
- Financial Model:** Meridian Business Advisors  
Ms. Candace Evart  
695 Sierra Rose Dr.  
Reno, NV 89511
- Soils Engineer:** Pezonella Associates, Inc.  
Mr. Raymond M. Pezonella  
520 Edison Way  
Reno, NV 89502
- Surveyor:** Tri State Surveying, LTD.  
Mr. David C. Crook  
1925 E. Prater Way  
Sparks, NV 89434
- Traffic Engineer:** Solaegui Engineers LTD.  
Mr. Paul Solaegui  
715 H. Street  
Sparks, NV 89431



**THE UPPER HIGHLANDS  
AT CIMARRON EAST**  
VICINITY MAP

SPARKS

NEVADA

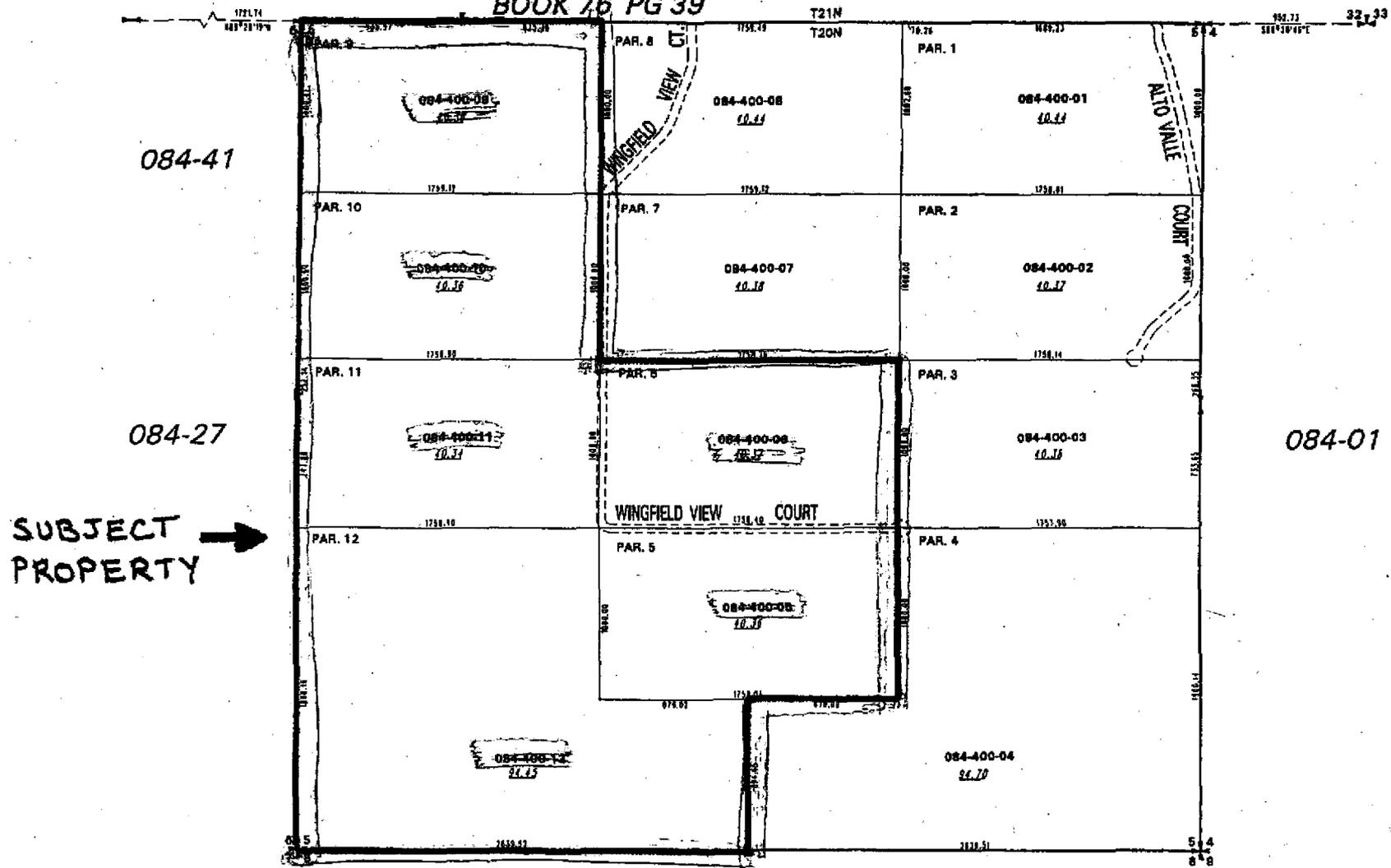


**WOOD RODGERS**  
ENGINEERING • MAPPING • PLANNING • SURVEYING  
4599 Longley Lane Tel 775.823.4068  
Reno, Nevada 89502 Fax 775.823.4066

# LAND MAP 183

SECTION 5, T20N - R21E

BOOK 76 PG 39



SUBJECT PROPERTY →

NOTE: This map is prepared for the use of the Washoe County Assessor for assessment and illustrative purposes only. It does not represent a survey of the premises. No liability is assumed as to the sufficiency or the accuracy of the data delineated hereon.

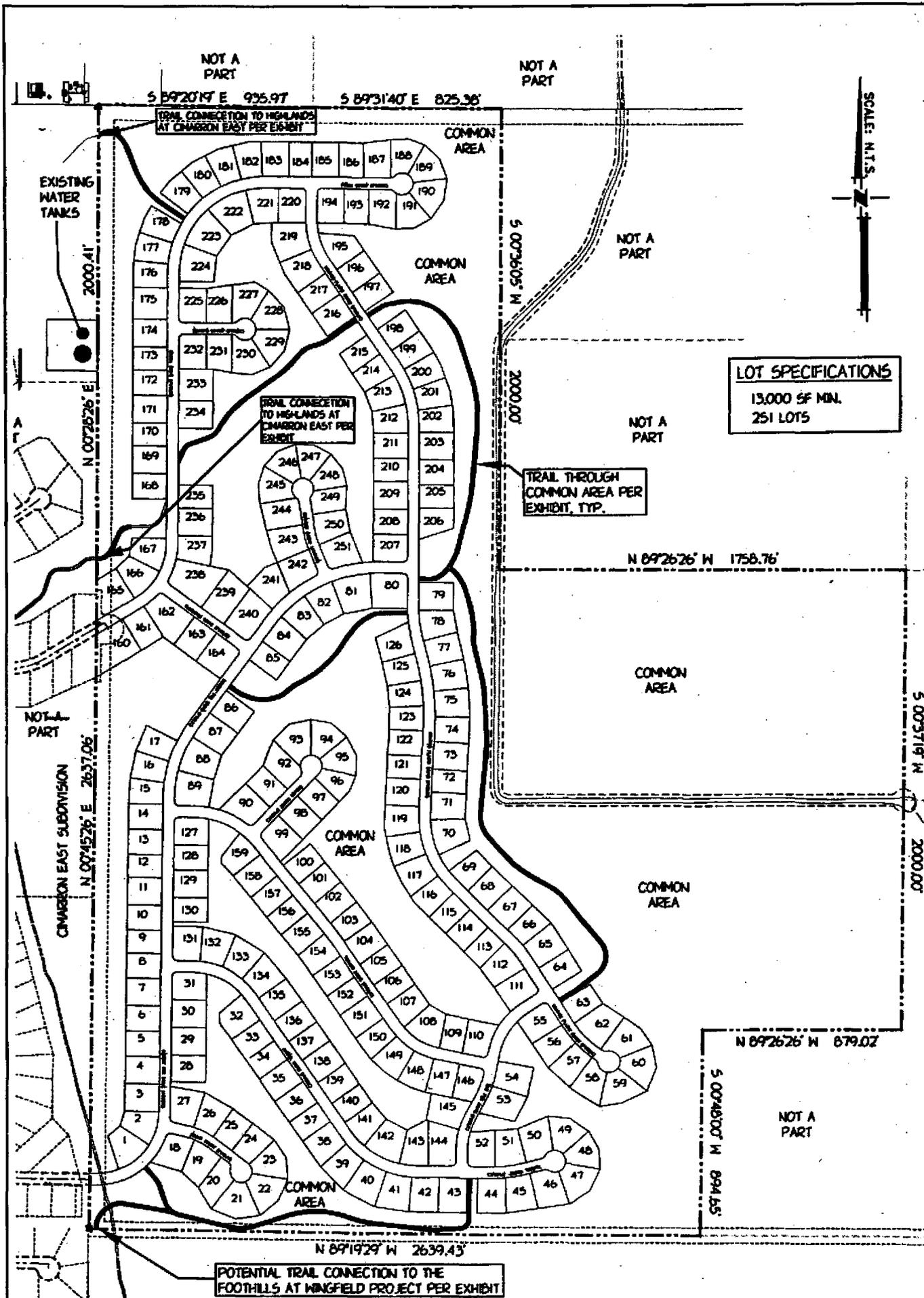
Office of Washoe County Assessor, Nevada - Robert W. McGowan

This area previously shown on 84-01

NOTE: Areas of parcels which are less than 2 acres are shown in square feet.

Drawn by	TWT 06/15/99
Revised	MCS 12/18/01





SCALE: N.T.S.

**LOT SPECIFICATIONS**  
 13,000 SF MIN.  
 251 LOTS

NOT A PART

5 89°20'14" E 935.97

5 89°31'40" E 825.36

COMMON AREA

EXISTING WATER TANKS

2000.41'

N 00°25'26" E

TRAIL CONNECTION TO HIGHLANDS AT CIMARRON EAST PER EXHIBIT

COMMON AREA

5 00°36'05" W

NOT A PART

2000.00'

TRAIL THROUGH COMMON AREA PER EXHIBIT, TYP.

