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09/25/2007 03:34:49 PM

Requested By
RED HAWK LAND COMPANY LLC
Washoe County Recorder
Kathryn L. Burke - Recorder
Fee: \$158.00 RPTT: \$0.00
Page 1 of 120

APN: (Not required
Per NRS 111.312.1)

CONFORMED COPY

When recorded, mail to
City of Sparks
P.O. Box 857
Sparks, Nevada 89432-0857
ATTN: Community Development Dep't

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(Space above for recorder's use only)

NOTICE OF ADOPTION OF DEVELOPMENT PLAN
(NRS Chapter 278A)

Name of Development: Tierra del Sol
Name of Plan: Tierra del Sol Amended Planned Development Handbook
City No. PCN05073
Date of Approval August 27, 2007

NOTICE IS HEREBY GIVEN that on the above indicated date, the City Council of the City of Sparks, Nevada, gave final approval to the above described plan as the development plan for the above named development, whose legal description is attached as **Exhibit A**.

Pursuant to NRS 278A.570 (2) after this plan is recorded, all zoning and subdivision regulations applicable to the property described in Exhibit A cease to apply and are replaced with the plan attached as **Exhibit B** hereto.

A table of approvals and amendments to the Plan is set forth below.

Dated this 25th day of September, 2007



City of Sparks, Nevada

By Carrie Brooks
Acting City Clerk
Carrie Brooks

State of Nevada)
) Acknowledgement in representative capacity
 County of Washoe) (NRS 240.1665)

This instrument was acknowledged before me on September 25, 2007
 By Carrie Brooks as Acting City Clerk of Sparks, Nevada



Helen L. Elliott

Notary Public

Table of Approvals and Amendments

City File #	Item Approved	Approval Date	Recorded in Official Records of Washoe County
RZ00000008 TM000004	Tierra del Sol Planned Development Handbook	08-07-02	Not recorded
PCN05073	Amended Tierra del Sol Planned Development Handbook	08-27-07	

EXHIBIT "A"
TIERRA DEL SOL OVERALL
LEGAL DESCRIPTION

All that certain real property situate in a portion of the South One Half (S 1/2) of Section 3, Township 20 North, Range 20 East, Mount Diablo Meridian, City of Sparks and Washoe County, Nevada, being Parcel B and Parcel A of Parcel Map No. 3745, as File No. 2519021, a portion of Tract Map No. 4344, as File No. 3044673, and portion of Tract Map No. 4404, as File No. 3121923, Parcel 2-B-1 and Parcel B-1 of Record of Survey Map No. 4604, as File No. 3239361, and a portion of Parcel 4 of Record of Survey Map No. 4762, as File No. 3407484, all in the Official Records of Washoe County, Nevada, more particularly described as follows:

COMMENCING at the East One Quarter Corner (E 1/4) of Section 3, marked by a 5/8" Rebar & Cap PLS 12140 as shown on Parcel Map No. 4545, as File No. 3376788, in the Official records of Washoe County;

THENCE departing said East One Quarter Corner (E 1/4) and along the east and west center Section Line of said Section 3, North 88°22'56" West a distance of 1317.47 feet, to the Northeast property corner of said Parcel A of Parcel Map No. 3745, also the **POINT OF BEGINNING**;

THENCE departing said center Section Line and along the east boundary line of said Parcels A, 2-B-1 and Parcel B-1, South 01°27'12" West a distance of 2300.99 feet;

THENCE departing said east boundary and through a portion of said Parcel 4 of Record of Survey Map No. 4762, South 01°27'12" West a distance of 332.41 to a point on the South Section Line of said Section 3;

THENCE along said South Section Line, North 87°35'35" West a distance of 250.03 feet, to the southeast property corner of said Parcel B-1;

THENCE departing said corner and continuing along said South Section Line, North 87°35'35" West a distance of 1054.52 feet, to the South One Quarter Corner of said Section 3, being a 1" pipe as shown on said Record of Survey Map No. 4604;

THENCE continuing along said South Section Line, North 87°56'12" West a distance of 422.30 to the southwest property corner of said Parcel B-1, also to a point on the easterly right of way of Pyramid Way (SR-445), as shown on that "State of Nevada, Department of Transportation, R/W Division Map for project No. RS-445(3) Dated, December 1991 with a revision date of February 17, 1992, also the beginning of a no-tangent curve;

EXHIBIT "A" (CONTINUED)
TIERRA DEL SOL OVERALL
LEGAL DESCRIPTION

THENCE departing said South Section Line and along said easterly right of way line, from a radial line which bears South 58°20'13" East, 2.68 feet along the arc of a 4930.00 foot radius curve to the right through a central angle of 00°01'52";

THENCE continuing along said easterly right of way North 32°25'24" East a distance of 3038.52 feet, to the northwest property corner of said Parcel A, also the east and west center Quarter Section Line of said Section 3;

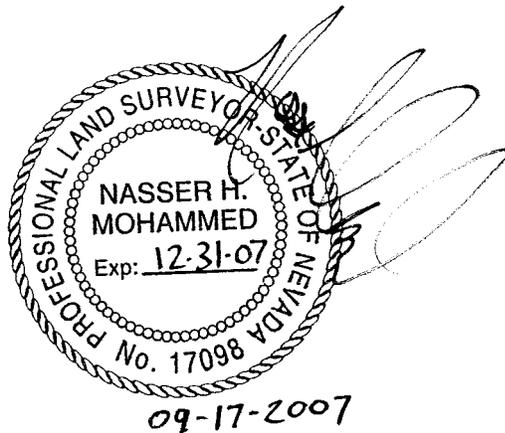
THENCE departing said easterly right of way and along said center Section Line South 88°22'56" East a distance of 161.70 feet the **POINT OF BEGINNING**.

Containing 57.00 acres of land, more or less.

The basis of bearings for this description is identical to that as shown on Tract Map No 4344, Recorded May 27, 2004 as File No. 3044673 Official Records of Washoe County, Nevada.

NOTE: This legal description is provided as a convenience and is not intended for the purpose of subdividing land not in conformance with Nevada Revised Statutes. See Exhibit "A-1", plat to accompany description, attached hereto and made a part hereof.

Prepared by:
Wood Rodgers, Inc.
575 Double Eagle Court
Reno, NV 89521

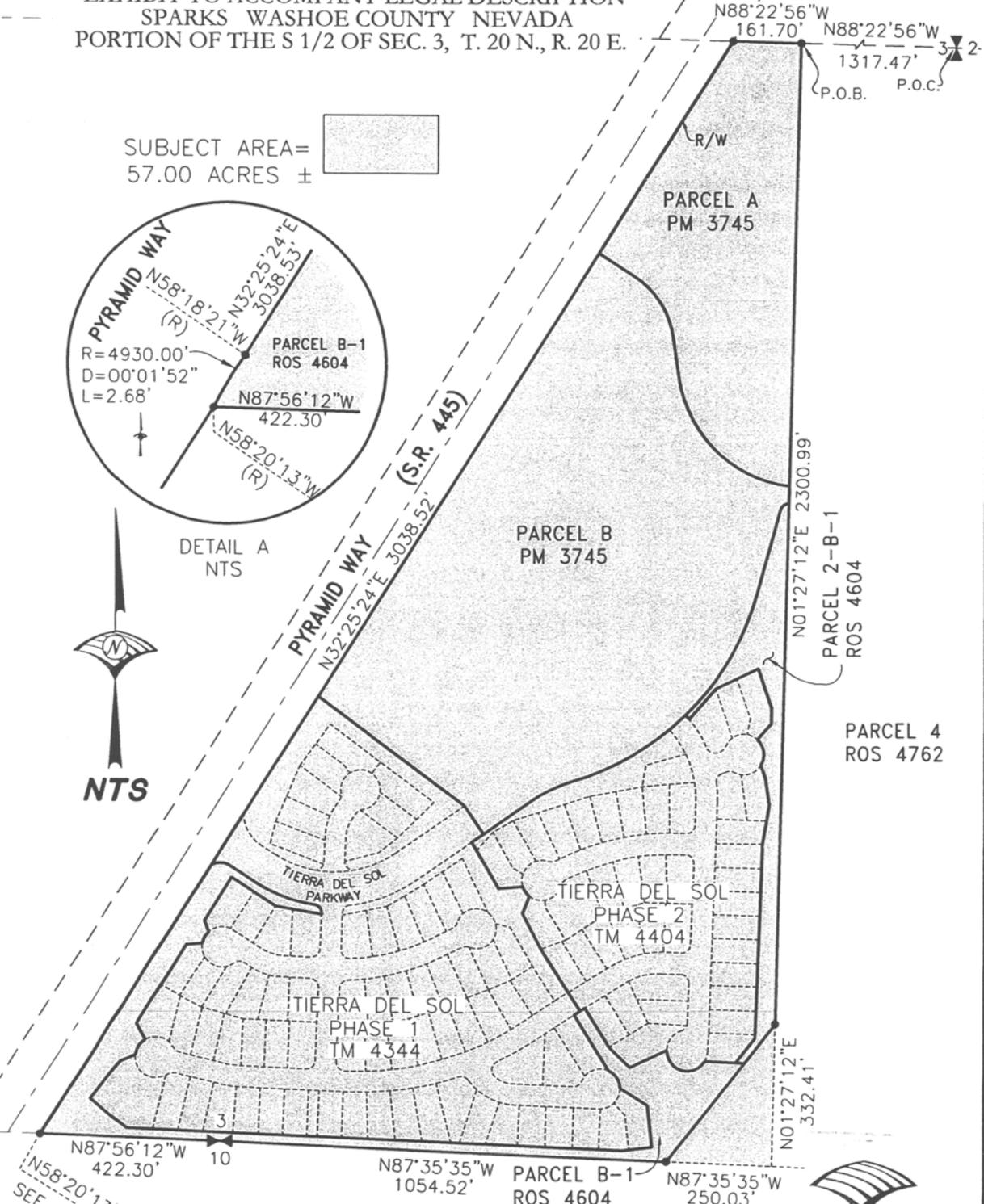
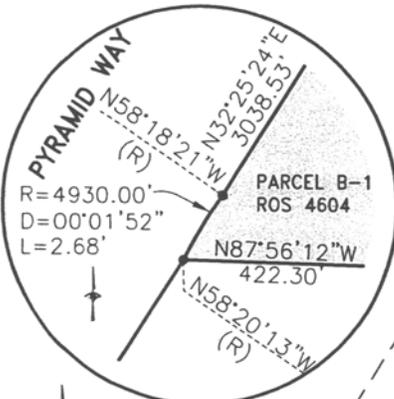


NASSER H. MOHAMMED
P.L.S. 17098

**TIERRA DEL SOL
OVERALL
EXHIBIT TO ACCOMPANY LEGAL DESCRIPTION
SPARKS WASHOE COUNTY NEVADA
PORTION OF THE S 1/2 OF SEC. 3, T. 20 N., R. 20 E.**

EXHIBIT 'A-1'

SUBJECT AREA= 
57.00 ACRES ±



N58°20'13"W(R)
422.30'
SEE DETAIL "A"

WOOD RODGERS
ENGINEERING • MAPPING • PLANNING • SURVEYING
575 Double Eagle Court Tel 775.823.4068
Reno, NV 89521 Fax 775.823.4066

Tierra del Sol

PLANNED UNIT DEVELOPMENT HANDBOOK

SPARKS, NEVADA

CITY COUNCIL APPROVED FINAL HANDBOOK
AUGUST 27, 2007



WOOD RODGERS

DEVELOPING INNOVATIVE DESIGN SOLUTIONS

575 Double Eagle Court
Reno, NV 89521

Tel: 775.823.4068
Fax: 775.823.4066

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Tierra del Sol

Tierra del Sol Design Standards & Guidelines (07.18.07)

I. PROJECT DESCRIPTION

The purpose of the Tierra del Sol PD is to divide approximately 56.67 acres within the Northern Sparks Sphere of Influence into three parcels for residential (existing), commercial and resort uses and to establish specific design criteria to effectively monitor the development of these parcels.

The intent of the defined division of this acreage is to create three large parcels/development areas to be sold to various homebuilders or developers for subsequent subdivision and non-residential development of appropriate land uses per the approved designations. No construction will directly follow from the definition and development standards contained, herein. Rather site plan review or special use permit processes and final map/plan processes will be necessary prior to the commencement of construction. Grading can occur with the approval of a grading permit.

At the time of this PD Handbook update, the residential portion of Tierra del Sol had been fully developed and is contained in Phase 1 under the PD handbook. Phase areas for each general use type can be seen in Figure 2 of this document. The central area of the plan (Phase 2) will contain a Resort (R) and Public Facility (PF) uses allowing for future development of a casino/entertainment, dining and commercial area with a 200 room hotel and spa and a public facility of a use to be determined by the City of Sparks. The northern 4± acres of Commercial (Phase 3) will contain General Commercial (GC) uses. The location of this commercial area offers a tie in to the commercial area that is defined in the Stonebrook Planned Development to the north and east.