NOT A PART

N 89°26'26" W 1758.76'

COMMON AREA

NOT A PART

CIMARRON EAST SUBDIVISION

N 00°45'26" E 2637.06'

COMMON AREA

5 00°37'18" W

2000.00'

COMMON AREA

COMMON AREA

2000.00'

N 89°26'26" W 879.02'

NOT A PART

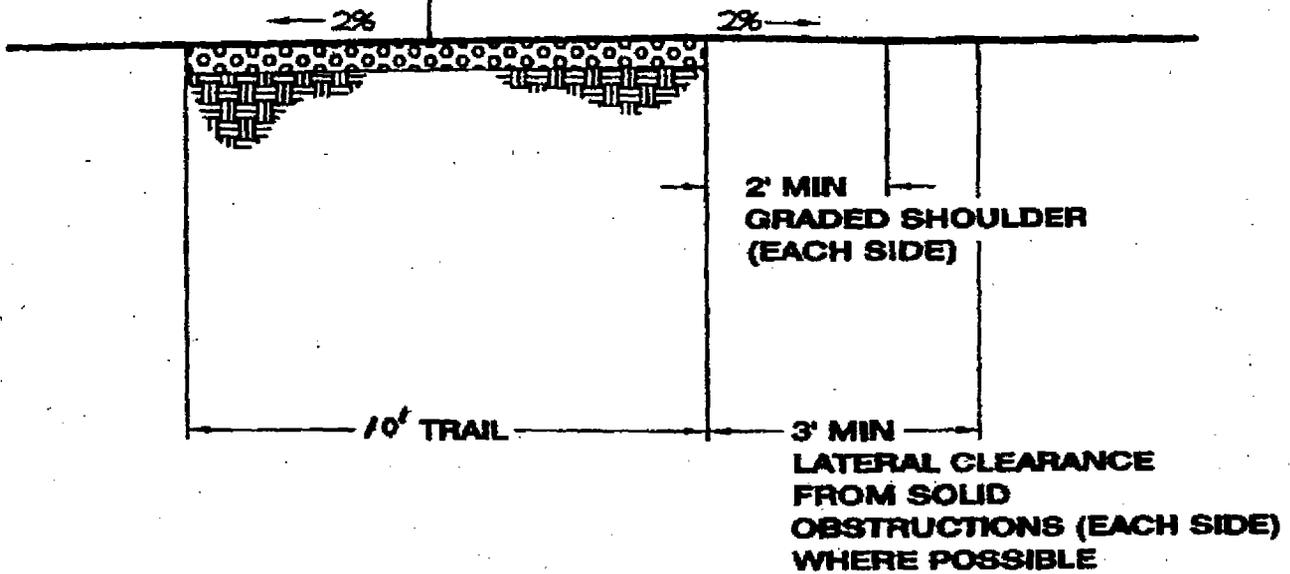
5 00°46'00" W 894.65'

N 89°19'29" W 2639.43'

POTENTIAL TRAIL CONNECTION TO THE FOOTHILLS AT WINGFIELD PROJECT PER EXHIBIT

SHEET NO. B-2 DATE:	IMPROVEMENT PLANS FOR <b>UPPER HIGHLANDS AT CIMARRON EAST</b>			DATE:	BY:
	<b>MASTER TRAIL PLAN</b>			CHECKED BY:	DATE:
SPAINS	NEVADA	4000 Las Vegas Blvd. S., Suite 100 Las Vegas, NV 89149 Tel: 702.251.2000 Fax: 702.251.2000	APPROVED BY:	DATE:	SCALE:

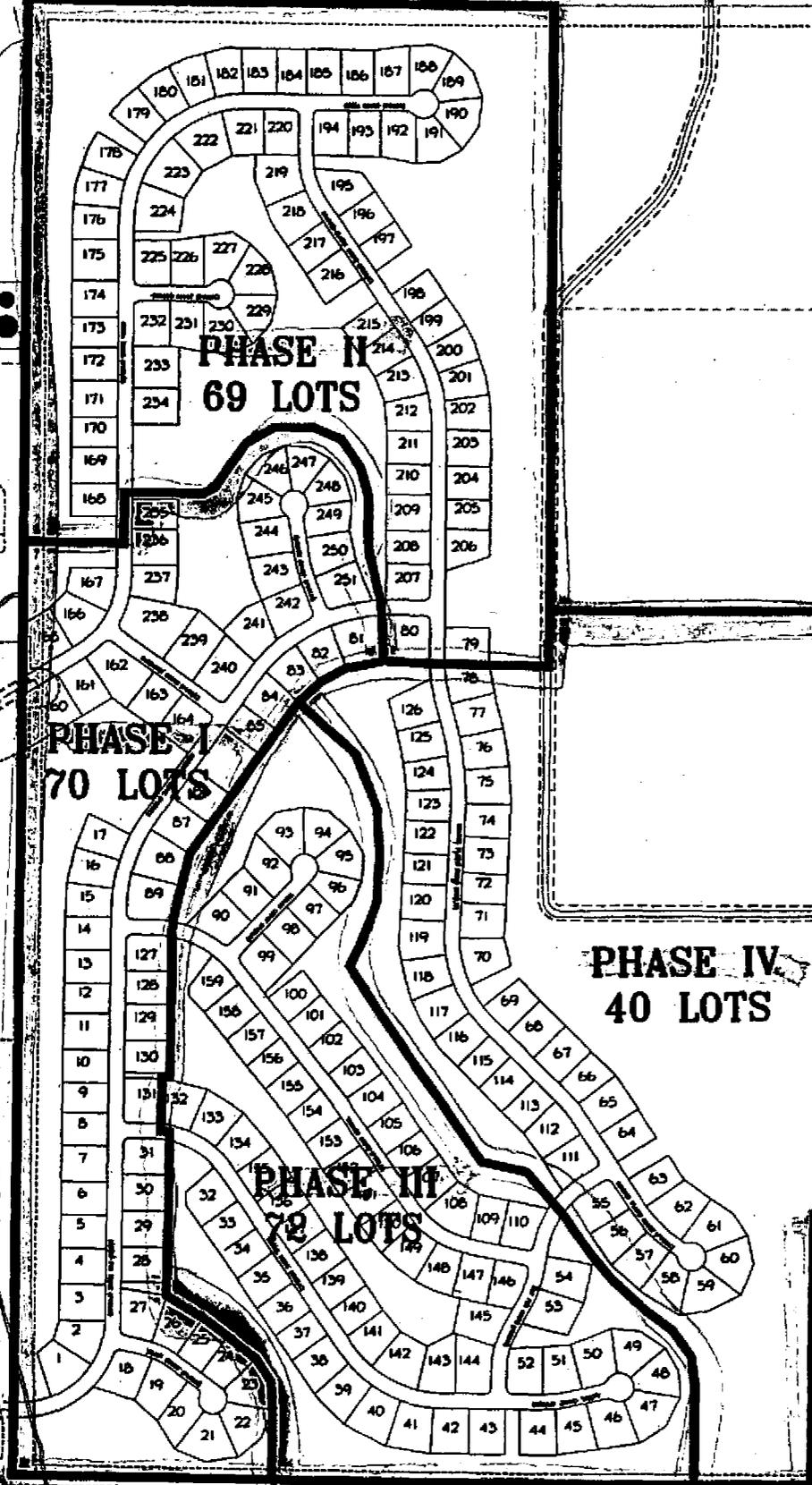
4" DEPTH D.G. - WHERE  
SUITABLE, CLEARED NATIVE  
MATERIAL WILL SERVE AS  
TRAIL SURFACE.



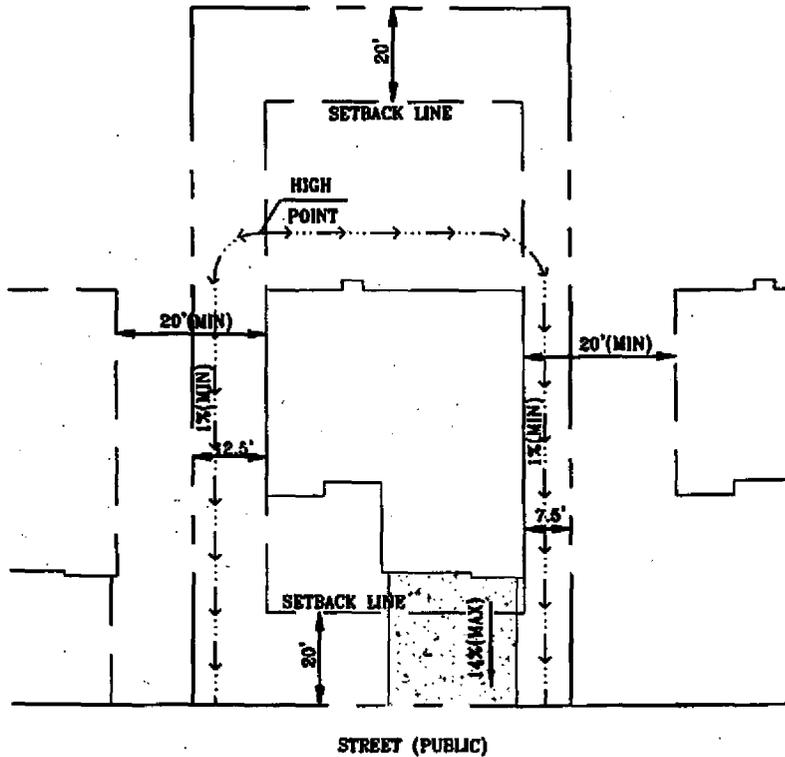
# TRAIL SECTION

SCALE: N.T.S.

**LOT SPECIFICATIONS**  
 13,000 SF MIN.  
 251 LOTS

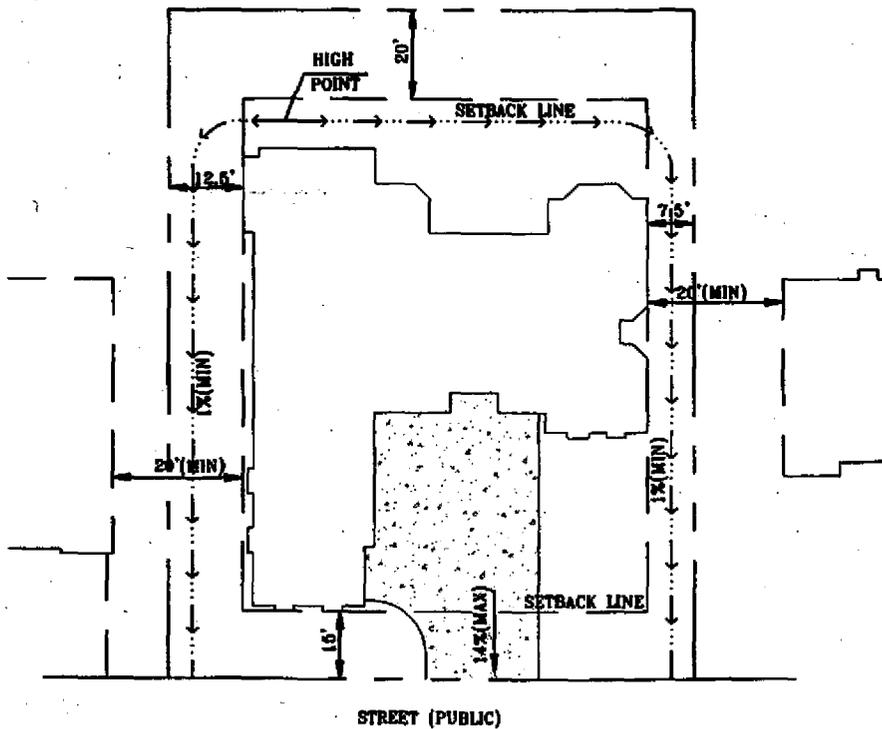


1 of 1 D 11/15/2010	IMPROVEMENT PLAN FOR <b>UPPER HIGHLANDS AT CIMARRON EAST</b>		 WOOD RODGERS 10000 Louisa Lane Dallas, TX 75243	DATE: 11/15/10				
	<b>PHASING PLAN</b>			DRAWN BY: JAE	CHECKED BY: JAE	DATE: 11/15/10	SCALE: N.T.S.	SHEET NO. 1 OF 1



### LOT STANDARDS

MINIMUM LOT AREA: 13,000 SF  
 FRONT YARD SETBACK: 20'  
 REAR YARD SETBACK: 20'  
 SIDEYARD SETBACK: 7.5'/12.5'  
 (20' BETWEEN STRUCTURES)



### LOT STANDARDS

MINIMUM LOT AREA: 13,000 SF  
 FRONT YARD SETBACK: 20'  
 FRONT YARD SETBACK TO  
 SIDE LOAD GARAGE: 15'  
 REAR YARD SETBACK: 20'  
 SIDEYARD SETBACK: 7.5'/12.5'  
 (20' BETWEEN STRUCTURES)

**EXHIBIT "E"**  
 TYPICAL BUILDING LOCATIONS

# THE FINESSE



A



B



C

# THE FLAIR



A



B



C

# THE PANACHE



A



B

# THE PIZZAZ



A



B

# THE SHOWCASE



A



B



C

# THE TEMPTATION



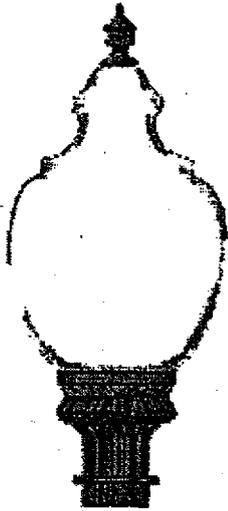
A



B



C

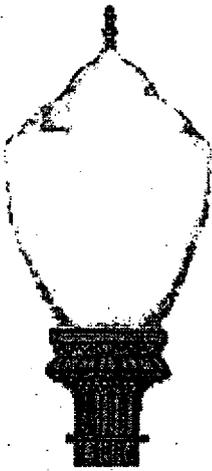


**ODL85U: Acorn Style Luminaire 100W HPS 120 VOLT**

Can be used with:

- ODL89U Decorative Poles (selected by stock numbers)
- ODL95U - 20' Round Shaft Embedded Concrete Pole  
*Note: Add tenon adapter 28-0746 for this application*

STOCK #	QTY	DESCRIPTION
28-0240	1.0	Control Photo Electronic Multi-Volt Blue
28-0384	1.0	Lamp 100W Sodium Vapor 9500 Lumens
28-0488	1.0	Luminaire Decorative Acorn Style



**ODL86U: Nostalgia Style Luminaire 100W HPS 120 VOLT**

Can be used with:

- ODL89U Decorative Poles (selected by stock numbers)
- ODL95U - 20' Round Shaft Embedded Concrete Pole  
*Note: Add tenon adapter 28-0746 for this application*

STOCK #	QTY	DESCRIPTION
28-0240	1.0	Control Photo Electronic Multi-Volt Blue
28-0384	1.0	Lamp 100W Sodium Vapor 9500 Lumens
28-0490	1.0	Luminaire Decorative Nostalgia Style



**ODL96U: Colonial Style Luminaire 100W HPS 120 VOLT**

Can be used with:

- ODL95U 20' Round Embedded Concrete Pole

STOCK #	QTY	DESCRIPTION
28-0240	1.0	Control Photo Electronic Multi-Volt Blue
28-0384	1.0	Lamp 100W Sodium Vapor 9500 Lumens
28-0485	1.0	Luminaire Decorative Colonial Style

**Sierra Pacific**  
POWER COMPANY



ENGINEERING & CONSTRUCTION STANDARD

SHEET 1 OF 2

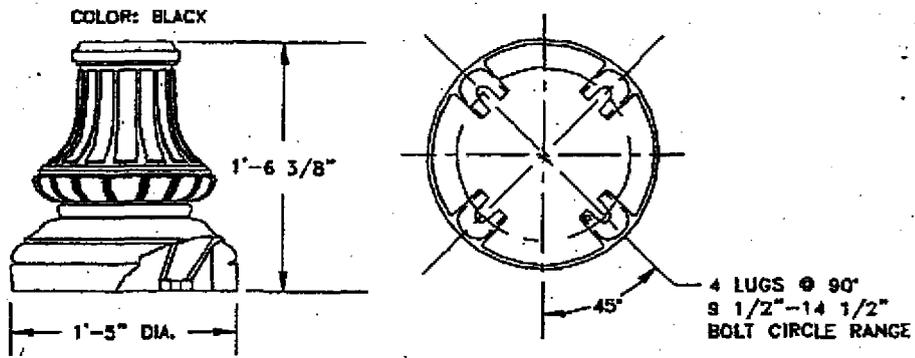
VOLUME 5

**OUTDOOR DECORATIVE  
LIGHTING**

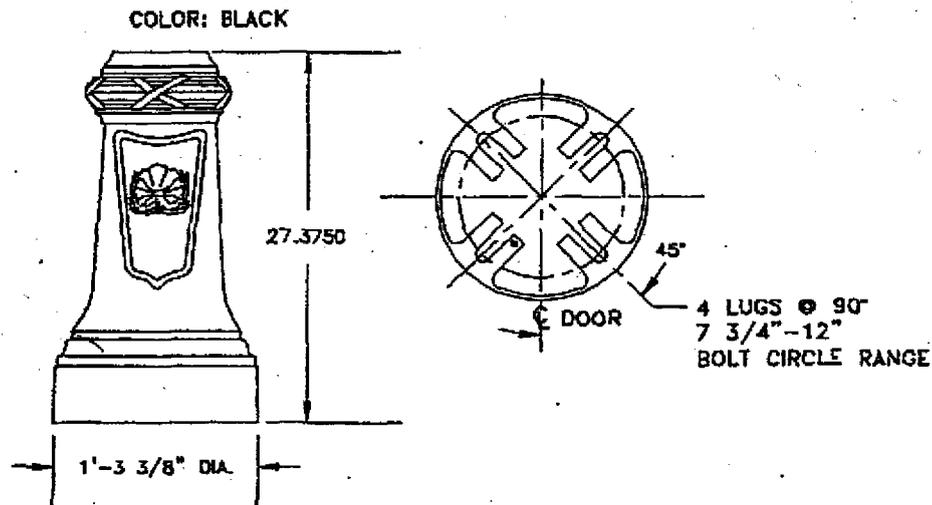
DRAWING NUMBER  
ODL85U ODL86U  
ODL96U ODL98U  
ODL99U

DRAWN	DESIGN	SUPR	DATE	REV
JV	JV	CR	8/01	2

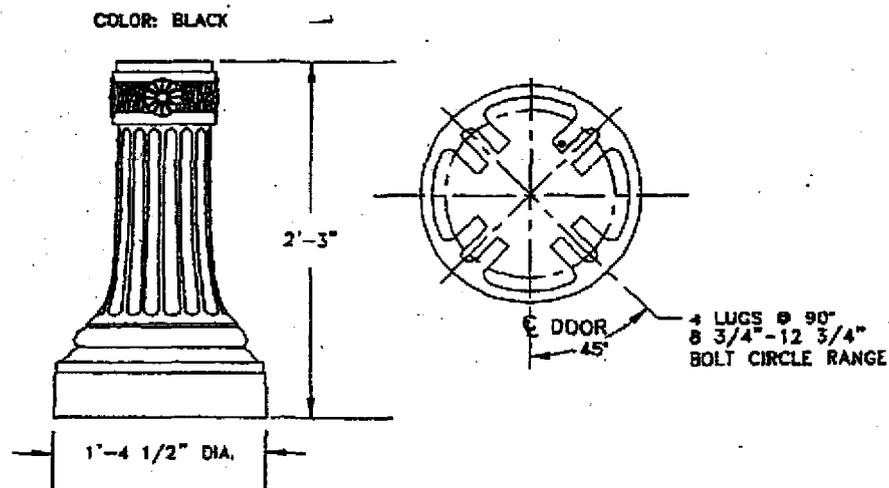
**STOCK NO. 28-0130**



**STOCK NO. 28-0132**



**STOCK NO. 28-0134**



**Sierra Pacific**  
POWER COMPANY

ENGINEERING & CONSTRUCTION STANDARD

SHEET 2 OF 2

DECORATIVE STEEL  
POLES & BASES

DRAWING NUMBER

**ODL89U**

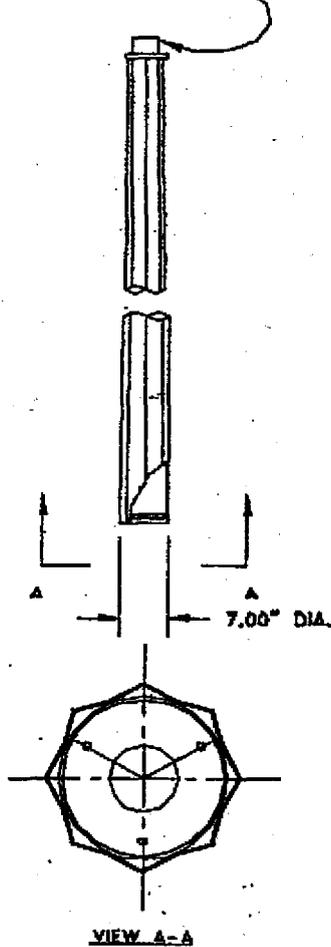
DRAWN	DESIGN	SUPR	DATE	REV
GD	JV	KT	11/98	

**STOCK NO. 28-1104**

SHAFT LENGTH	TOP O.D.
12'-6"	5.25"

COLOR: BLACK

3 1/2" O.D. X 2 1/2" MIN. PROJECTION TENON

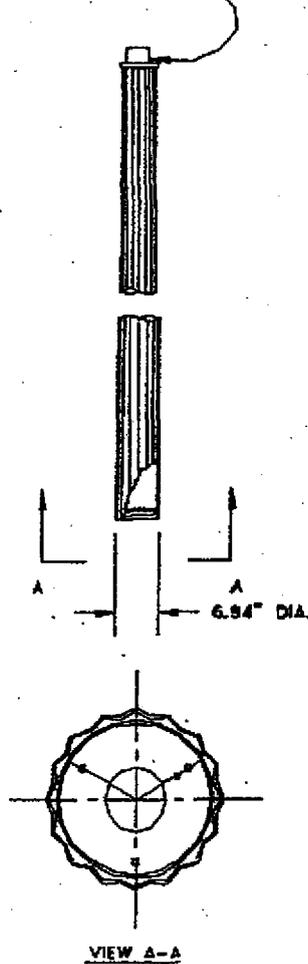


**STOCK NO. 28-1106**

SHAFT LENGTH	TOP O.D.
12'-6"	5.19"

COLOR: BLACK

3 1/2" O.D. X 2 1/2" MIN. PROJECTION TENON

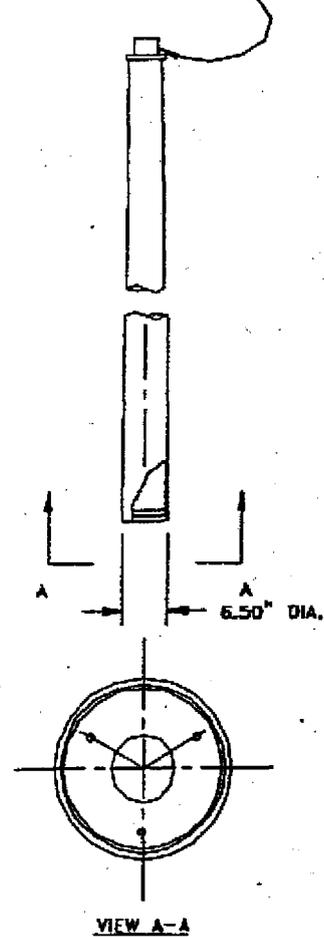


**STOCK NO. 28-1108**

SHAFT LENGTH	TOP O.D.
12'-6"	4.75"

COLOR: BLACK

3 1/2" O.D. X 2 1/2" MIN. PROJECTION TENON



**NOTES:**

1. ODL89U generates all labor and miscellaneous items for decorative pole & base. Call for one for each light.
2. Pole and base to be added to STAK by stock#.
3. SLB02U generates value of bolted base for tax liability. Call for one for each light.
4. These poles & bases to be used with: ODL85U, ODL86U, ODL91U, ODL95U.