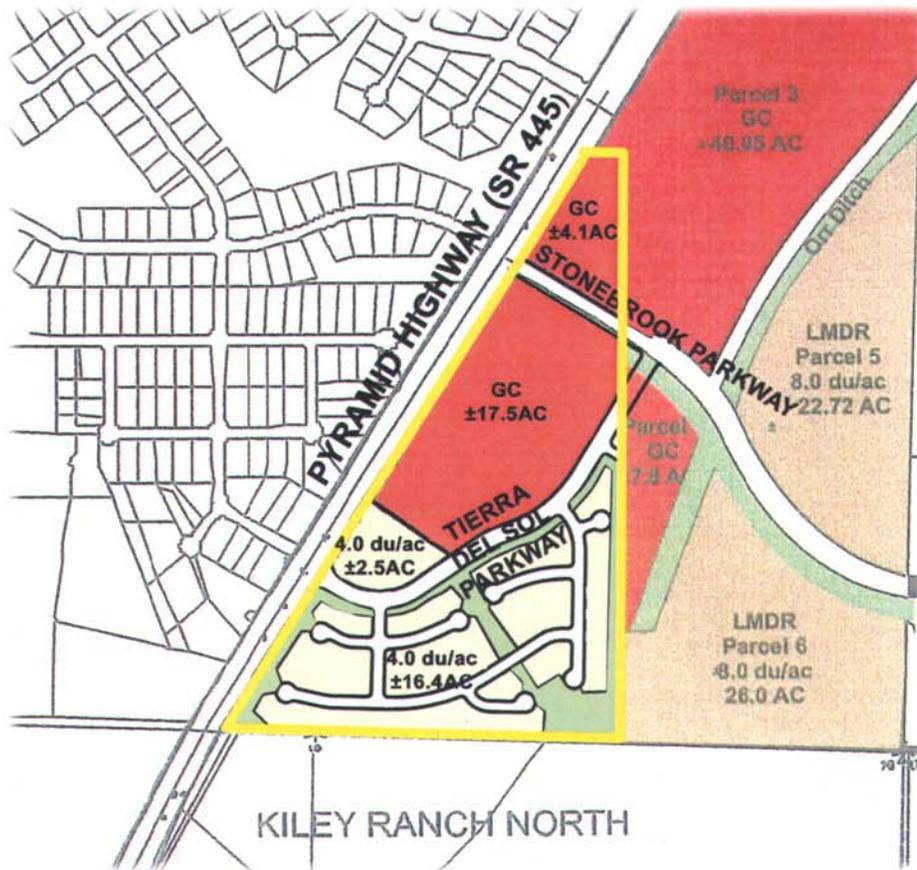
A. Site Definition

The Tierra del Sol PD Design Standards and Guidelines relate to the development of 56.67 acres in the Northern Sparks Sphere of Influence (NSSOI) located in Washoe County, Nevada. The site is bounded on the west by Pyramid Lake Highway, on the north and east by vacant agricultural lands (the Stonebrook Planned Development), and on the south by Lazy 5 Park, a unit of the Washoe County Regional Park system. The Tierra del Sol property is part of the NSSOI planning area and this plan provides some of the residential and commercial and the resort/casino land uses approved in that plan.

Tierra del Sol

Tierra del Sol Design Standards & Guidelines (07.18.07)

FIGURE 1 LOCATION/MASTER PLAN



B. Master Planned Land Uses

Table 1 shows the breakdown of the property among the various uses. The proposed land division includes commercial, residential and resort/casino uses comprised in R (Residential – 4 du/acre) and GC (General Commercial) Master Plan Designations. The residential use has been developed.

Tierra del Sol

Tierra del Sol Design Standards & Guidelines (07.18.07)

TABLE 1
LAND USE BREAKDOWN

Land Use	Approx. Acres	Pct. Of Total	Phase No.	Approx. Dwelling Units
Single Family Residential	16.4±	±29%	1	107
Open Space/Common Area (Residential)	6.0±	±11% (±22% of Phase 1)	1	
Local Streets (Residential)	5.4±	±9%	1	
Resort	17.5±	±31%	2	N/A
Public Facility	2.5±	±4%	2	N/A
Commercial	4.1±	±7%	3	N/A
Major Streets (Tierra del Sol Pkwy & Stonebrook Parkway)	4.8±	±9%	1,2 & 3	N/A
Total	56.7±	100%		

C. Residential Densities

This Tierra del Sol Planned Development (PD) provides single family residential development at a density of four dwelling units per acre. The minimum lot size will be 6,000 square feet. These densities are consistent with the Northern Sparks Sphere of Influence Plan.

D. Phasing

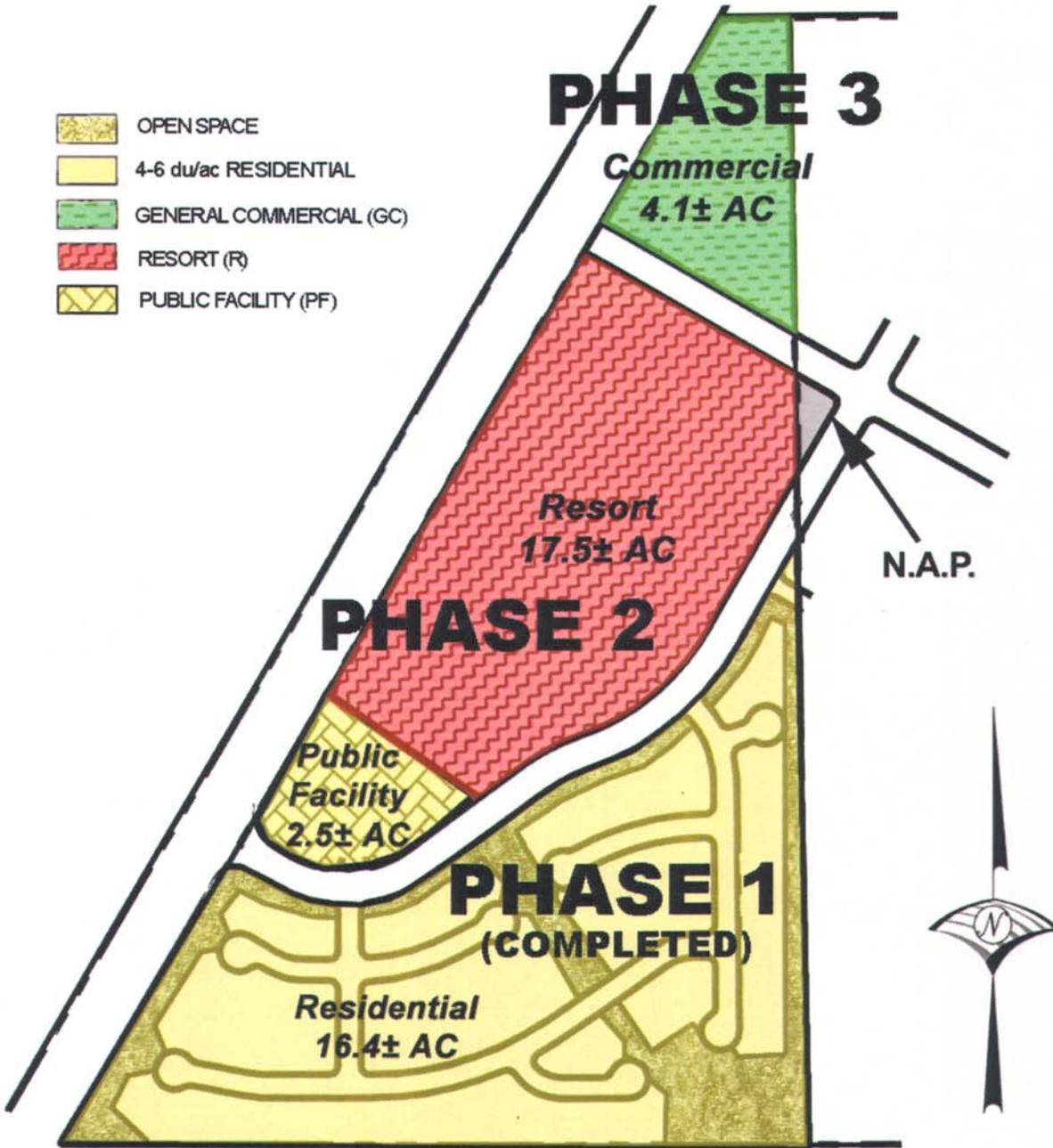
It is anticipated that Tierra del Sol will be developed in three phases (see Figure 2). Phase 1 includes the residential area located at the south and southeastern ends of the Plan area. Phase 2, in the middle of the development contains the Resort and Public Facility uses, and Phase 3 is the Commercial portion on the north end of the project area.

Tierra del Sol

Tierra del Sol Design Standards & Guidelines (07.18.07)

The development program for Tierra del Sol covers five to seven years. The proposed phasing plan represents the developer's best estimate of how the remaining development will occur. Should circumstances change it is possible that modifications to the phasing plan will be proposed.

FIGURE 2
PHASING PLAN



Tierra del Sol

Tierra del Sol Design Standards & Guidelines (07.18.07)

E. Traffic and Circulation

Solaegui Engineers prepared the original Traffic Analysis for Tierra Del Sol in July 1999. As part of the approval of this PD Handbook by the City of Sparks, Fehr and Peers Transportation Consultants prepared Estimates and Comparisons of the previously approved plan vs. the updated plan.

The uses in this estimate and comparison included the following for the approved and updated PD area of Tierra Del Sol:

Previously Approved PD Uses (Solaegui Engineers Report)

- 115 Single Family Housing Units
- 170,000 s.f. of shopping center
- 12,000 s.f. of fast food restaurant
- 5,000 s.f. of quality restaurant

Update PD Uses (Fehr & Peers)

- 200 room hotel casino (18,000 s.f. gaming floor area)
- 14-plex movie theater
- 4,800 s.f. public service building
- 107 single family units
- 60,000 s.f. of shopping center

Fehr & Peers analysis and comparison of the two plans concluded that approximately 11% fewer new trips would be generated from the updated plan vs. the previously approved PD. Their calculations showed that only 7,835 new daily trips would be experienced with the updated plan while 8,883 new daily trips would have been experienced with the previously approved PD. The table of comparison of the two different development scenarios is provided below in Table 2 on the following page. Given this review and analysis, it was concluded that the updated project does not constitute and increase in project intensity relative to traffic.

Primary traffic facilities for this project are the Pyramid Highway (SR445), Stonebrook Parkway and Tierra del Sol Parkway, the latter two being main north-south and east-west collector streets respectively. The approved and constructed tentative map added local residential streets. The proposed street sections, including local street standards for the residential neighborhood, are included in the Section IV, "General Design Concepts & Street Cross Sections" of this document.

Since the original approval of the Tierra del Sol Planned Development, NDOT and RTC have identified that Pyramid Highway will become a larger facility over time - possibly becoming a freeway at some point in the future. With this growth idea in mind, some of the existing access points along Pyramid Highway will be closed or modified in how they access the highway/freeway. If the Pyramid Highway does become a freeway, it is currently planned that Stonebrook Parkway will not provide freeway access. Given this, access to the Resort, Public Facility and Commercial components of Tierra del Sol will not be allowed directly off Pyramid Highway, access to these uses will have to be served off Stonebrook and/or Tierra del Sol Parkways.

Tierra del Sol

Tierra del Sol Design Standards & Guidelines (07.18.07)

**TABLE 2
WEEKDAY TRIP GENERATION ESTIMATE AND COMPARISONS
ORIGINAL TRAFFIC REPORT TO UPDATED PLAN**

APPROVED PUD (Solaegui Report)								
Land Use	ITE Code	Size	Daily Rate	AM Rate	PM Rate	Daily Trips	AM Trips	PM Trips
Single Family		115 units				1,101	86	116
Shopping Center		170 ksf				7,296	175	636
Fast Food Restaurant		12 ksf				5,953	598	402
Quality Restaurant		5 ksf				215	5	19
<i>Subtotal</i>						14,565	864	1,173
Pass-by Trip Reductions								
Shopping Center (33%)						-2,408	-57	-210
Fast Food (55%)						-3,274	-328	-221
TOTAL NEW TRIPS						8,883	479	742
PROPOSED PROJECT								
Land Use	ITE Code	Size	Daily Rate	AM Rate	PM Rate	Daily Trips	AM Trips	PM Trips
Hotel Casino (gaming positions)	* Journal	640	* RTC	0.47	0.788	1,980	301	504
Multiplex Movie Theater (screens)	445	14	292.5	0	23.02	4,095	0	322
<i>Movie Theater Internal Capture (25%)</i>						-1,024	0	-81
Government Office Building (sqft)	730	4,800	68.93	5.88	1.21	331	28	6
Single Family (units)	210	107	9.57	0.75	1.01	1,024	80	108
Shopping Center (6.2 acre site)	820	60,000	42.94	1.03	3.75	2,576	62	225
<i>Subtotal</i>						8,983	471	1,085
Pass-by Trip Reductions								
Shopping Center (33%)						-850	-20	-74
Hotel Casino (15%)						-297	-45	-76
TOTAL NEW TRIPS						7,835	406	935

NOTES:

Weekday analysis. Friday rates used for movie theaters. Movie theaters peak use time is Friday and Saturday evenings.

* Journal = Trip rates obtained from *Recalibration of Trip Generation Model for Las Vegas Hotel/Casinos*, ITE Journal May 2002.

* RTC = Trip rates obtained from *Hotel/Casino Trip Generation Study Reno, Nevada*, Barton-Aschman Associates 1985 for the RTC.

Trip rates obtained from *Trip Generation*, Institute of Transportation Engineers, Seventh Edition.

Internal Capture is trip making between multiple attractions within the development.

F. Open Space

A primary objective of site planning for the Tierra del Sol development was inclusion of a series of open spaces that function as pedestrian corridors and recreational open space. As envisioned in the Impact Fee Benefit District 1 Plan, the pedestrian link between the Pyramid Highway (SR 445) and the Orr Ditch Trail is an open space corridor integrated within the proposed residential neighborhood. Additional open space is provided around a proposed detention basin located adjacent to the Orr Ditch at the southeast corner of the property. The PD Design Guidelines illustrate concepts for access between neighborhoods and open space.