ENGINEERING & CONSTRUCTION STANDARD

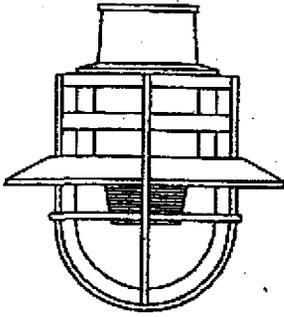
SHEET 1 OF 2

**DECORATIVE STEEL  
POLES & BASES**

DRAWING NUMBER

**ODL89U**

DRAWN	DESIGN	SUPR	DATE	REV
GD	JV	KT	11/98	



**ODL98U: 150 HPS 120V Ranch Fixture**

STOCK #	QTY	DESCRIPTION
28-0240	1.0	Control Photo Electronic Multi-Volt Blue
<del>28-0380</del> 28-0388	1.0	Lamp 150W Sodium Vapor 16000 Lumens (12 per case)
28-0480	1.0	Luminaire Decorative Ranch Style with Arm 150 Watt HPS 120V



**ODL97U: 20' Square Embedded Shaft Pole**

STOCK #	QTY	DESCRIPTION
28-0750	1.0	Pole Concrete Street Light Embedded Square Shaft 20'-3" Long
17-0170	40.0	Wire #10 19 STR COP THHN 600V Black
17-0180	40.0	Wire #10 19 STR COP THHN 600V White
28-1160	1.0	Tube Fiber 16" Dia. X 5 Ft. (for use with Street Lights)

**Sierra Pacific**  
POWER COMPANY

ENGINEERING & CONSTRUCTION STANDARD

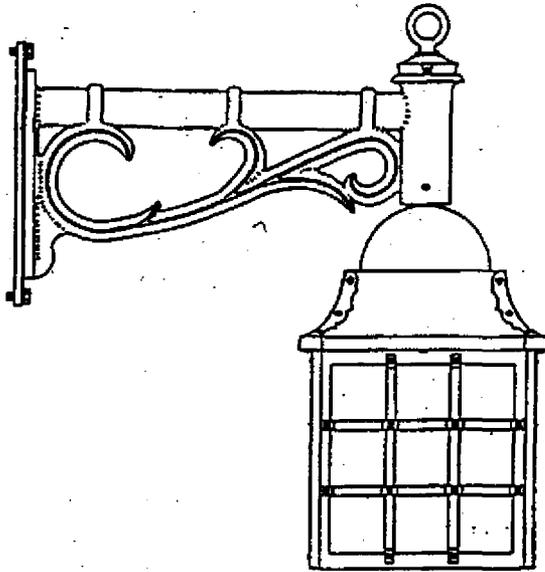
SHEET 1 OF 1

DRAWN	DESIGN	SUPR	DATE	REV
GD	DC	KT	3/98	

**DECORTATIVE  
RANCH LUMINAIRE**

DRAWINGNUMBER

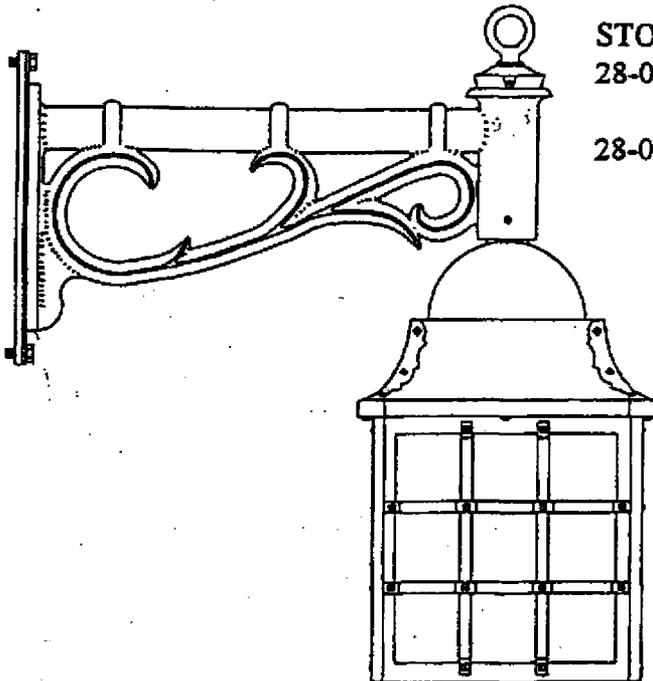
**DSL0006**



**ODL84U: 100W HPS 120V Lantern Fixture**

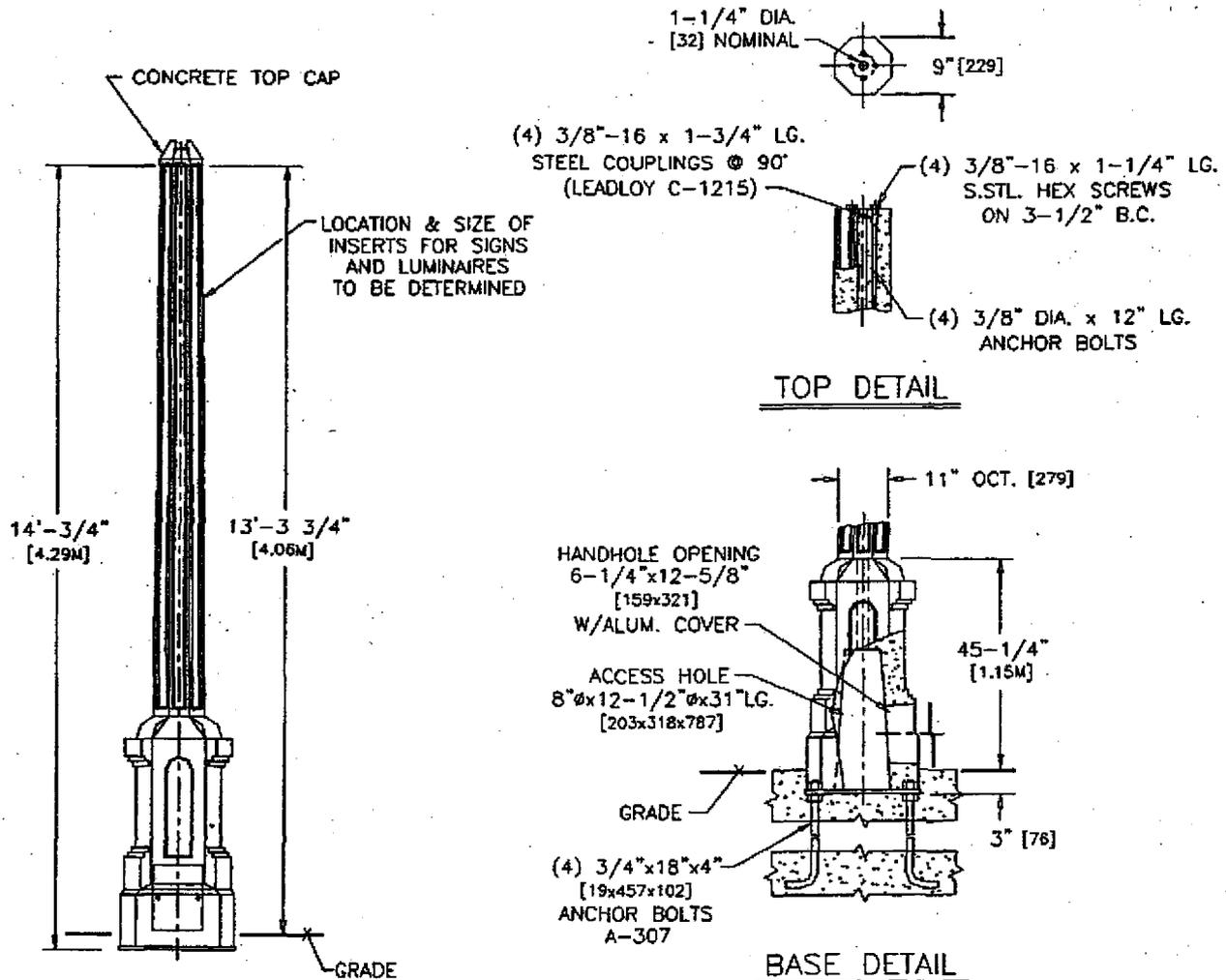
STOCK #	QTY	DESCRIPTION
28-0380	1.0	Lamp 100W HPS Medium Base
28-0495	1.0	Luminaire Decorative Lantern Style Single Side Mount 100W HPS

**ODL82U: 150W HPS 120V Lantern Fixture**

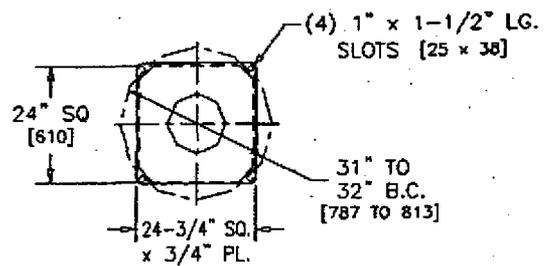


STOCK #	QTY	DESCRIPTION
28-0386	1.0	Lamp 150W Sodium Vapor 16000 Lumens (12 per case)
28-0492	1.0	Luminaire Decorative Lantern Style Single Side Mount 150W HPS

# ODL80U: 14' Monterrey Bolted Base Pole



**NOTES:**  
 CONCRETE TO BE 6,000 PSI COMPRESSION MINIMUM IN 28 DAYS.  
 MANUFACTURED TO ASTM C 1089-88.  
 PRESTRESSED WITH (8) 5/16" DIA. [8] A-416 WIRES.  
 DIMS IN BRACKETS ARE MILLIMETERS UNLESS NOTED OTHERWISE.



STOCK #	QTY	DESCRIPTION
28-0785	1.0	Pole Concrete Street Light Bolted Base 14 Ft. Monterrey Style
17-0170	40.0	Wire #10 19 STR COP THHN 600V Black
17-0180	40.0	Wire #10 19 STR COP THHN 600V White
28-0240	1.0	Control Photo Electronic Multi-Volt Blue



ENGINEERING & CONSTRUCTION STANDARD

SHEET 2 OF 2

DECORATIVE  
 LANTERN LUMINAIRE

DRAWING NUMBER

DSL0007

DRAWN	DESIGN	SUPR	DATE	REV
GD	DC	KT	3/98	

# TRENCH EXCAVATION STANDARDS

## 1.0 SCOPE

These standards provide trench configurations and general requirements and guidelines for trenching and excavation for pipe, conduit, box, and vault installations within SPPCo.'s service territory.

## 2.0 INDEX

- 1.0 SCOPE
- 2.0 INDEX
- 3.0 GENERAL
- 4.0 TRENCHING GUIDELINES
- 5.0 SAFETY
- 6.0 BOX / VAULT / JUNCTION ENCLOSURE INSTALLATION
- 7.0 PAD INSTALLATION
- 8.0 STREET LIGHT INSTALLATION

## 3.0 GENERAL

All applicable city, county, state, and federal specifications must be met in addition to the requirements of this standard. In the case of conflict, the more rigid specification or standard shall apply.

## 4.0 TRENCHING GUIDELINES

### 4.1 Trenching Configurations

Trench configuration drawings attached as part of this standard are the typical configurations used by SPPCo. In cases where a typical configuration does not apply, a trench section drawing shall be provided to the contractor or customer showing necessary dimensions and details. The following general rules apply to all trenches:

4.1.1 Backfill: The top 12 inches minimum of all trenches in streets, highways, or other paved areas shall be back-filled with crushed gravel compacted to 95% maximum density in accordance with SPPCo. Specification SUB01X, Section 5.4.1.

4.1.2 Bedding: Compacted sand bedding shall be placed a minimum of 12 inches above and 6 inches below all pipes and conduits.

**REVISION: Paragraph 6.5, Added Section 8.0.**

 <b>Sierra Pacific</b> POWER COMPANY					ENGINEERING & CONSTRUCTION STANDARD		SHEET <u>1</u> OF <u>6</u>	
					<b>TRENCH EXCAVATION STANDARDS</b>		VOLUME <u>17</u>	
DRAWN	DESIGN	SUPR	DATE	REV			DRAWING NUMBER	
GD	JF	HM	12/99	3	<b>TE0001U</b>			

### 7.3 Installation

Transformer and switch pads shall be installed using equipment with adequate load capacity to safely handle the components. All pads and enclosures shall be set level, squarely aligned with the base at existing or proposed finish grade.

### 7.4 Bedding and Backfill

Pads shall be bedded with 8" - 12" type II subbase, (depths as indicated on standard drwgs.), at 95% compaction and the surrounding excavation backfilled, in accordance with SPPCo. Specification SUB01X.

## 8.0 STREETLIGHT INSTALLATION

### 8.1 Excavation

Excavation for streetlights shall be performed by the contractor or customer concurrent with adjacent trench excavation, unless otherwise directed by the SPPCo. Engineer or Inspector. Size, depth, and alignment of the excavation shall be shown on standard drawings. See SLB02U, SLB12U, or for imbedded poles, see sono tube specification shown on the work order drawing.

Note: Sono tube may be substituted with PVC water or sewer pipe.

### 8.2 Dewatering

Where ground water is encountered during excavation, it shall be the responsibility of the contractor or customer to adequately dewater the excavation to provide for safe and convenient installation of the streetlight substructure, sono tube, or pre-casted base.

### 8.3 Installation

Precast streetlight bases shall be installed using equipment with adequate load capacity to safely handle the components. All bases shall be set 6" above proposed finish grade with bolt pattern aligned for proper arm direction as shown on work order drawings, typically 90 degrees off curb line.

### 8.4 Bedding and Backfill

Streetlights, sono tubes and precasted bases shall be bedded with type 2 subbase for the full depth of component at 90% compaction surrounding the component at a 2' radius in accordance with SPPCo. Specification SUB01X.

Sierra Pacific  
POWER COMPANY



ENGINEERING & CONSTRUCTION STANDARD

SHEET 6 OF 6

TRENCH EXCAVATION  
STANDARDS

VOLUME 17

DRAWING NUMBER

TE0001U

DRAWN	DESIGN	SUPR	DATE	REV
GD	JF	HM	12/99	3

# 12' POLES: OF POSITIVE SPACING

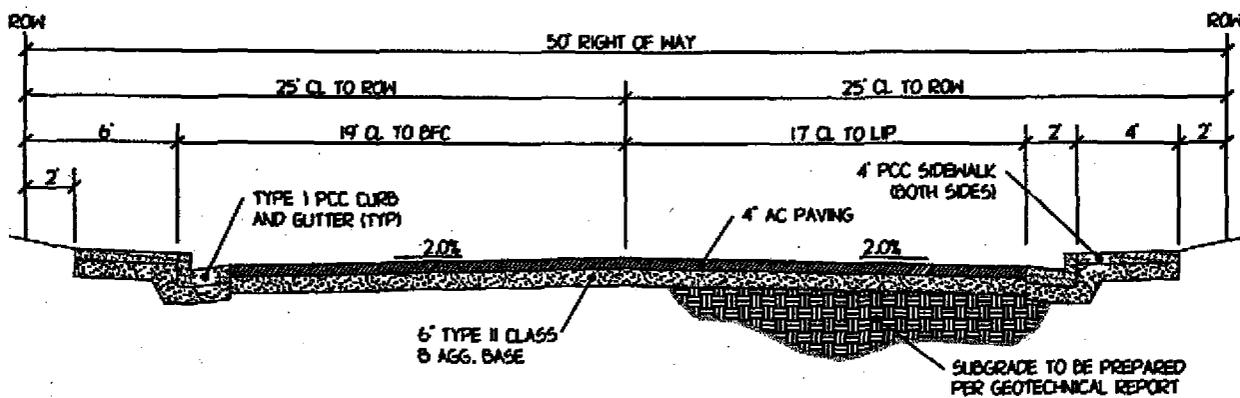
STREET CLASSIFICATION	ST. TYPE & R/W WIDTH	STREET LIGHT TYPE	NORMAL MOUNTING HEIGHT	MAXIMUM SPACING		AVERAGE FOOTCANDLE		MAINTENANCE FACTOR
				TYPE III	TYPE V	TYPE III	TYPE V	
COLLECTOR	66'	B	12'	115'	125'	.31	.28	.69
	62'	B	12'	115'	125'	.33	.30	.69
	60'	B	12'	120'	125'	.35	.31	.69
	56'	B	12'	120'	125'	.35	.34	.69
RESIDENTIAL	50'	B	12'	125'	125'	.38	.38	.69
	42'	B	12'	130'	130'	.43	.42	.69
	40'	B	12'	130'	135'	.46	.42	.69
PEDESTRIAN LANE	34'	B	12'	130'	135'	.54	.46	.69
	—	B	12'	115'	115'	.84	.73	.69

# 12' POLES: 87' OGGER SPACING

STREET CLASSIFICATION	ST. TYPE & R/W WIDTH	STREET LIGHT TYPE	NORMAL MOUNTING HEIGHT	MAXIMUM SPACING		AVERAGE FOOTCANDLE		MAINTENANCE FACTOR
				TYPE	TYPE	TYPE	TYPE	
COLLECTOR	66'	B	12'	65'	85'	III	V	.69
	62'	B	12'	75'	90'	III	V	.69
	60'	B	12'	80'	90'	III	V	.69
RESIDENTIAL	56'	B	12'	85'	95'	III	V	.69
	50'	B	12'	95'	100'	III	V	.69
	42'	B	12'	100'	100'	III	V	.69
PEDESTRIAN LANE	40'	B	12'	100'	105'	III	V	.69
	34'	B	12'	110'	105'	III	V	.69
		B	12'	105'	85'	III	V	.69

# 20' POLES: SPOGGER SPACING

STREET CLASSIFICATION	ST. TYPE & R/W WIDTH	STREET LIGHT TYPE	NORMAL MOUNTING HEIGHT	MAXIMUM SPACING		AVERAGE FOOTCANDLE		MAINTENANCE FACTOR
				TYPE III	TYPE V	TYPE III	TYPE V	
COLLECTOR	66'	B	20'	115'	—	19	—	.69
	62'	B	20'	115'	—	20	—	.69
	60'	B	20'	120'	—	20	—	.69
RESIDENTIAL	56'	B	20'	125'	—	20	—	.69
	50'	B	20'	140'	—	19	—	.69
	42'	B	20'	155'	—	19	—	.69
PEDESTRIAN LANE	40'	B	20'	160'	—	19	—	.69
	34'	B	20'	165'	—	20	—	.69
PEDESTRIAN LANE	—	B	20'	120'	—	41	—	.69



50' RIGHT OF WAY STREET SECTION

NOT TO SCALE

UPPER HIGHLANDS AT CIMARRON EAST

EXHIBIT "J"



SEED MIX

COMMON NAME	SCIENTIFIC NAME	SEEDS/PLS#	SMALL SEED #PLS/ACRE	LARGE SEED #PLS/ACRE	SEEDS/SF
<b>GRASSES</b>					
BLUE WILDRYE	<i>Elymus glaucus</i>	110,000	1		3
BLUEGRASS	<i>Poa secunda ssp. Nevadensis</i>	925,000	0.25		5
HARD FESCUE	<i>Festuca longifolia</i>	565,000	1		13
CALIFORNIA BROME	<i>Bromus carinatus</i>	100,000	2		5
SHEEP FESCUE	<i>Festuca orvina</i>	680,000	0.5		8
STREAMBANK WHEATGRASS	<i>Elymus laceolatus ssp. psammophilus</i>	156,000	2		7
CREEPING WILDRYE	<i>Leymus triticoides</i>	51,000		3	4
<b>FORBS</b>					
LEWIS FLAX	<i>Limium lewisii</i>	293,000	1		7
PALMER PENSTEMON	<i>Penstemon plameri</i>	610,000	1		14
DRUMMOND PHLOX	<i>Phlox drummondii</i>	234,000	1		5
<b>SHRUBS</b>					
RUBBER RABBITBRUSH	<i>Chrysothamnus nauseosus</i>	400,000	1		9
GREEN MORMON TEA	<i>Ephedra nevadensis</i>	19,900		8	4
FLAT-TOPPED BUCKWHEAT	<i>Erigogonum fasciculatum</i>	450,000	1		10
<b>TOTAL</b>			<b>11.75</b>	<b>11</b>	<b>93</b>

# Request to Reserve New Street Name(s)

The Applicant is responsible for all sign costs.

## Applicant Information

Name: Reynen & Bardis  
Address: 1380 Greg St., Suite 230  
Sparks, NV 89431  
Phone (H): (775)355-0507 Phone (W): (775)355-0507  
 Private Citizen  Agency/Organization

## Street Name Requests

(No more than 14 letters or 15 if there is an "I" in the name. Attach extra sheet if necessary.)

First Choice	Second Choice
See attached list	

If final recordation has not occurred within one (1) year, it is necessary to submit a written request for extension to the coordinator prior to the expiration date of the original approval request.

## Location

Project Name: East Highlands/Oppio  
 Reno  Sparks  Washoe County  
Parcel Numbers: 084-400-05, 06, 09, 10, 11 & 12  
 Subdivision  Parcelization  Private Street

Please attach maps, petitions and supplementary information.