G. Stormwater Management

1. Site Drainage

The site slopes downward very gradually from west to east at a typical gradient of two and one-half feet per hundred feet (2.5%). The Orr Ditch traverses the southeast corner of the property, running in a southwest to northeast direction.

2. Flood Potential

The current FEMA maps, dated September 30, 1994, indicate that the site is not affected by any Zone A 100-year flood plain (refer to FIRM map # 320019 Panel #2840).

Tierra del Sol

Tierra del Sol Design Standards & Guidelines (07.18.07)

3. Detention

Any detention of stormwater runoff will be provided to the approval of the Administrator.

4. Storm Drain

Prior to approval of any Final Map or Plans, a Master Storm Drainage report shall be prepared to the approval of the City Engineer in accordance with the Draft City of Sparks Hydrologic Criteria and Drainage Design Manual (HCDDM). Each development will be required to provide a storm drain system to remove the 5-year runoff from the site, with overland routes for the 100-year runoff. Drainage generally follows the natural grade of the land and the developed portion of this site is proposed to be graded to drain the 5-year and 100-year event to the northeast corner of the site where the proposed drainage system discharges into the proposed Reach 9 channel.

5. Reach 9 Channel

The Reach 9 Channel will be constructed with the development of the Resort site and/or Stonebrook Parkway. This construction is part of the IFSA #1 Capital Improvements Plan. Construction of this channel and appropriate, necessary continuation of flows from west to east will be to the approval of the City of Sparks Administrator.

H. Groundwater

Based on the preliminary geotechnical investigation, it is expected no groundwater will be encountered during development of this site. Should ground water become an issue during construction, mitigation measures will be incorporated into the construction plans and the best management practices will be followed during construction.

I. Fire Protection

The City of Sparks will provide fire protection with the potential of mutual aid response from the Truckee Meadows Fire Protection District. As a function of development, a public facility fee will be paid by this development in accordance with the Impact Fee Benefit District 1 financing plan and the required development agreement.

J. Sanitary and Sewer Service and Storm Drain Outfall

The City of Sparks will provide sanitary sewer service through existing facilities. A sanitary sewer and storm drain easement connecting the Tierra del Sol PD to the Northwest Trunk and outfall drain to the Sparks Detention Facility will be obtained from the Oppio Ranch or Washoe County Parks.

K. Water Service

Domestic water service to individual homes will be provided by Truckee Meadows Water Authority. Water service to common and commercial areas may be provided by Washoe County. Washoe County may provide the initial water supply as part of its wholesale water agreement with Truckee Meadows Water Authority providing retail service.

Tierra del Sol

Tierra del Sol Design Standards & Guidelines (07.18.07)

L. Other Utilities

Remaining utility services for the development shall be provided as follows:

<u>Type of Service</u>	<u>Utility Provider</u>
Electricity	Sierra Pacific Power
Natural Gas	Sierra Pacific Power
Telephone	SBC
Cable TV	Charter Communications (or other cable providers as approved by the City of Sparks and Wingfield Nevada ACC)

M. Airport Noise

This property is outside of the 65 Ldn noise contour published by the Airport Authority of Washoe County. An avigation easement from the Airport Authority will be required prior to recordation of the first final map.

Tierra del Sol

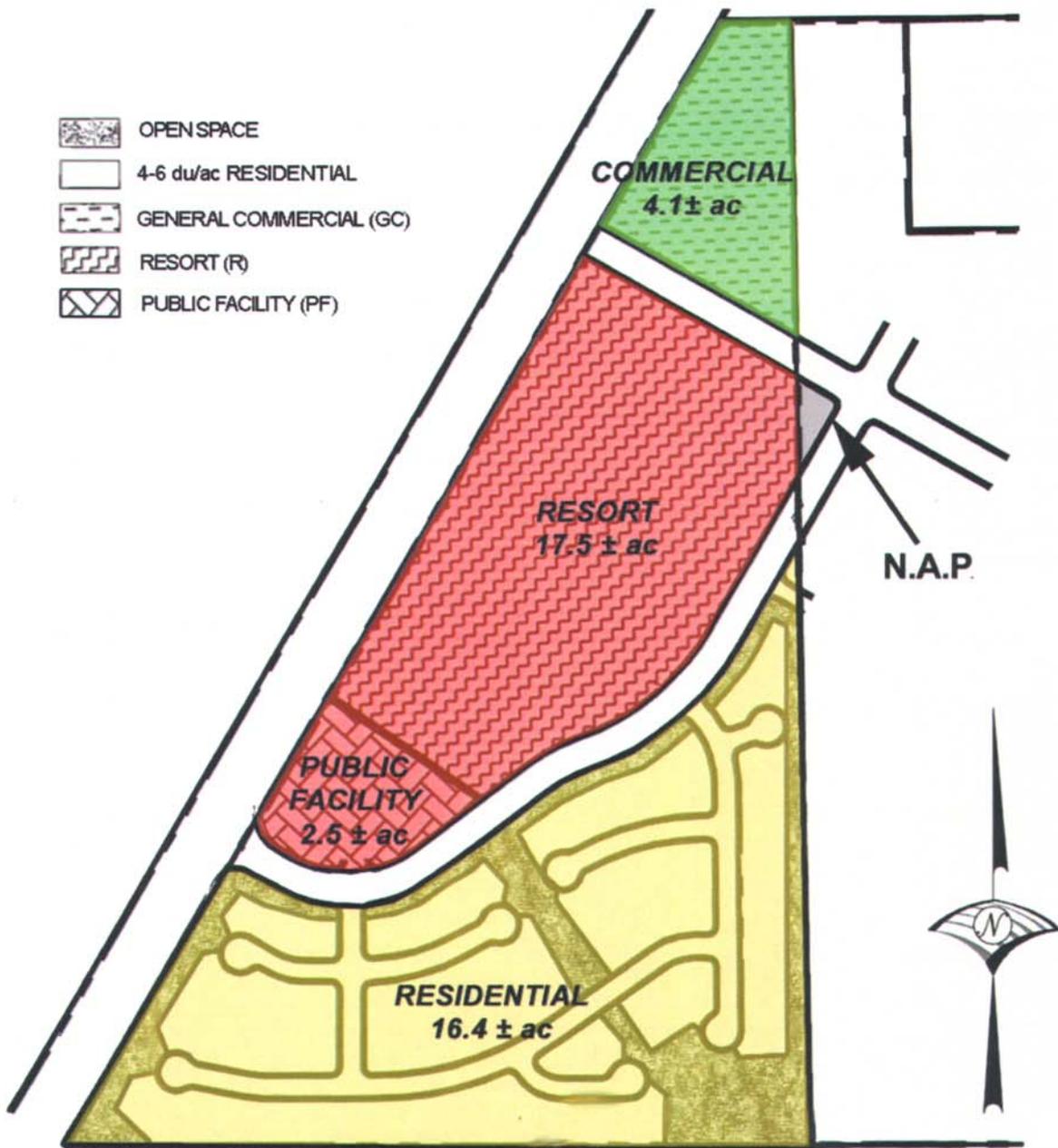
Tierra del Sol Design Standards & Guidelines (07.18.07)

II. PROJECT OVERVIEW

A. Land Use

The Tierra del Sol PD consists of Commercial, Resort, Public Facility and Single-Family Residential land uses with housing densities ranging from 4-6 dwelling units/acre, and open space as shown on Figure 3.

FIGURE 3
LAND USE PLAN



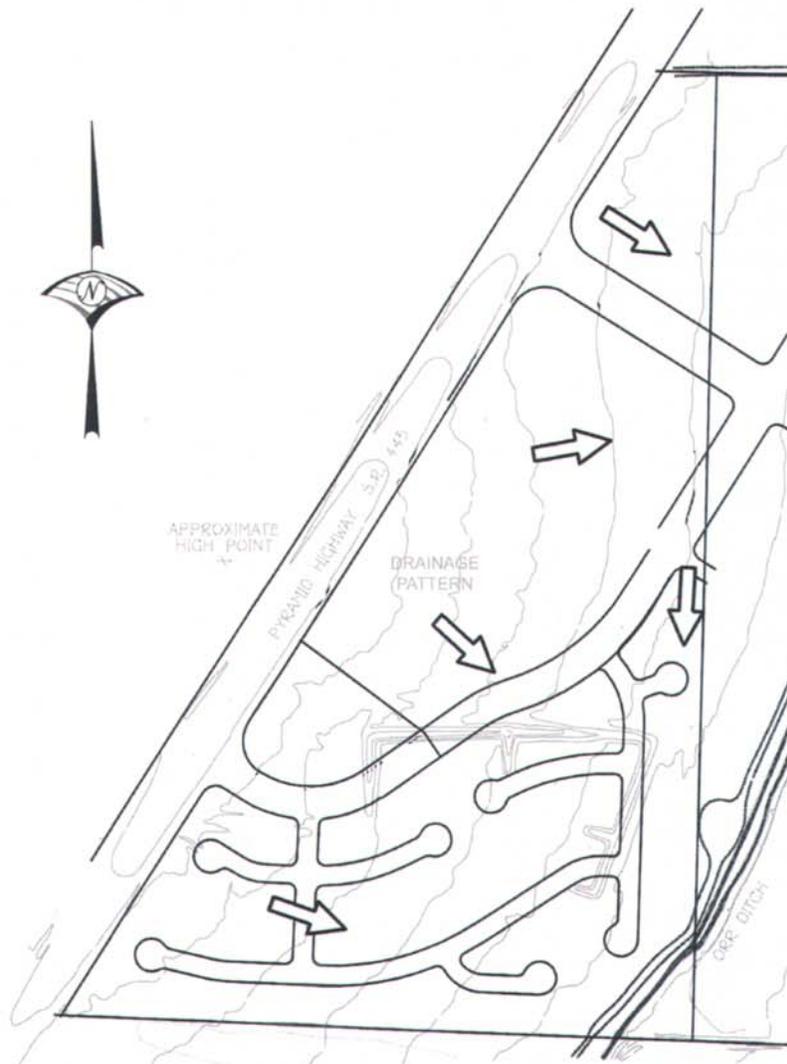
Tierra del Sol

Tierra del Sol Design Standards & Guidelines (07.18.07)

B. Site Features Influencing Site Plan Design

The site is virtually flat with a modest slope from west to east. The residential portion of the project (Phase 1) has been developed, leaving only vacant land in Phases 2 & 3 of the site. The property's western boundary is defined by the Pyramid Highway (SR445) right-of-way. Lands to the south are owned by Washoe County Parks to be developed as a regional park. To the east and north vacant agricultural lands exist, belonging to the Oppio family. The Oppio property is planned and designated for a mix of suburban level land uses inclusive of residential, commercial and business park uses. The Orr Ditch and Trail traverse the southeast corner of the property running generally in a southwest to northeast direction.

FIGURE 4
DOMINANT SITE FEATURES



Tierra del Sol

Tierra del Sol Design Standards & Guidelines (07.18.07)

III. PURPOSE AND OBJECTIVES

A. Purpose of the Design Standards

The Tierra del Sol PD Design Standards & Guidelines set forth development and design standards for the residential, resort, public facility and commercial components of the property. The Design Standards provide specific development criteria for neighborhood organization, access to open space, architecture, and landscaping for streets, common areas and open space. The Tierra del Sol project will provide for an aesthetically pleasing Planned Development (hereafter PD) respectful of the site's physical constraints.

It is the intent of the PD Design Standards to be consistent with previously adopted policies of the City of Sparks. Some of the standards are similar to previously adopted handbooks prepared for other portions of the Impact Fee Benefit District 1. Others are specific to this property and respond to unique characteristics of the site.

The PD Standards meet or implement the following Impact Fee Benefit District 1 Plan Goals and Policies:

- GOAL SIP1: Ensure that the preliminary scenic views of the planning area from the Pyramid Lake Highway and Spanish Springs Road are protected.
- SIP 1a. A minimum 25-foot buffer should be provided between all property lines and pavement along all arterial streets. Fences, walls or structures should be discouraged in these areas. At time of subdivision application review, a landscape/xeriscape theme should be evaluated.
- SIP 1b. Encourage under grounding of overhead lines and other utilities for any new development within the planning area and along major arterial streets.
- SIP 1c. The development design should be encouraged to provide open space linkages to establish a trail network system throughout the planning area.
- GOAL SIP10: Encourage the use of detention in existing potential wetland areas, open space and recreation areas, and in areas where soil conditions would provide for groundwater recharge.

Land Use

- GOAL SIP 22: Support Master planned development and master development agreements.
- SIP 22a. Require developers to prepare development standards handbooks for all residential, commercial and restricted industrial/business park projects, which outline architectural guidelines and performance standards in accordance with the policies in this plan.
- GOALSIP 23: Encourage a mix of land uses and densities to promote a balanced community with residential, commercial, through architectural guidelines, signage and development standards, restricted industrial, business and recreational areas.

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Tierra del Sol Design Standards & Guidelines (07.18.07)

SIP 23b. Prohibit strip commercial development. Support nodes of commercial development around the intersections of major arterials.

GOALSIP 24: Maintain an overall gross density of two dwelling units per acre in the planning area.

SIP 24b. Support the concept of clustering throughout the planning area.

SIP 24c. Require buffer areas between residential and non-residential uses.

Transportation

GOALSIP 30: Encourage the use of design features to support the use of public transportation.

SIP 30a. Encourage higher density development along transit routes.