Approved: \_\_\_\_\_ Date: \_\_\_\_\_  
Regional Street Naming Coordinator  
 Except where noted  
Denied: \_\_\_\_\_ Date: \_\_\_\_\_  
Regional Street Naming Coordinator

## Washoe County Department of Public Works

Post Office Box 11130 - 1001 E. Ninth Street  
Reno, NV 89520-0027  
Phone: (775) 328-2041 - Fax: (775) 328-3699

Sep. 19. 2003 2:09PM

No. 4337 P. 2/2

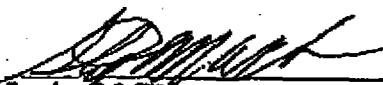
**APPROVED STREET NAMES FOR: East Highlands @ Cimarron East**

9/19/2003	ANEGADA	East Highlands @ Cimarron East (Reynen & Bardis - R Owens)
9/19/2003	BALESPIN	East Highlands @ Cimarron East (Reynen & Bardis - R Owens)
9/19/2003	BARBADOS	East Highlands @ Cimarron East (Reynen & Bardis - R Owens)
9/19/2003	CARIOTI	East Highlands @ Cimarron East (Reynen & Bardis - R Owens)
9/19/2003	CASAREY	East Highlands @ Cimarron East (Reynen & Bardis - R Owens)
9/19/2003	CORAIL	East Highlands @ Cimarron East (Reynen & Bardis - R Owens)
9/19/2003	CORAL GABLES	East Highlands @ Cimarron East (Reynen & Bardis - R Owens)
9/19/2003	COTTAGE VALE	East Highlands @ Cimarron East (Reynen & Bardis - R Owens)
9/19/2003	EAST END	East Highlands @ Cimarron East (Reynen & Bardis - R Owens)
9/19/2003	HAITIAN	East Highlands @ Cimarron East (Reynen & Bardis - R Owens)
9/19/2003	JACMEL	East Highlands @ Cimarron East (Reynen & Bardis - R Owens)
9/19/2003	KENSCOFF	East Highlands @ Cimarron East (Reynen & Bardis - R Owens)
9/19/2003	LATASIL	East Highlands @ Cimarron East (Reynen & Bardis - R Owens)
9/19/2003	MAY PEN	East Highlands @ Cimarron East (Reynen & Bardis - R Owens)
9/19/2003	ORANGE PLAINS	East Highlands @ Cimarron East (Reynen & Bardis - R Owens)
9/19/2003	PORT ROYAL	East Highlands @ Cimarron East (Reynen & Bardis - R Owens)
9/19/2003	SILIAN	East Highlands @ Cimarron East (Reynen & Bardis - R Owens)
9/19/2003	THORPE	East Highlands @ Cimarron East (Reynen & Bardis - R Owens)
9/19/2003	TOBAGO	East Highlands @ Cimarron East (Reynen & Bardis - R Owens)
9/19/2003	WEST END	East Highlands @ Cimarron East (Reynen & Bardis - R Owens)

**STREET NAMES REJECTED BECAUSE OF DUPLICATION OR SIMILAR SOUND**

ROCK HALL  
 ANNOTTO  
 LIMBE  
 CAYES  
 ISLAND KING  
 CAYMAN  
 BRAC  
 TROPAZ  
 DILYAN  
 SPANDREL

Accepted By:



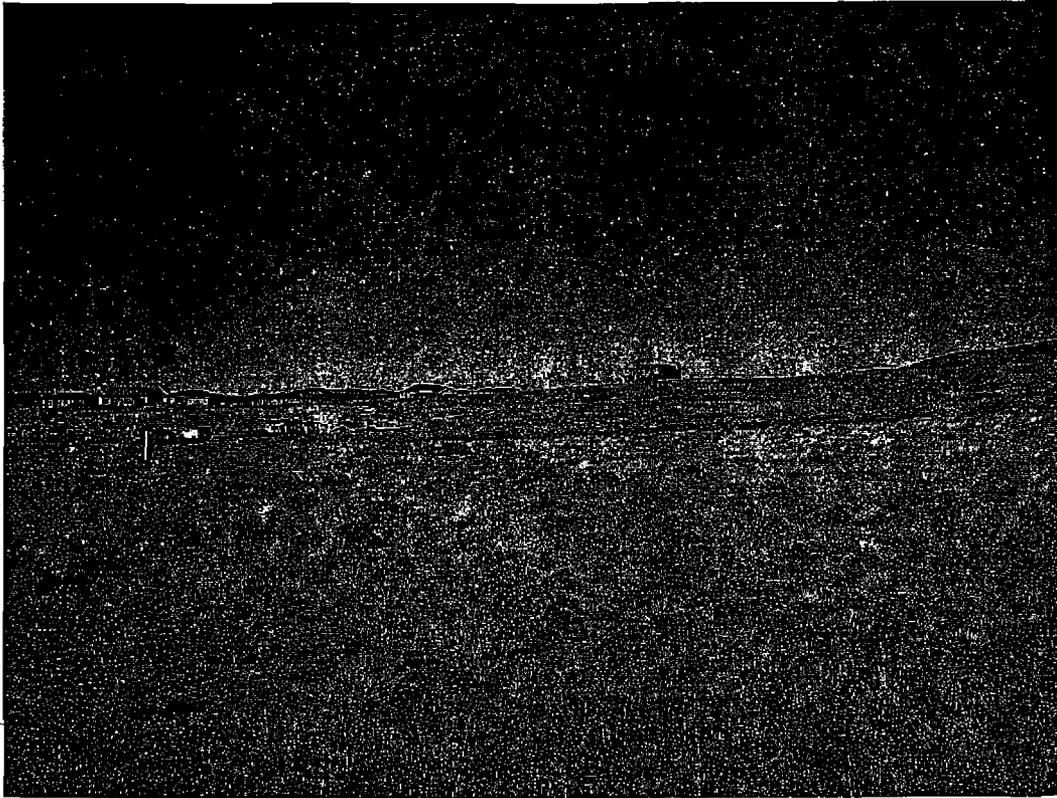
Stephen M. Weber  
 Street Naming Coordinator

9-18-03

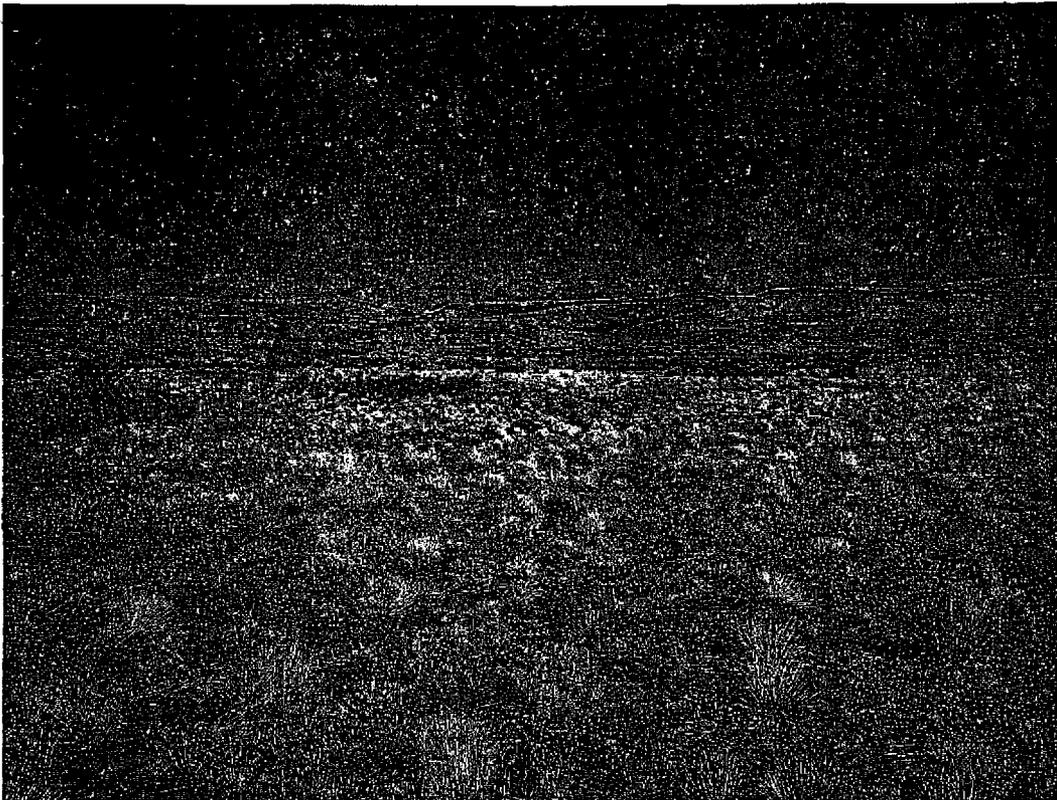
Date

**APPROVED STREET NAMES ARE GOOD FOR ONE YEAR FROM DATE APPROVED. RESUBMISSION OF NAMES IS REQUIRED AT THAT TIME TO HOLD NAMES FOR ANOTHER YEAR. STREET NAMES NOT RESUBMITTED WILL BE REMOVED FROM THE RESERVATION LIST. THE STREET NAMING COORDINATOR RESERVES THE RIGHT TO WITHDRAWAL A NAME AFTER IT HAS BEEN APPROVED IF IT IS FOUND TO BE IN CONFLICT WITH AN EXISTING STREET.**

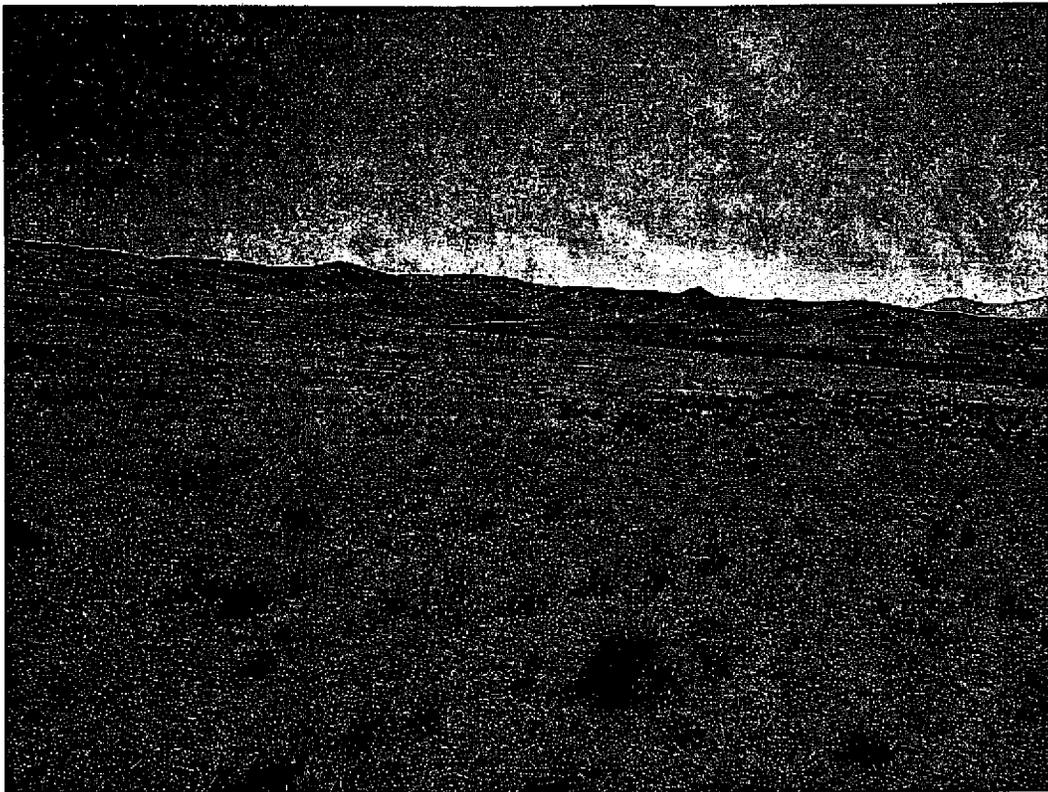
**Upper Highlands at Cimarron East  
Site Pictures**