GOALSIP 31: Prohibit direct access onto major arterials, limit-turning movements through the use of raised medians, acceleration and deceleration lanes, signals, etc. Prohibit curb parking on arterials and collectors.

SIP 31a. Require the use of joint driveways for commercial and other non-residential developments where feasible. Maintain adequate driveway separation spacing to at least 235 feet from other driveways and intersections.

SIP31b. Limit the number of signals allowed on arterial streets and encourage intersection spacing to be ¼ mile or greater.

GOALSIP 32: Encourage curvilinear street designs to fit with topographic constraints.

Annexation

GOALSIP 33: Encourage and support annexation of all property within the Sphere of Influence by 2007.

The Tierra del Sol PD Design Standards conform to the requirements of NRS 278A and SMC 20.18, which governs PD's. NRS 278A.010 through 278A.590, as revised in 1991, outlines specific requirements that must be addressed in either the written or graphic materials accompanying the development standards handbook. Most of these requirements have been addressed in this design standards document or other sections of the application package. In addition, design for landscaping, signs and entry features and maintenance of common area improvements will be provided in Conditions, Covenants, & Restrictions (hereafter CC&R's) that will be prepared and recorded by Wingfield Nevada.

B. Objectives of the Design Standards

There are several objectives inherent in the design standards. The design objectives address framework issues that help define the notable features of the built environment.

Objective 1: Provide a distinct image for the PD by encouraging high quality and aesthetically superior development.

Objective 2: Establish a strong sense of community through integrated design of linked public spaces such as streets, parks, and open space.

Tierra del Sol

Tierra del Sol Design Standards & Guidelines (07.18.07)

Objective 3: Maximize water and energy conservation by utilizing landscape architectural concepts responsive to climatic conditions in the area.

Objective 4: Design the built environment to minimize disruption of natural features.

The Planned Development Findings

PD1:

The plan is consistent with the objective of furthering the public health, safety, morals and general welfare by providing for the housing of all types and design.

This is a mixed use project which incorporates residential, resort, public facility and general commercial components. The Tierra del Sol development includes residential densities at 4 dwelling units per acre which fits into the entire Northern Sparks Sphere of Influence area as a component piece to offer housing of all types and design. As this project site includes only 56.67 acres, it would not be possible for this project, being based of a mix of uses to provide “all types and designs” of housing.

PD2:

The plan is consistent with the objective of furthering the public health, safety, morals and general welfare by providing for necessary commercial and industrial facilities conveniently located to the housing.

This project incorporates housing and commercial, public facility and entertainment uses. The entertainment area within Tierra del Sol will provide dining and entertainment options through a movie theater, gaming floor and arcade in close proximity to many existing and proposed homes within and adjacent to the NSSOI area. It should be noted that the gaming floor area associated with the hotel casino use is limited to $\pm 5.5\%$ of the total floor area (18,000 \pm s.f. within the total 330,000 s.f. Resort use) – a very small percentage that can be viewed as an accessory use to the overall entertainment, lodging, dining, spa and hotel function.

PD3:

The plan is consistent with the objective of furthering the public health, safety, morals and general welfare by providing for the more efficient use of land or private services.

This project will use the land in a responsible and efficient manner through advanced planning and appropriate development uses adjacent to the heaviest traveled arterial streets. The Planned Development is located adjacent to Pyramid Highway, as such; the more intense commercial uses are located adjacent to this highway corridor. Residential uses have been located with access and connections not directly on to Pyramid Highway; rather access is serviced through Tierra del Sol Parkway, thus softening the traffic levels relative to the Pyramid Highway corridor. Additionally, the Tierra del Sol Planned Development offers a sensitive treatment and pedestrian access to the portion of the Orr Ditch corridor and Regional Trail that runs through the site at the southeastern corner.

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PD4:

The plan is consistent with the objective of furthering the public health, safety, morals and general welfare by providing for changes in technology of land development so that resulting economics may be available to those in need of homes.

The Tierra del Sol development includes residential densities at 4 dwelling units per acre which fits into the entire Northern Sparks Sphere of Influence area as a component piece to offer housing of all types and design. As this project site includes only 56.67 acres, it would not be possible for this project, providing a mix of uses to provide "all types and designs" of housing, rather that fits within the bigger picture of the NSSOI and the entire Spanish Springs Valley area.

PD5:

The plan is consistent with the objective of furthering the public health, safety, morals and general welfare by providing for flexibility of substantive regulations over land development so that proposals for land development are disposed without undue delay.

The Tierra del Sol Planned Development handbook is not intended to hinder development in the area, rather to simply set the framework for a quality project that will provide a visually and functionally appealing end development that will enhance the housing, commercial, public facility, retail services and entertainment offered in the Spanish Springs Valley. .

PD6:

The plan does depart from zoning and subdivision regulations other wise applicable to the property and these departures are in the public interest for density.

The proposed handbook is consistent with the Master Plan designations of General Commercial and Residential (4 DU/AC). The development is functionally consistent with the City of Sparks Standard Zoning Designations of R1-6, C2 and TC.

PD7:

The plan does not depart from zoning and subdivision regulations otherwise applicable to the property, and these departures are in the public interest for bulk.

The plan is consistent with the otherwise applicable zoning. Due to the property location adjacent to Pyramid Highway, the site is best suited for high intensity development along the transportation corridor with stepped density to match proposed densities and facilities to the east and south.

PD8:

The plan does not depart from zoning and subdivision regulations otherwise applicable to the property, and these departures are in the public interest for use.

Due to the location of the property, along Pyramid Highway, the mix of uses from higher intensity commercial and medium to high density residential uses would be appropriate. Any uses otherwise would present a likely hindrance to the location of future "appropriate" development densities and intensities, as are presented with this Planned Development.

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PD9:

The ratio of residential to nonresidential use in the planned development is:

The residential use comprises $\pm 49\%$ and the remainder is comprised of $\pm 31\%$ Resort, 4% Public Facilities, 7% commercial uses and $\pm 9\%$ major streets and roadways.

PD10:

Common open space in the planned development exists for what purpose, is located where within the project, and comprises how many acres (or what percentage of the development site taken as a whole.)

Common open space is provided within the residential portion of the development for the purpose of providing pedestrian corridors and connectivity as an alternative to standard sidewalk connections, which are also provided. This common open space area comprises $\pm 11\%$ of the total Tierra Del Sol Planned Development and $\pm 22\%$ of the residential area development. Non-residential portions of the site will provide a minimum of 20% landscape area.

PD11:

The plan does provide for the maintenance and conservation of the common open space by what method:

The open space within the Tierra del Sol Planned Unit Development will be maintained by an association to assure consistent and positive maintenance. Two separate associations (one for the residential area and one for the resort and commercial area) will be used.

PD12:

Given the plan's proposed density and type of residential development, the amount and/or purpose of the common open space is determined to be adequate.

The requirement for open space in a Planned Development is 20%. The residential portion of the Tierra del Sol Planned Development is the only area that is required to provide 20% of the area in "common open space" such as trails, linear parks, etc. The residential portion provides $6.0\pm$ acres or $\pm 22\%$ in common open space. This open space is provided as trail linkages to the Regional Trail System located at the southeastern corner of the property. This meets the requirements set forth by Code. The resort and commercial areas are required to provide at least 20% of the site in landscape area. S.M.C. 20.18.030(C)(4) states: "For non-residential development the common open space requirement can be met by providing a minimum of 20% of the development as landscaped area, which exceeds the minimum standards imposed in chapter 20.32" for Tourist Commercial and General Commercial uses.

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PD13:

The plan does provide for public services. If the plan provides for public services, then these provisions are adequate.

As discussed in the Project Descriptions section addressing public services, public services will be provided and adequate in extent. It should be noted that a location for a police substation or other City of Sparks chosen public use has been identified within the site at the southern end of the Resort parcel.

PD14:

The plan does provide control over vehicular traffic.

The Approved and Regional Roads Graphic (Figure 1) in the Trip Generation Estimate and Comparisons document, provided with the tentative PD Handbook identify that a traffic light controlled intersection is planned at the intersection of Stonebrook Parkway and Pyramid Highway. Additionally, Stonebrook Parkway is identified to be a 6 lane roadway to service the commercial and resort parcels of the Tierra del Sol PD and the Stonebrook Planned Development to the east. These planned improvements will help provide appropriate traffic capacities and control of vehicular traffic with the development of the Tierra del Sol project.

PD15:

The plan does provide for furtherance of access to light, air, recreation and visual enjoyment.

The project has been setback from the Pyramid Highway corridor so as to provide better views across the Spanish Springs Valley, eastward from the Highway. Additionally, the proposed architectural design has adapted the Washoe County Area Plan architectural design standards of a "western theme" as this property is located across the State Highway from unincorporated County residential uses. The combined benefits from setbacks, architectural theme and landscaping help to meet the requirement of providing a furtherance of access to light, air, recreation and visual enjoyment.

PD16:

The relationship of the proposed planned development to the neighborhood in which it is proposed to be established is beneficial.

The Tierra del Sol Planned Development provides a mix of uses with residential, commercial, public facility, and resort uses. The commercial, public facility and resort uses will benefit the residents in the Tierra del Sol community as well as those within the communities surrounding Tierra del Sol in all directions by providing convenient services and retail establishments to help meet day-to-day needs. Also, the resort component will provide a benefit to those surrounding the Planned Development area through its high emphasis on recreation and entertainment

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offerings (restaurants, arcades, movie theaters, spa, etc.) A relatively small gaming component ($\pm 5.5\%$ of the total floor area of the resort component) is included and this will meet the needs and desires of those who choose to gamble within the Spanish Springs area.

PD17:

To the extent the plan proposed development over a number of years, the terms and conditions intended to protect the interests of the public, residents and owners of the planned development in the integrity of the plan are sufficient.

Similar to the City of Sparks Code, the Tierra del Sol Planned Development requires varying levels of future entitlement review (based upon the end proposed uses). As this process and procedures are similar, if not identical to Code, the integrity of the plan and the interests of the public are sufficiently protected.

PD18:

The project, as submitted and conditioned, is consistent with the City of Sparks Master Plan.

Sparks Municipal Code defines gaming as both non restricted gaming operations and restricted gaming operations (20.05.180). The Tourist Commercial District (TC) provides for non restricted gaming operations as a permitted use requiring a special use permit (20.86.020). The New Urban District (NUD) states that permitted uses are to be in accordance with the Planned Development Review Chapter (20.81.030). The Planned Development Review chapter defines permitted uses as follows (20.18.030):

“A. Permitted Uses. A Planned unit development may include any uses permitted in any zone classification provided that any combination of uses is planned in a manner compatible to each and to the surrounding environment.”

A non restricted gaming operation is a permitted use in the NUD zone classification. Tierra del Sol is zoned PD, which is now known as NUD. Therefore, a change in zoning classification is not necessary in order to allow a non restricted gaming operation in Tierra del Sol.

To determine how proposed uses are to be evaluated, the Planned Development Review chapter requires that an application for tentative approval must contain, among other things, the following information:

“B. The density and classification of land use to be allocated to parts of the site to be developed to assure compliance with the master plan, including information relative to the density of land use to be allocated to parts of the site to be developed; and

“D. The use and approximate height, bulk and location of buildings and other structures to establish that adequate buffering of dissimilar land use is accomplished.”

The Planned Development Review chapter does not establish procedures for subsequent modifications. However, it does define that a final approval is in substantial compliance if it does not (20.18.020):

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1. Vary the gross residential density or intensity of uses;
2. Vary the proposed ratio of residential to non residential;
3. Involve a reduction of the area set aside for open space or a substantial relocation of such area;
4. Substantially increase the floor area proposed for non residential use; or
5. Substantially increase the total ground areas covered by buildings or involve a substantial change in the height of buildings.

Based on the Sparks Zoning Ordinance, the inclusion of non restricted gaming operations within Tierra del Sol requires a modification to the list of permitted uses as identified in the Tierra del Sol handbook, and is in substantial compliance with the tentative approval if the 5 requirements noted above are met.

Title 20 (20.19.3010) defines amendments as changes to the zoning map or an amendment involving the reclassification of one or more parcels of property from one zoning district to another. In this case, the change contemplated would change neither the map nor the district designation. Tierra del Sol is, and will remain, zoned PD, which is now known as NUD.

The Northern Sparks Sphere of Influence Plan (NSSOI), which serves as the Sparks Master Plan for both Tierra del Sol and Wingfield Springs, states that the plan is intended to identify general land uses to guide future development in the planning area (NSSOI pg. 2.199). Further, the plan states that the intent is to provide a mix of uses with an emphasis on master plan developments. The NSSOI clearly contemplated a tourist commercial use since it shows up on Table 1 (37 acres of tourist commercial) and is included as a planned land use (NSSOI pg. 2.205). Of most importance in terms of guidance is the narrative defining tourist commercial in the NSSOI as:

“A small tourist commercial node is anticipated in the planning area.”

The text only limits the tourist commercial use to a single node. The “small” reference is further defined by the 37 acre limit identified on Table 1. There is no text reference to the tourist commercial being geographically constrained. In fact, the approval of the movement of the node on two occasions by the City of Sparks demonstrates that there are no geographical limits other than the site must be within the NSSOI.

As long as the tourist commercial in Tierra del Sol is 37 acres or less and is accompanied by the removal of the tourist commercial use (i.e. one node) in Wingfield Springs, the handbook amendment is consistent with the NSSOI.

Other pertinent facts must be recognized as follows:

- The NSSOI Plan was found to be in conformance with the Truckee Meadows Regional plan by the Regional Planning Commission on January 8, 1992;
- The Wingfield Springs Handbook was originally approved as a project of regional significance by the RPC on July 22, 1992. In granting this approval which included gaming, the RPC made the following finding:
“7. Any gaming activities proposed at a later date for the project will not compete with casino activities in the downtown areas of Sparks and Reno;”

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- The October 13, 1994 Sparks Planning Commission staff report stated that “the applicant is currently requesting a Master Plan amendment to redefine the locations of tourist commercial and general commercial areas, ...;
- On November 7, 1994, the City of sparks entered into a development agreement with Loeb Enterprises for the Wingfield Springs PC. This development agreement included the following:

“3.08 Supplemental Development Agreements:

The City agrees to enter into Supplemental Development Agreements with the owner on the following matters:

d. Agreement providing for transfer of unused development approvals regarding the transfer and use of development credits outside Wingfield Springs PC but within the City...”

- On November 30, 1994, the Regional Planning Commission unanimously approved the revised Wingfield Springs Handbook predicated upon and making reference to the Development Agreement as an amendment to the NSSOI Plan as an element of the Sparks Master Plan and project of regional significance.
- NRS 278.0203 provides that “the governing body may, if it finds that the provisions of the agreement are consistent with the master plan, approve agreement by ordinance.

The City of Sparks found that Section 3.08 of the development agreement was consistent with the master plan (i.e., NSSOI Plan).

The Sparks City Council gave final approval to an amendment to the Wingfield Springs Planned Development Design Handbook (PCN02009) on April 8, 2002. This amendment to the handbook included moving the location of the resort site to a parcel that was not part of the original two Wingfield Springs approvals and increasing its size. The approval did not include a master plan amendment, only annexation and zoning.

The basis for the action taken on PCN02009 is the Development Agreement, adopted after the original approval and first amendment and did not require a master plan amendment by rezoning. This conclusion can be reached by recognizing that:

- The NSSOI Plan is the City Master Plan for the area; and
- The NSSOI Plan and, specifically, its approval by the RPC, allows for the limited gaming resort in the planning area not tied to the locational criteria.

PD19:

The project is consistent with the surrounding existing land uses.

The only existing land uses, adjacent to the Tierra del Sol Planned Development are residential to the west (across Pyramid Highway, a State Highway) and Lazy 5 Regional Park to the south. The proposed development pattern of the Tierra del Sol Planned Development locates the residential adjacent to the Lazy 5 Park Site, at the southern end of the project as the residents of the community will be some of the many that will use the adjacent Regional Park facility. Commercial and resort uses are proposed adjacent to Pyramid Highway for an appropriate location from the standpoint of traffic separation with the residential area. It should be clearly understood that the Commercial and resort uses are proposed across a State of Nevada

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Highway from existing residential uses on the western side of the highway. The highway presents a barrier and distance separation from these existing residential uses. Additionally, Pyramid Highway (carrying nearly 40,000 vehicle trips per day) presents a much closer, impactful use to the western, neighboring residential properties than the proposed commercial and resort uses will.

PD20:

Public notice was given and a hearing held per the requirements of the Sparks Municipal Code.

The planning commission and City Council meetings will function as the public hearings for the Tierra del Sol project.

PD21:

Modifications of the Tierra del Sol Planned Development further the interest for the city and the residents and preserve the integrity of the plan.

The Tierra del Sol Planned Development provides a mix of uses with residential, commercial and resort commercial uses. The commercial and resort commercial uses will benefit the residents in the Tierra del Sol community as well as those within the surrounding communities in all directions by providing convenient services and retail establishments to help meet day-to-day needs. The transfer of previously-approved density from Wingfield Springs under the terms of the original 1994 Wingfield Springs Development Agreement to the Tierra del Sol Planned Development is consistent with the City of Sparks Master Plan.

Nevada Revised Statutes allows for governing bodies to use any controls relating to land use or principles of zoning that the governing body determines to be appropriate, such as density bonuses. Wingfield Springs proposes to transfer previously approved density from Wingfield Springs under the terms of the original 1994 Wingfield Springs Development Agreement, to land under the jurisdiction of the City of Sparks, which at present is arguably Master Planned for a lower density.

Under certain portions of the Master Plan and as provided by NRS 278.250 (4) and (5) (a) which reads...

4. In exercising the powers granted in this section, the governing body may use any controls relating to land use principles of zoning that the governing body determines to be appropriate, including without limitation, density bonuses...

5. As used in this section:

(a) "Density bonus" means an incentive granted by a governing body to a developer of real property that authorizes the developer to build at a greater density than would otherwise be allowed under the master plan, in exchange for an agreement by the developer to perform certain functions that the governing body determines to be socially desirable, including, without limitation, developing an area to include a certain proportion of affordable housing.

...the new location of this transferable density is appropriately proposed along a major arterial.

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In a further effort to facilitate this zoning change under the above referenced statute, Wingfield Springs agrees to work with the Sparks City Council to perform certain socially desirable functions as may be reasonably required by the City of Sparks. In the case of the Tierra del Sol Planned Development, socially desirable functions afforded to the City of Sparks include, but are not limited to, significant contributions to the City of Sparks' tax base by virtue of the commercial and resort commercial's ability to generate revenue and the developer will, at not cost to the city, build a 4,800 square foot public building. The City of Sparks stands to benefit by the increased tax and gaming revenue that will be generated from the commercial and resort commercial establishments. According to a recent study by Meridian Business Advisors, the city of Sparks is projected to inherit over \$11 million in real property tax revenue, sales tax revenue and gaming license fees over the next 20 years. The project is estimated to cost \$100 million to build and will take approximately fifteen months to develop. The construction of the project will provide jobs for area contractors and many of the materials and services will be provided by local businesses. Meridian Business Advisors also estimates the project will only cost the City of Sparks approximately \$1.8 million over 20 years to provide Police, Fire/EMS and administrative/overhead services above and beyond what the city would normally provide.

The proposal calls for the previously approved density to be transferred to a piece of land on the Pyramid Lake Highway, a major arterial. Under certain portions of the City of Sparks Master Plan, the new location of this transferable density is appropriately proposed along a major arterial. Furthermore, the Northern Sparks Sphere of Influence (NSSOI) Plan provides for movement of the Tourist Commercial use to another location within the city's sphere of influence. Therefore, the proposed movement of the Wingfield Springs entitlement to the new location with the jurisdiction of the City of Sparks is consistent with prior practice of the City of Sparks, with the NSSOI plan and the Regional Plan. The integrity of the City of Sparks Master Plan remains intact because the proposed entitlement transfer is justified and not only requires no amendment but conforms to it.

C. Implementation

The Design Standards will be used by the residential developer and/or the Serena Springs HOA (SSHOA) for Phase 1 and the non-residential developer(s) and/or Wingfield Nevada ACC for Phases 2 & 3 and the City of Sparks (Administrator) to review each parcel developer's proposal for conformance with the overall design objectives. Design review by the appropriate non-agency reviewing body will be a required element all purchase agreements entered into for property within the Tierra del Sol PD. The property seller will provide each parcel developer with a copy of the approved Design Standards and supplemental CC&R's. These documents should be reviewed carefully by each parcel developer.

It shall be the responsibility of each parcel developer within the Tierra del Sol PD to prepare neighborhood and landscape design plans in conformance with the Design Standards. The Residential Developer shall review Phase 1 plans while the Wingfield Nevada ACC shall review Phase 2 & 3 plans for development prepared pursuant to this Design Standards manual prior to submission of such plans to the City of Sparks. The purpose of this initial plan review is to ensure compliance with the plan as finally approved by the City of Sparks. A letter from the appropriate non-agency reviewing group stating that the project is in conformance with the plan must accompany the project submitted to the City of Sparks. All new construction is to be reviewed through the Site Plan Review or Special Use Permit process.

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The City of Sparks requires a licensed landscape architect to prepare landscape plans according to these standards. Prior to installation of landscape improvements all plans are to be reviewed by the appropriate non-agency reviewing group and the City of Sparks, as provided by the CC&R's recorded against each property. Approval by the non-agency reviewing group does not imply that the project is in compliance with all applicable city codes, ordinances, or other regulations. Each parcel developer is responsible for submittal and processing of all plans and permits required by the City of Sparks prior to commencement of construction. Subsequent subdivisions and/or use permits will require discretionary approval.

Where provisions of the plan do not address a specific subject, provisions of the Sparks Zoning Ordinance or other ordinances governing development of land in effect at the time of recordation of final plans shall prevail. The City of Sparks will thereafter apply only newer or modified ordinances and regulations, or those pertaining to health and safety issues, not in conflict with those in effect on the date of plan recordation. The provisions outlined in NRS 278A.390 must run in favor of and are enforceable by the City of Sparks.

D. Minor Revisions to Standards

The Administrator can make minor revisions, not to exceed a 20% deviation to these guidelines after review of conformance with the intent of the Master Plan and prior to conditions of approval.

For direction pursuant to final approvals required for each parcel developer's development, it is recommended this Design Standard Manual be reviewed in its entirety.

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IV. GENERAL RESIDENTIAL DESIGN CONCEPTS & STREET CROSS SECTIONS

Residential land use is organized into distinct neighborhoods linked by a network of pedestrian paths in open space corridors and landscaped corridors along the street. An open space corridor in conjunction with Tierra del Sol Parkway extends north-south through the PD and serves as an organizational "spine" of the PD, as well as providing direct pedestrian/bike access to area trails, open space and parks. Specific neighborhood design issues are addressed in the following design standards.

A. Energy Conserving Design

Subdivision design shall utilize an east-west street pattern where feasible to facilitate shading residences and passive solar design. Lots shall be long and narrow with north-south orientation or wide and shallow with east-west orientation.

B. Internal Traffic Circulation

The street system shall be designed to discourage non-resident traffic through neighborhoods. Local residential streets shall intersect collector streets generally at intervals of not more than 600 feet. The intent is to provide sufficient local street access so that vehicular traffic is not concentrated. Pedestrian circulation shall be designed to encourage pedestrian links to schools, parks and neighborhoods. Single family residential neighborhoods shall be oriented with the dwelling units facing toward a local residential street with the rear or side property lines of individual residences abutting collector streets.

C. Access and Orientation to Open Space

Open space will provide the setting for a pedestrian and bikeway trail system offering access to scenic views and opportunities for interaction with the natural environment. Pathways shall be routed through neighborhoods to provide convenient access. However, there are potential security conflicts between private residences and a nearby pathway that is accessible to the public. Therefore, it is intended that this plan orient residential use adjacent to the open space encouraging lot design which preserves residential privacy.

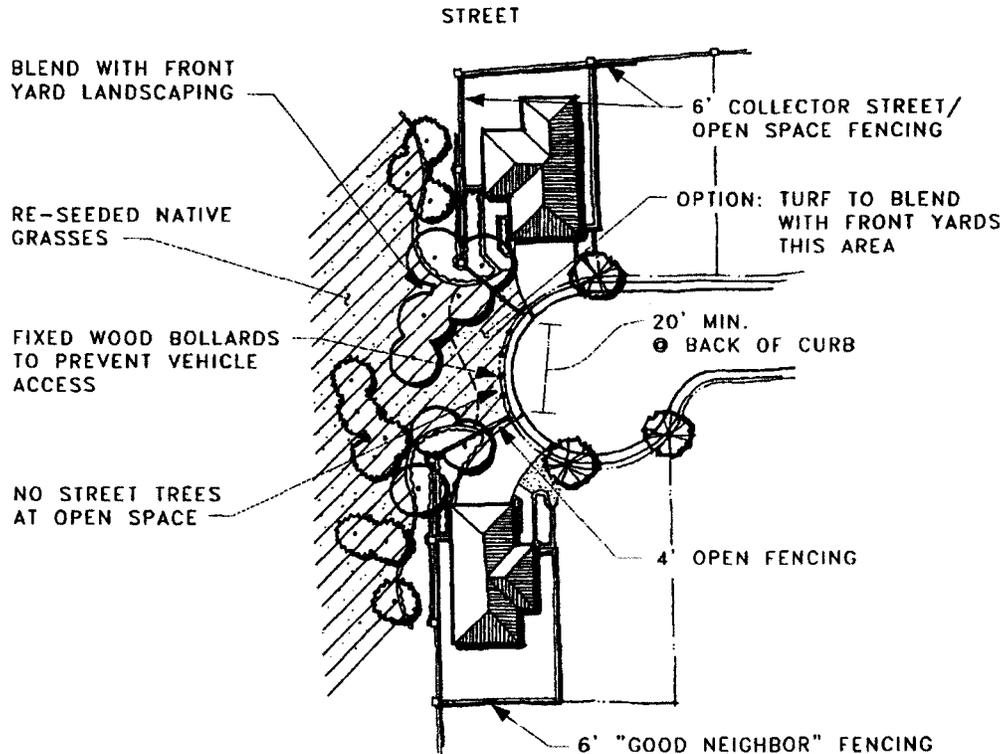
Special lotting patterns are proposed in order to effectively provide a safe corridor for public access while providing for individual lot configurations that side onto the open space. Two alternative patterns for single-family residential development have been conceptually developed for the PD. Either of these or similar alternatives that provide a safe corridor for public access and security for private residences may be applied in the plans for individual residential units.

The first alternative makes use of cul-de-sacs that protrude into open space corridors providing direct visual and physical access, as shown in Figure 5. This allows for visual monitoring of the trail from the street and attractive open space views for adjacent residents. Periodic views into the adjacent streets from the trails will provide for breaks in the monotony of side yard fencing. Homes shall be oriented to preserve the privacy and security of primary entry and living spaces.