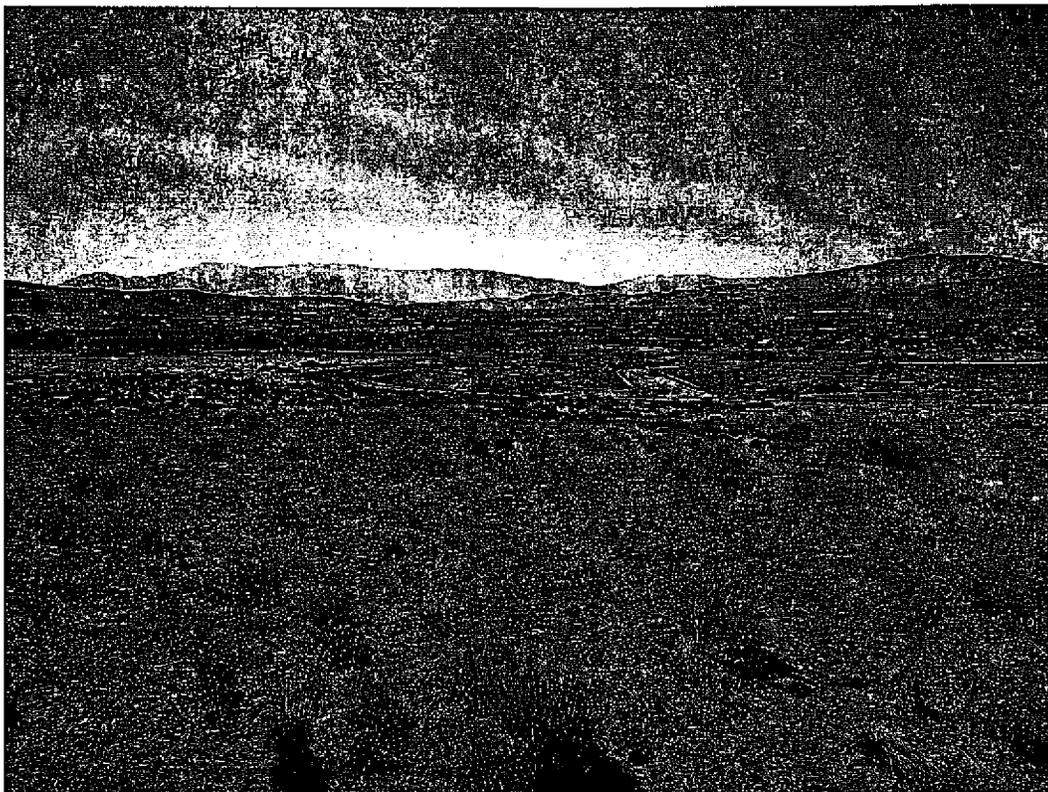
To the north from the end of Cobra Drive



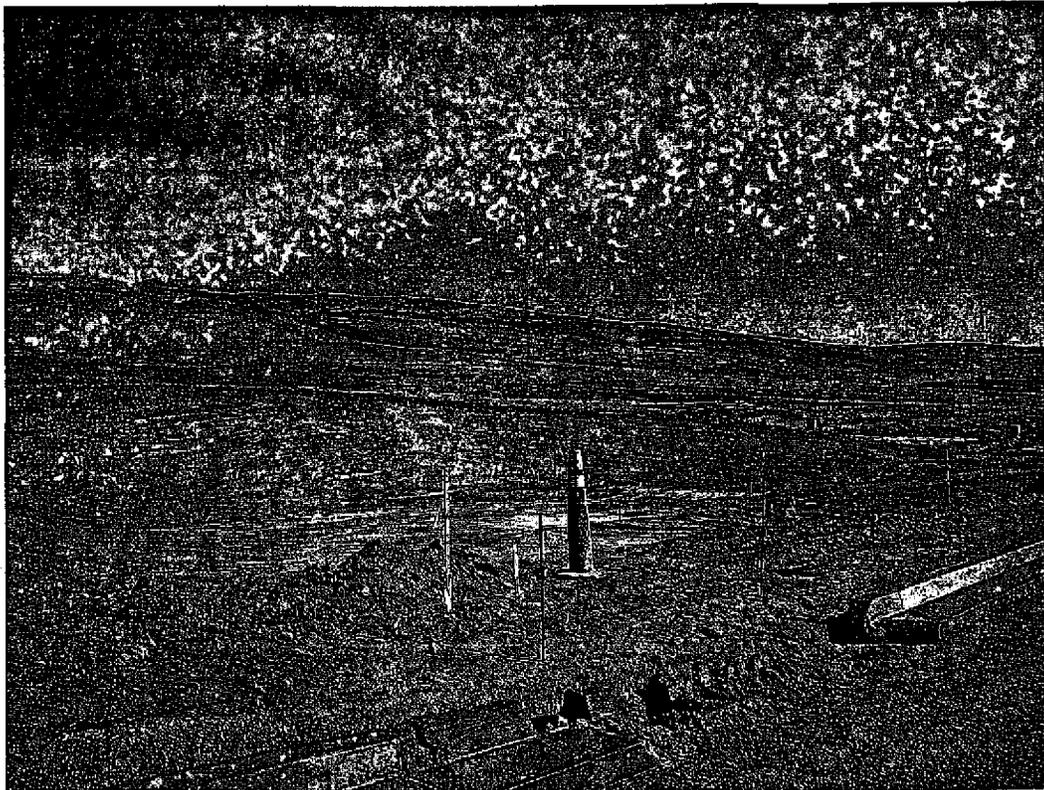
To the east from the end of Cobra Drive



To the south from the end of Cobra Drive



To the west toward the end of Cobra Drive



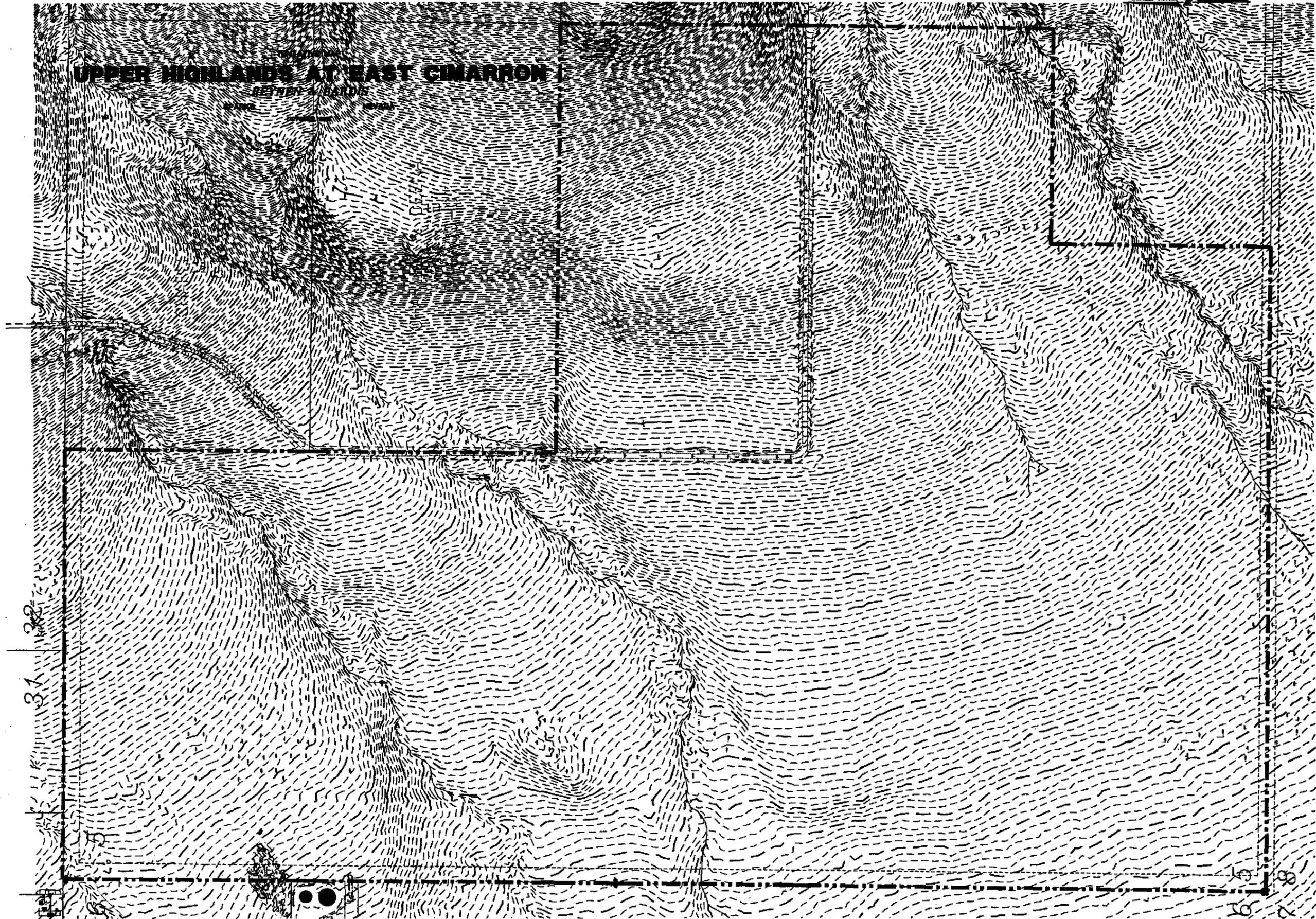
To the south-east from the Highlands at Cimarron East Phase 2/3 boundary



The site as viewed from the west at the intersection of General Thatcher Drive and Wingfied Parkway

SCALE: M.T.S.

# UPPER HIGHLANDS AT EAST CIMARRON



 <b>WOOD ROGERS</b> ENGINEERS, ARCHITECTS, PLANNERS 1000 Las Vegas Lane Reno, NV 89402 Tel 775.858.4000 Fax 775.858.4008		DATE: 10/21/03 SCALE: 1" = 100' DRAWN BY: BWT CHECKED BY: BWT DESIGNED BY: BWT
IMPROVEMENT PLANS FOR <b>UPPER HIGHLANDS AT CIMARRON EAST</b> NEVADA		PROJECT NO. 1334.001
TOPOGRAPHIC MAP		DRAWING 0
SPARKS <small>1334-1-East Highlands-East Highlands-DA\Projects\Draw\Topographic Map.dwg 10/21/03 13:02:01</small>		SHEET NO. 1 OF 1

Sections 5.2 or 5.3, hereof, shall issue certificates or memoranda of insurance to the Association and, upon written request, any Owner or holder of a Mortgage or other security interest. The insurer issuing such policies may not cancel or refuse to renew the same until 30 days after notice of the proposed cancellation or non-renewal has been mailed, to the Association, each Owner and each holder of a Mortgage or other security interest to whom a certificate or memorandum of insurance has been issued, at their respective last known addresses.