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FIGURE 5
CUL-DE-SAC ADJACENT TO OPEN SPACE
(WITHOUT TRAIL CONNECTION)



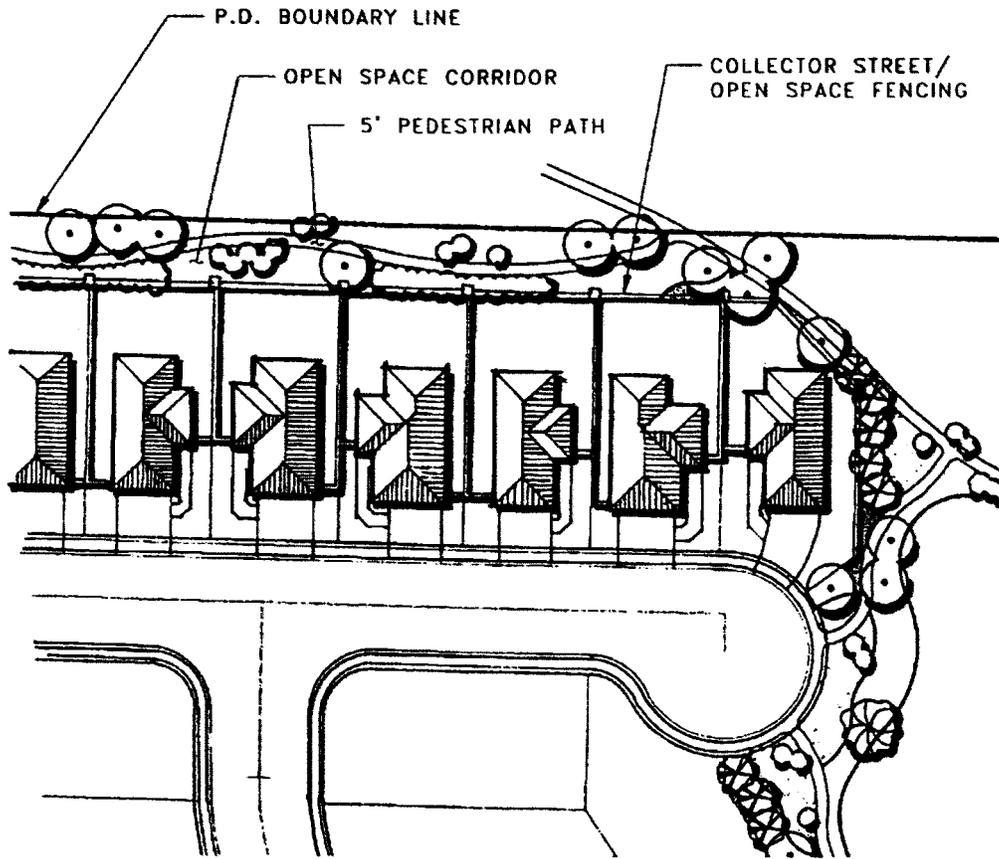
The second alternative allows for residences to back onto open space, as shown in Figure 6. Due to diminished views into and out of the open space this alternative may encourage the occurrence of undesirable activities. Views and surveillance of the open space shall be enhanced through use of open type fencing rather than solid/opaque walls, such as typical masonry walls.

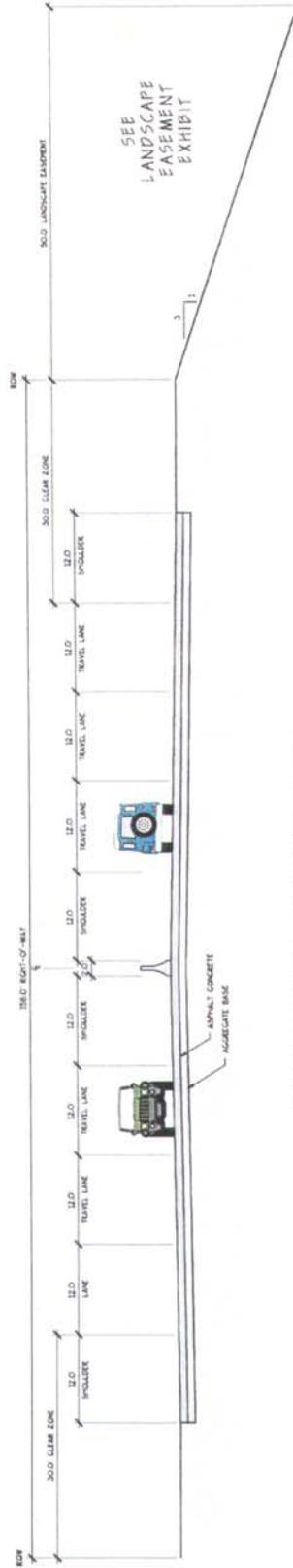
Functionally, this alternative is less desirable because it greatly diminishes public access to open space. The interface between urban uses and open space must be carefully designed to avoid long stretches of solid walls along the open space edge. While this lotting alternative is generally discouraged when other options are appropriate, it may be necessary in some instances where privacy, security and noise attenuation are of concern. For example, six-foot (6') solid fencing may be appropriate for privacy on lots adjacent to the proposed commercial site and along the open space corridor bordering the neighboring development to the east.

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FIGURE 6
RESIDENCES BACKING ONTO OPEN SPACE



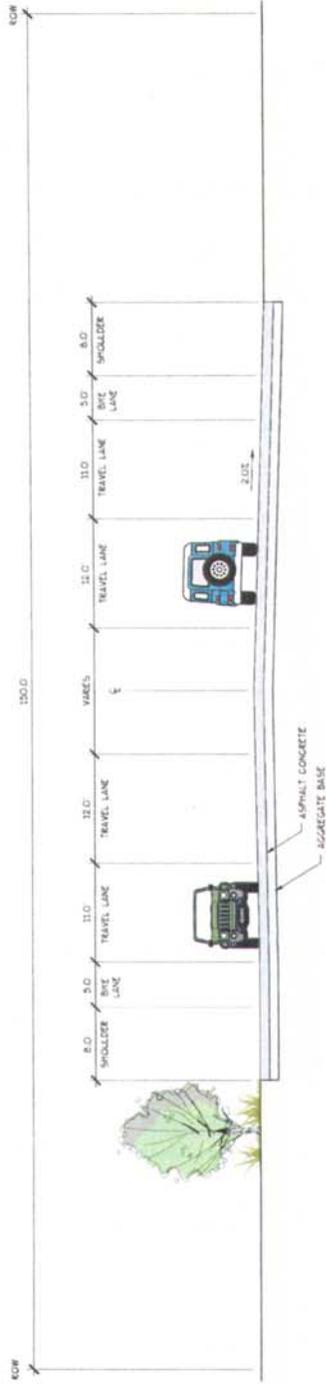


PYRAMID HIGHWAY-PROPOSED
 158' RIGHT-OF-WAY
 6 TRAVEL LANES

FIGURE 7
 FUTURE PYRAMID HIGHWAY ROW (158' ROW - 6 TRAVEL LANES)

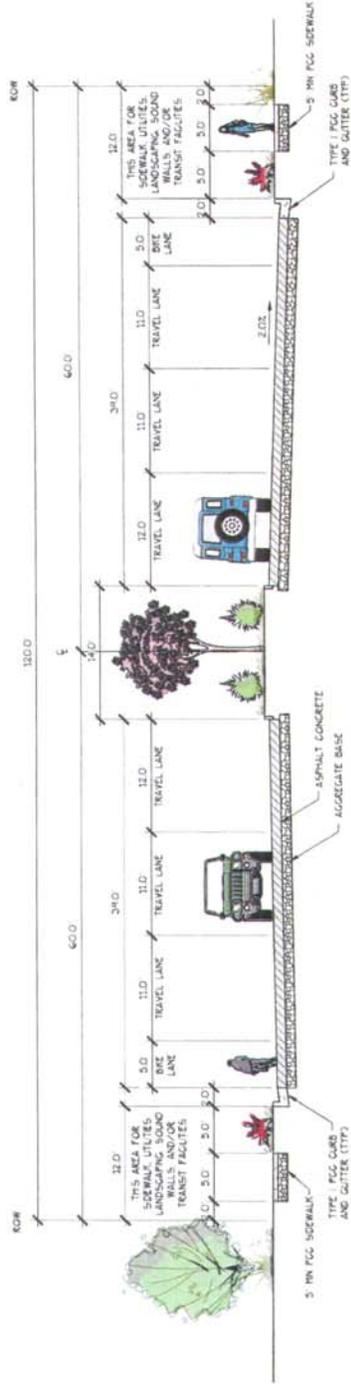
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EXISTING PYRAMID HIGHWAY
EXISTING 150' RIGHT-OF-WAY
4 TRAVEL LANES

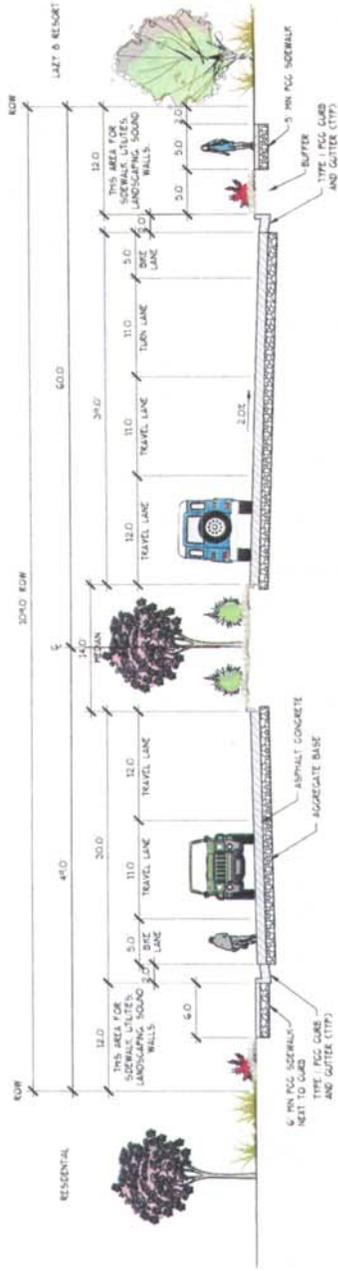
FIGURE 8
EXISTING PYRAMID HIGHWAY ROW (150' - 4 TRAVEL LANES)



STONEBROOK PARKWAY
 120' RIGHT-OF-WAY
 6 TRAVEL LANES

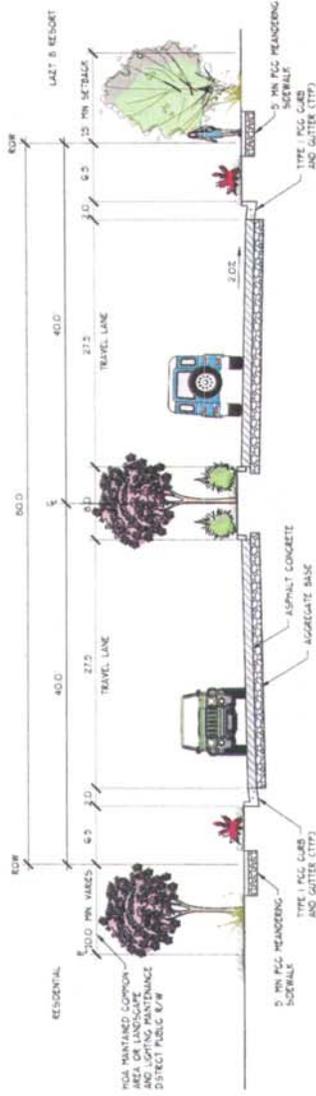
FIGURE 9
 STONEBROOK PARKWAY ROW (120 - 6 TRAVEL LANES)

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TIERRA DEL SOL PARKWAY
 109' RIGHT OF WAY
 5 TRAVEL LANES

FIGURE 10
 TIERRA DEL SOL PARKWAY ROW NORTHERN SECTION (109' - 5 TRAVEL LANES)



TIERRA DEL SOL PARKWAY (PREVIOUSLY BUILT SECTION)
 TYPICAL 80' RIGHT-OF-WAY SECTION
 4 TRAVEL LANES

FIGURE 12
 TIERRA DEL SOL PARKWAY ROW (PREVIOUSLY CONSTRUCTED) SOUTHERN SECTION (80' - 4 TRAVEL LANES)

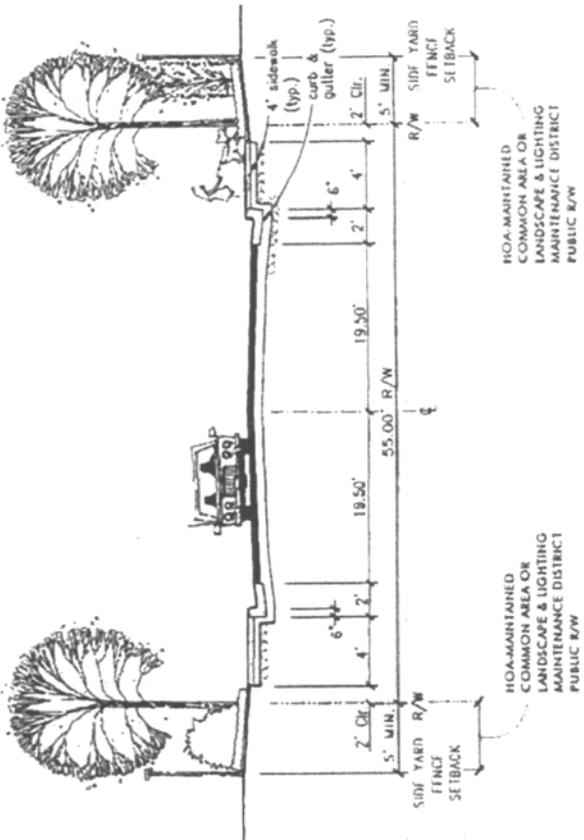


FIGURE 14
 RESIDENTIAL STREET SECTION

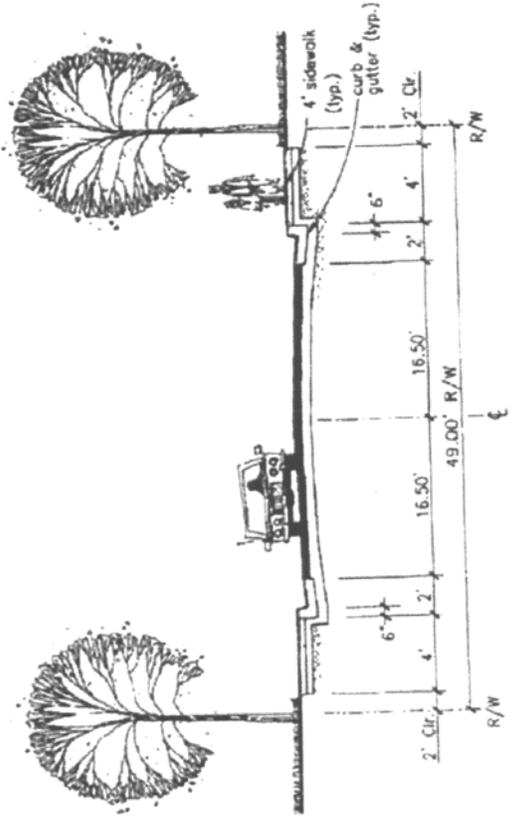


FIGURE 15
 RESIDENTIAL STREET SECTION (CUL-DE-SACS W/LESS THAN 10 LOTS)

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V. GENERAL LANDSCAPE STANDARDS

Landscaping encompasses most areas of the plan, except the private yards of individual residences, and includes the streets, pathways, open space, and common areas in the community. Landscape design includes formal plantings along streets and linear parkways, informal plantings in open space areas, as well as street furniture and recreation amenities such as tot lots. The purpose of this section is to establish comprehensive design standards by defining requirements for project entries, landscaping, and site amenities. Installation specifications, maintenance guidelines, and the definitions of areas of responsibility are also outlined so that each parcel developer will understand and conform to the overall design concept. The specific details regarding landscape requirements are provided in each section addressing the various use types within the PD area.

A. Landscape Design Objectives

The various elements of landscape design are intended to achieve multiple objectives. Among these are to provide the following.

- Identity and Orientation
- Pedestrian Scale
- Enhancement of Public Safety
- Climate Control
- Screening and Visual Enhancement
- Buffering to Natural Areas
- Visual Linkage to Natural Areas
- Enhancement of Natural Species Diversity
- Ease of Maintenance and Reduced Water Demand for Irrigation

1. Identity and Orientation

The landscape elements will provide identity for the PD and will emphasize specific locations and features. For example, landmark trees will direct and orient passers-by, emphasize the sense of arrival, add a sense of enclosure to a space, and establish the importance of the area.

2. Pedestrian Scale

Landscape design will be used to establish and reinforce a sense of pedestrian scale in areas intended for high use such as pedestrian corridors and pathways. This will be accomplished through use of smaller scaled and more detailed landscape materials than those used in primarily vehicle dominated areas.

3. Enhancement of Public Safety

The role of landscape design in public safety is essentially to maintain visibility. In open space areas, along the pedestrian pathways, and adjacent to buildings, the landscape will maintain an open view from nearby streets and will avoid "hiding" places. Lighting will also be used to provide clear pathways and maintain views. Along the roadways, landscape design will maintain the line-of-sight of vehicle operators and bicyclists at intersections and other locations where a conflict may occur.

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4. Climate Control

Landscaping plays a particularly important role in climate control that will enhance the quality of life within neighborhoods and reduce the energy demand for summer cooling and winter heating. Broad shade trees and groundcover plantings will help cool and humidify the microclimate around houses and public use areas. Shade trees located along bikeways and pedestrian pathways will make these environments more comfortable in warm weather and encourage residents to walk or bicycle when it would be too warm otherwise. In addition, these same deciduous trees will lose their leaves in the fall and winter months allowing sunlight to penetrate to areas below.

5. Screening and Visual Enhancement

Landscaping will effectively screen less attractive aspects of buildings and parking areas. Similarly, landscaping will be used to enhance and complement the architecture of buildings. Landscaping will also screen walls and fencing, trash enclosures and utility equipment.

6. Buffering to Natural Areas

The landscape design will provide a transition or buffer between urban uses and natural areas. Groundcover materials provide a natural filter that removes contaminants in urban runoff before the water reaches natural watercourses. Landscape materials will also provide a physical barrier to discourage access to sensitive natural resource areas.

7. Visual Linkage to Natural Areas

The landscape design will contain elements of formal urban landscaping and informal, natural habitat. Where these elements interface, the landscape design will provide a visually pleasing transition that blends the natural and designed environment.

8. Enhancement of Natural Species Diversity

The built environment, while inherently not natural, will provide a broader spectrum of plant materials and habitat than found in the existing environment. The landscape design will include a diversity of ground cover, shrub and tree canopy not found in the existing environment. This greater horticultural variety is anticipated to support a broader range of species, notably, birds, insects, and small mammals, than those found in the existing environment.

9. Provide Ease of Maintenance and Lower Water Demand

The landscape design will incorporate plant materials and planting configurations that are inherently easy to maintain and require minimal irrigation. Landscaping materials shall be selected with consideration for water requirements over the lifetime of the plants. The use of plants with low water requirements, particularly those considered drought-tolerant, and use of efficient irrigation systems is required in preparation for water-availability concerns in the future.

B. Tierra del Sol Landscape Design Theme

A common landscape identity will be established throughout the Tierra del Sol development as a means of establishing a sense of place and pedestrian scale within the community. Landscaping, particularly the parkway and street trees, will play a key role in establishing the character of the PD. Accent and landmark trees, shrubs and groundcover support the overall landscape design for the PD.

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1. Parkway and Median Landscape

The landscape design for the Tierra del Sol Parkway, the most visible of the project's public areas, shall be a dense composition of trees, ornamental shrubbery, groundcover and turf lawn intended to establish the general character and quality of the project image. Utilizing a variety of species offering colorful flower and foliage displays, variations of form and texture, and seasonal effects, the parkway landscape will provide a visually stimulating and ever changing environment for residents and visitors.

2. Street Tree Concept

Aesthetically, street trees create rhythm, soften the visual environment, and provide shade for pedestrian paths. Street trees within the PD will be consistent along all residential streets in the neighborhood. Deciduous, broadleaf canopy trees will be planted in a regular, linear fashion along the street, set back from the edge far enough to accommodate their ultimate growth.

3. Accent and Landmark Plantings Concept

Accent and landmark trees, shrubs and groundcover will provide color, form and texture and will signal seasonal change with fall foliage, spring flowers, and bare winter forms. Accent and landmark trees will add emphasis and interest, highlighting areas such as entry signage and important pedestrian access points. *Accent* plantings with seasonal variation will be used at intersections, selected areas along the roadways, pedestrian places, and focal areas such as entries to the PD and to individual neighborhoods. At park and open space areas, linear street tree plantings along roadways will give way to informal tree massing set back from the roadside. Landscape trees will be carefully chosen and placed to emphasize these specific areas.

4. Shrubs, Groundcover, and Site Amenities

Shrubs and foliage-type groundcover will be used in project entries to soften the ground plane and tie other landscape materials together. Special consideration will be given to selecting plant materials that add color and emphasis to the entries. Landscape design will also accommodate special accent paving, fencing, lighting and site furnishings, subject to applicable City of Sparks codes, regulations, and standards. Special accent paving, such as colored concrete, brick, or similar materials will be provided to enhance important areas of the project. Low, open fencing shall be provided to prevent pedestrian access to sensitive areas. Special lighting techniques will be utilized throughout the PD to enhance architecture and landscaping, as well as provide additional safety for pedestrians. Site furnishings will add to the overall common theme of the PD and include benches, drinking fountains, bollards, and trash receptacles. Recreational amenities include such things as tot lots, picnic areas, barbecues, and linkages to regional trail.

C. General Landscape Design Standards

All areas to be landscaped shall be planted with trees, shrubs, groundcover, etc. shall be appropriate to the climate and conditions of northeastern Nevada with a stress on the use of native and/or drought tolerant trees, shrubs, and groundcover for a pleasing look in all seasons. Parcel developers shall assess existing landscaping adjacent to their property and reinforce and complement that established character. Landscape plans are to be prepared by a licensed landscape architect. Parcel developers shall submit landscape plans to Wingfield Nevada ACC

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for approval. Landscape plans shall indicate how the design meets plant selection criteria, spacing, and massing guidelines.

1. Plant Selection

Plant materials will be chosen based on their adaptability to the general Sparks vicinity. However, final determination of appropriate plant material shall depend upon a horticultural soil analysis and other site-specific determinations.

Parkway and Median Landscape

Trees in the parkway will be planted in informal massing of a single species in a given location. These trees will be planted in a random fashion, as appropriate to the ultimate growth habit of the species. At the time of planting, parkway trees shall have a minimum caliper of two inches (2") if deciduous, or six feet (6') minimum height if evergreen. Additionally, a variety of ornamental shrubs and groundcover, as well as turf lawns, shall be planted in concert with the tree selections in order to complete the parkway composition. Careful consideration will be given to selecting plant species that will reinforce the special qualities of the parkway landscape and enhance the development's overall thematic concept.

Street Trees

The primary landscape delineator within residential neighborhoods will be street trees spaced regularly every thirty-five to fifty feet (35 - 50') on center as appropriate to the ultimate growth habit of the species. Street trees shall have a minimum caliper of two inches (2"). Caliper of trees shall be measured at breast height. Deciduous street trees will be planted in a linear fashion along the street with a minimum of one (1) street tree per standard lot and a minimum of three (3) street trees at corner lots, with two (2) trees on the side yard frontage. Additional street trees may be required to maintain continuity of the overall pattern.

Accent Trees

Accent trees are intended as a contrast/compliment to parkway and street trees and to highlight significant areas within landscape corridors, such as points of entry (into local streets and at pedestrian access points), local street intersections, and transitional areas. Accent trees shall be spaced as appropriate to the ultimate growth habit of the species. Accent trees shall have a minimum caliper of two inches (2") if deciduous, or six feet (6') minimum height if evergreen.

Landmark Trees

Landmark trees shall be used at key entry locations along major boulevards or at major nodes along pedestrian pathways and roadways. These trees may be planted in a linear fashion, grouped into irregular masses, or planted as a single specimen tree. Landmark trees shall be spaced as appropriate to the ultimate growth habit of the species. Landmark trees shall have a minimum caliper of three inches (3") if deciduous, or ten feet (10') minimum height if evergreen.

Shrubs

Shrubs will serve as visual barriers to man-made elements, including fences and walls, retaining walls, and utility equipment. Placement of shrubbery shall not obstruct important pedestrian or vehicular sight lines or threaten the safety of pedestrians. The eventual height of shrubs will be considered to create foreground (even as a groundcover), middle ground, and background relationships, as well as scale variations.

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Shrubs shall be planted from five (5) gallon or larger containers, spaced as appropriate to the eventual growth of the species, in irregular masses or in a linear fashion.

Open Space Trees and Shrubs (Residential Areas)

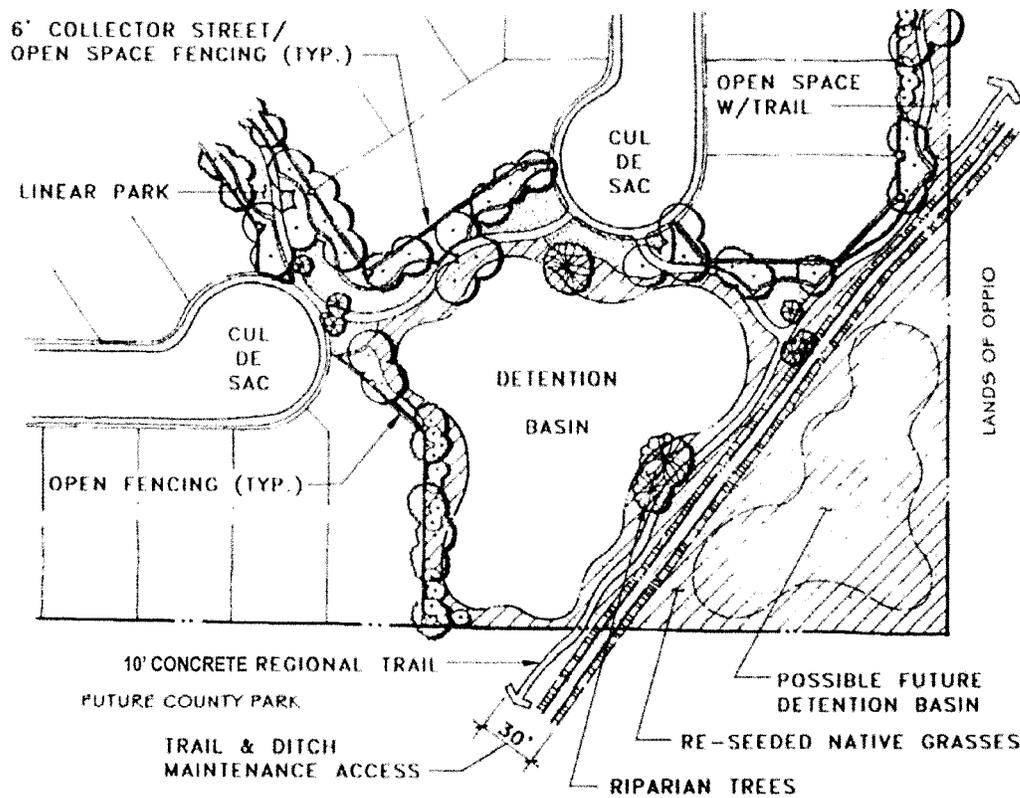
With the exception of riparian areas, landscaping within open space will be typified by low growing native and/or drought-tolerant shrubs, groundcover, and/or re-seeded native grasses. Where appropriate, open space trees will be in irregular masses or groves. Open space trees shall have a minimum two-inch (2") caliper and be planted at on-center spacing as appropriate to the eventual growth of the species selected.