At such time as the Board deems reasonable, and in no event later than the Declarant's Control Termination Date, the Association shall obtain and maintain in full force and effect the insurance coverage described in Sections 5.5, and 5.6 hereof, to the extent reasonably available. The Association may obtain and maintain in full force to the extent reasonably available the insurance coverage described in Sections 5.3, 5.4, 5.5, and 5.6 of this Article to the extent the Board deems advisable in accordance with sound business practice. Every policy of insurance obtained by the Association shall be issued by a company or companies duly authorized to do business in Nevada and shall obtain an express waiver, if reasonably available, of any and all rights subrogation against Declarant, Managers, the Board, the Manager, the Architectural Committee, and their respective representatives, members and employees.

## 5.2 Casualty Insurance.

5.2.1 Common Area Improvements and Association Properties. The Association shall obtain insurance on all insurable Improvements upon the Common Area and any other Improvements under the control of the Association (including all buildings, service equipment and the like, and any equipment and fixtures within such Improvements), and on all Association Properties which is personal property in an amount, after application of any deductibles, equal to at least (80%) of current "replacement cost", exclusive of land, excavations, foundations, and other items normally excluded from coverage. Such insurance shall include fire and extended coverage, vandalism, and malicious mischief, and such other risks and hazards against which the Association shall deem appropriate to provide insurance protection. The Association may elect such "deductible" provisions as in the Board's opinion are consistent with good business practice, provided that in no event shall such deductible be in an amount greater than the lesser of TEN THOUSAND AND NO/ 100THS DOLLARS(\$10,000.00) or one percent (1%) of the face amount of such policy.

5.2.2 Form. Casualty insurance shall be carried in a form or forms naming the Association the insured. Each policy shall also provide that it cannot be cancelled by either the insured or the insurance company until after (30) days' written notice is first given to the Association and to each first Mortgagee. All policies of insurance shall provide for a waiver of subrogation by the insurer as to claims against the Association, the Board, employees, and agents, and against each Owner and each owner's employees, agents, and guests, and shall provide that the

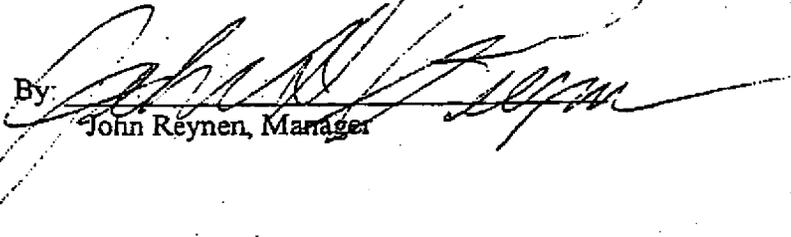


ARTICLE XVI  
DISCLAIMER OF LIABILITY

Declarant disclaims any liability for repairs or maintenance of roads, or other improvements, including utility lines located within the Common Areas of the Project or Development from and after the date of conveyance of such common areas to the Association.

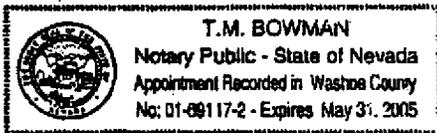
IN WITNESS WHEREOF, Declarant has executed this Declaration the day and year first above written.

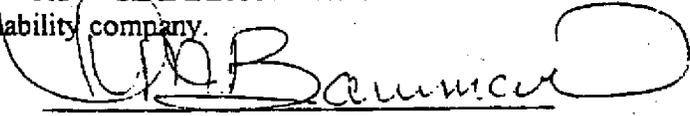
Cimarron East, LLC  
A Nevada limited Liability Company.

By:   
John Reynen, Manager

STATE OF Nevada )  
: ss.  
COUNTY OF Washoe

On April 17, 2002, personally appeared before me, a notary public, John Reynen, personally known (or proved) to me to be the person whose name is subscribed to the foregoing instrument and who acknowledged to me that he is the Manager of Cimarron East, LLC, a Nevada limited liability company, and who acknowledged to me that he executed the foregoing DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR HIGHLANDS AT CIMARRON EAST COMMUNITY ASSOCIATION on behalf of said limited liability company.



  
NOTARY PUBLIC



# EXHIBIT A

## LEGAL DESCRIPTION CIMARRON EAST OVERALL BOUNDARY

All that certain parcel situate within a portion of Section Six (6), Township Twenty (20) North, Range Twenty-one (21) East, M.D.M., County of Washoe, State of Nevada, being a portion of the East One-half (E½) of Section Six (6) as shown on Record of Survey Map No. 1467, file No. 728046, in the Official Records of Washoe County, Nevada, and being more particularly described as follows:

**BEGINNING** at the Southeast corner of said Section 6,

**THENCE** along the southerly line of said Section 6, North 89°19'19" West, 1317.62 feet;

**THENCE** leaving said line, North 00°41'54" East, 1320.24 feet;

**THENCE** North 89°14'52" West, 1318.98 feet;

**THENCE** North 00°38'21" East, 2642.81 feet;

**THENCE** South 89°03'50" East, 1318.46 feet;

**THENCE** North 00°33'23" East, 930.51 feet, to the northerly line of Section 6;

**THENCE** along said northerly line South 89°20'19" East, 1317.07 feet, to the Northeast corner of said Section 6;

**THENCE** along the easterly line of said Section 6, South 00°28'26" West, 2252.67 feet, to the East One-Quarter (E1/4) Corner of said Section 6;

**THENCE** continuing along the easterly line of said Section 6, South 00°45'26" West, 2637.06 feet, to the above described **POINT OF BEGINNING**.

Containing 228.03 acres more or less.

The Basis of Bearings for this description is Record of Survey for the City of Sparks 2000 Geodetic Control Survey, Record of Survey Map No. 3885, filed February 7, 2001 as Document. No. 2522263 in the Official Records of Washoe County, Nevada. (i.e. The grid bearing between monuments 3013 and 3026 Taken as N11°32'44"E)  
Combined grid to ground factor = 1.000198

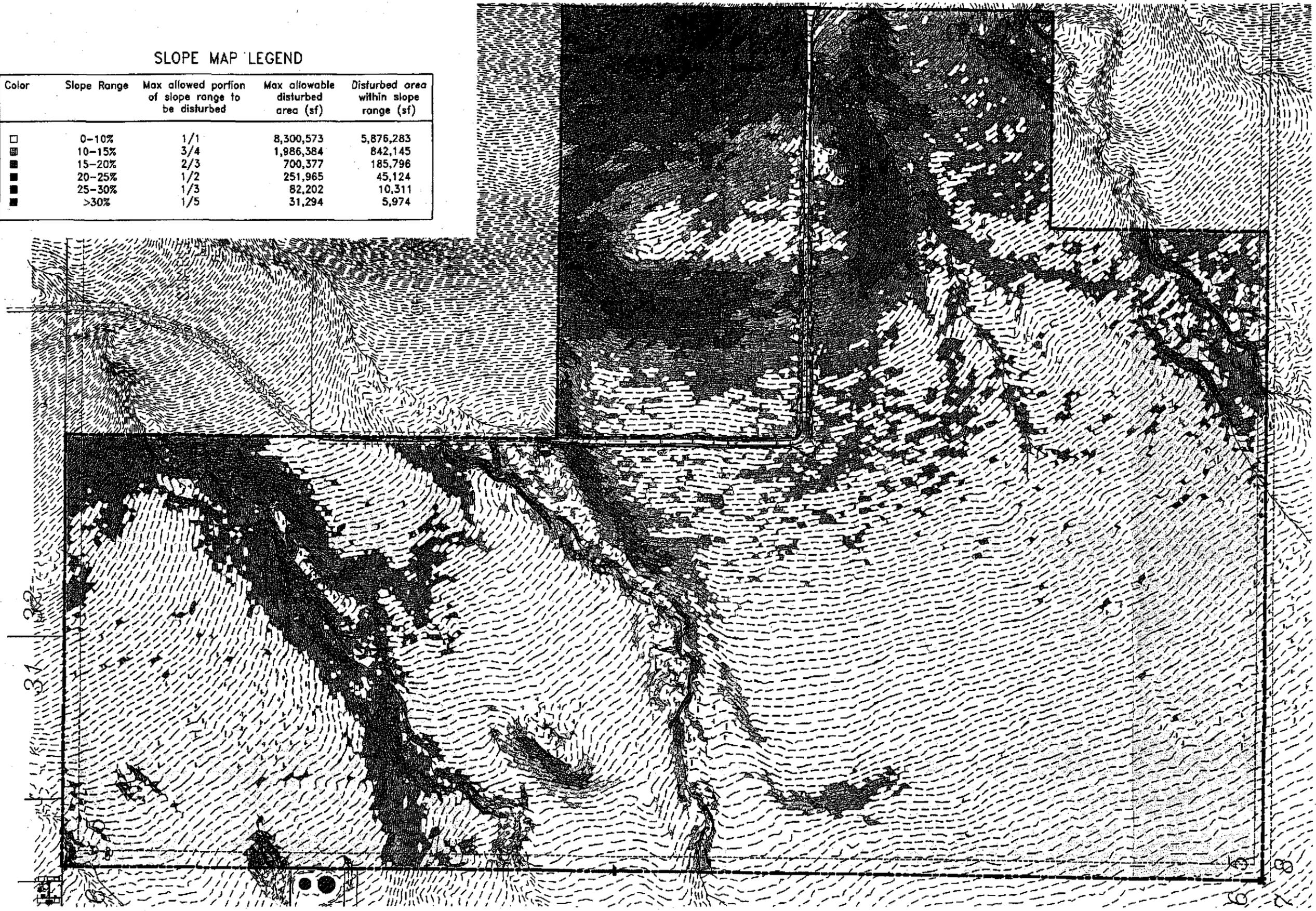
**DOC # 2877613**  
04/18/2002 03:54P Fee:53.00  
BK1  
Requested By  
KERN & ROSENAUER LTD  
Washoe County Recorder  
Kathryn L. Burke - Recorder  
Pg 40 of 40 RPTT 0.00



**SLOPE MAP LEGEND**

Color	Slope Range	Max allowed portion of slope range to be disturbed	Max allowable disturbed area (sf)	Disturbed area within slope range (sf)
□	0-10%	1/1	8,300,573	5,876,283
▤	10-15%	3/4	1,986,384	842,145
▥	15-20%	2/3	700,377	185,796
▦	20-25%	1/2	251,965	45,124
▧	25-30%	1/3	82,202	10,311
▨	>30%	1/5	31,294	5,974

SCALE: N.T.S. 



 <p><b>WOOD ROBBERS</b> INCORPORATED • 2000 • 2000 • 2000 4444 Las Vegas Lane Las Vegas, NV 89102 Tel: 702.333.4000 Fax: 702.333.4000</p>		DATE: 10/21/03 SCALE: N.T.S. DRAWN BY: B.W. DESIGNED BY: B.W. CHECKED BY: B.W. COUNTY APPROVAL:
IMPROVEMENT PLANS FOR <b>UPPER HIGHLANDS AT CIMARRON EAST</b> SPARKS NEVADA		PROJECT NO. 1334.001 DRAWING <b>Q</b> SHT 1 OF 1