Open space trees and shrubs shall be non-invasive species compatible with the habitat of natural areas. Shrubs will be planted only where visibility to open space and residential security is not compromised. Plant materials in open space adjacent to residential uses shall be drip irrigated.

Riparian Trees (Residential Areas)

It will be desirable to enhance the riparian character of the Orr Ditch and detention basin with the addition of riparian trees (see Figure 16). Riparian trees shall be planted as single specimens or groves as appropriate to the eventual growth of the species selected. Riparian trees shall have a minimum two-inch (2") caliper. Landscape materials within planting areas adjacent to riparian areas will be non-invasive species compatible with the natural habitat. Installation of riparian trees shall be consistent with requirements of agencies having jurisdiction over riparian areas if applicable.

**FIGURE 16
ORR DITCH DESIGN CONCEPT**



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2. Site Preparation

The following standards provide for specific aesthetic treatment of finished earth forms, compatible relationships between buildings, parking, road, and adjacent properties, and avoidance of poor drainage.

Grading

Street Grading and Drainage - Public roads shall be dedicated to the City of Sparks. Except as provided herein, public roads shall conform to City of Sparks standards including those for structural section, cross fall, curb and gutter, curve radius, tangent length, allowable grade, grade breaks, vertical curves and bike paths. A roadway drainage system capable of handling the 5-year storm, per City of Sparks standards, shall be provided in all public roads.

Parcel Grading and Drainage - Parcels shall be graded in accordance with City of Sparks' standards and the International Building Code. Minimum grade on plane-graded areas (paved or unpaved) and unpaved swales shall be one percent. Minimum grade on paved swales shall be 0.4 percent. Roof drains shall discharge to erosion-resistant pervious (non-paved) surfaces where possible. Stormwater drainage will comply with city, county, state, and federal standards that are in effect at time of application for each building permit.

All slopes in cut and fill shall conform to recommendations and requirements of the Soil Engineer's report. In no case shall they exceed two (horizontal) to one (vertical) unless approved by the City. Tops of cuts and toes of fills are to undulate and be rounded smoothly into those existing to blend as much as possible. All site grading shall be designed to meet the standards in Table 3 that are consistent with ADA Accessibility Guidelines.

**TABLE 3
SITE GRADING STANDARDS**

Use Areas	Min. Slope	Max. Slope
Lawn Areas	2%	20%
Landscape Areas	2%	30%
Parking Lot	1%	5%
Access Driveways	2%	5%
Pedestrian Plazas	1%	3%
Pedestrian Walkways	1%	5%

All 2:1 slopes will be mechanically stabilized using materials such as rip rap or turf reinforcing material with vegetative cover to the approval of the Administrator. All slopes 3:1 or less will be biomechanically stabilized with biodegradable straw matting and appropriate plant material to the approval of the Administrator.

Natural drainage courses will be incorporated into landscaping as surface drainage, dry creek courses, and retention basins. Drainage solutions that conform to the natural character of the landscape, minimize change of existing topography, and preserve the drainage network are encouraged.

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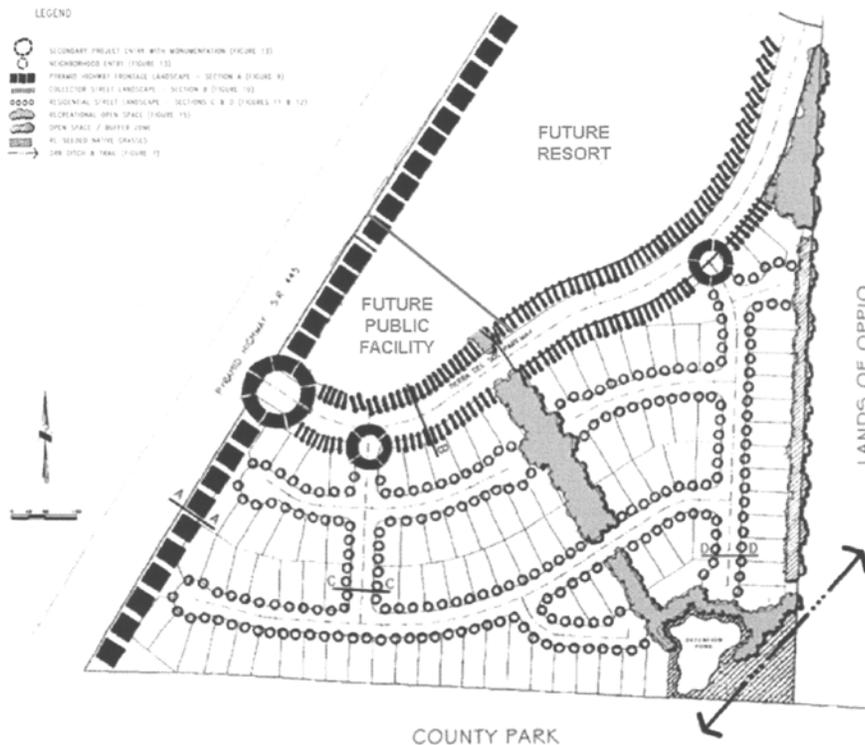
D. Landscape Design Standards for Typical PD Setting

Within the PD there are a variety of settings that accommodate specific functions. Each of these will be distinguished by its own unique landscape character as described in the sections following and as shown in Figure 17.

1. Streetscape

Two major arterial streets access the Tierra del Sol Planned Development (PD). The Pyramid Highway (SR445) fronts the PD's western boundary and serves as the primary north-south connection between the City of Sparks and Spanish Springs Valley. Tierra del Sol Parkway and Stonebrook Parkway are "secondary" boulevards that extend from Pyramid Highway through the PD to other parts of the local road network and adjacent development parcels. These major streets will provide an identity for the PD through use of the highway frontage and parkway landscaping, entry features, street trees, accent and landmark trees, and other landscape features on the adjacent corridors and medians. Street trees and front yard landscaping along local residential streets will be installed by each parcel developer in conformance with requirements established in this PD Design Standards & Guidelines Handbook and maintained by the property owner if located within a lot or parcel.

**FIGURE 17
LANDSCAPE DEVELOPMENT CONCEPT**



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2. Project and Neighborhood Entries

Project Entries

The project entries to the Tierra del Sol Planned Development shall be located along the Pyramid Highway (SR445) which forms the western boundary of the development. The primary project entry shall be located at the intersection with Stonebrook Parkway. The secondary project entry is located at the intersection with Tierra del Sol Parkway

Project entries will provide a distinct gateway and sense of arrival to the Planned Development. They must be highly visible from significant distances and readily communicate the thematic character and image of the project to motorists traveling at speed. The entry composition will combine elements such as walls, columns, or other architectural expressions, intensified landscape development, and specialized features such as trellises, detailing accents, special pavements or other construction materials consistent with the thematic concept into an integrated expression which evokes the Tierra del Sol theme: a southwest ranch.

Signs will be front lighted and include logo elements. At these locations the landscape corridor will be widened to accommodate intensified development, including accent and landmark trees, and other special landscape elements to signify the gateway. Such landscape design must meet the minimum visual site distance requirements of the City of Sparks.

Project entries shall be designed to the approval of the City of Sparks Parks and Recreation Director and Administrator prior to approval of a Final Tract Map or site plan review for the project. Project entries shall be installed pursuant to such approvals before issuance of the first Certificate of Occupancy for the project.

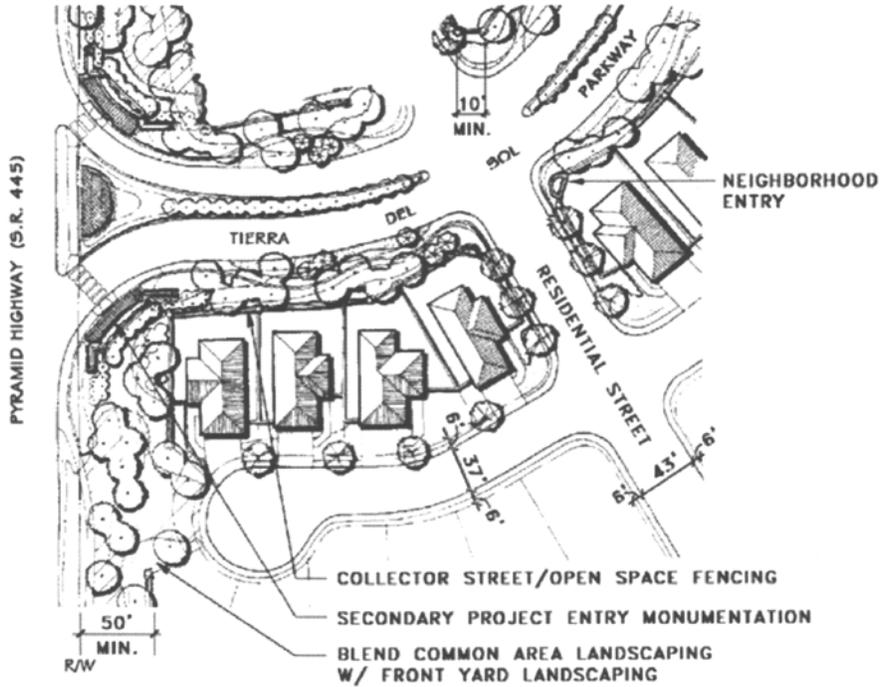
Neighborhood Entries

The Planned Development provides an opportunity for special signage and landscape elements to identify the residential neighborhood (see Figure 18). Neighborhood entries may incorporate low horizontal walls or other low elements, but use of strong vertical elements such as columns or pilasters is permitted. Horizontal elements tend to be more visible and relate strongly to vehicular traffic, whereas the vertical elements will be smaller and scaled to the pedestrian. Neighborhood/Residential entries shall include a project logo and name in a sign integrated with the Collector Street/Open Space fencing or located on a free-standing monument (see Figures 19 & 20). Neighborhood entry signage shall be limited to a maximum of two signs per entry, located at no more than two neighborhood entries per parcel. The basic form and materials of the neighborhood entry shall be included in the Final Signage and Monument Master Plan for the Tierra del Sol PD.

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FIGURE 18
PROJECT AND NEIGHBORHOOD ENTRIES



Neighborhood and project entries shall be distinctive in their landscape design. Accent or landmark trees with distinctive forms and/or colors shall be used to help establish a special identity. Street tree patterns will be interrupted by accent and landmark trees in the vicinity of project signage. Shrubs and groundcover will be utilized to enhance the entry to the neighborhood. These materials shall include groundcover with interesting form or habit or large expanses of colorful flowers. Low angled lighting will be used to front-light the project name and logo and to up-light the accent trees.

FIGURE 19
RESIDENTIAL PROJECT ENTRY MONUMENT SIGN



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FIGURE 20
NEIGHBORHOOD ENTRY MONUMENT SIGN



Developers shall install neighborhood entries, designed prior to issuance of the first Certificate of Occupancy for the project.

Signage for Commercial and Resort areas will be defined with the entitlement application for each project. This will allow for an appropriate design to coordinate with the proposed architectural theme(s) to be defined and reviewed.

3. Pedestrian Corridors

Landscaping in pedestrian corridors and along project streets help to define the overall image and character of the neighborhoods. Pedestrian landscape corridors shall be ten feet (10') wide along collector streets and feature a five-foot (5') wide sidewalk meandering in a landscaped corridor. Pedestrian corridors and parks will be landscaped with a variety of trees, shrubs, groundcover, and, in many areas, turf lawns. Within parks, shade trees will be planted in large masses or groves, adjacent to trails, picnic areas, tot lot and seating areas.

Lighting will be designed to accommodate nighttime use without glare intrusion into neighboring areas. Three-foot (3') lighted bollards will be located at park/pedestrian corridor entries to highlight their locations and to prevent auto access. Bollards will be constructed of materials consistent with the Planned Development's theme and be removable for emergency access and ease of maintenance.

Design and construction of pedestrian corridors shall be the responsibility of developers with installation concurrent with their associated projects. Upon completion and approval, maintenance of these landscapes shall become the responsibility of the respective Owners or Homeowners' Association.

4. Open Space Areas

Designated open space areas in the PD occur within pedestrian corridors, linear parks, and in the southeast corner of the site where a detention basin shall be provided adjacent to the Orr Ditch. In most instances the open space corridors do not contain areas of environmental sensitivity and may be modified with landscaping more natural in character than typical ornamental plantings found elsewhere on the project subject to the

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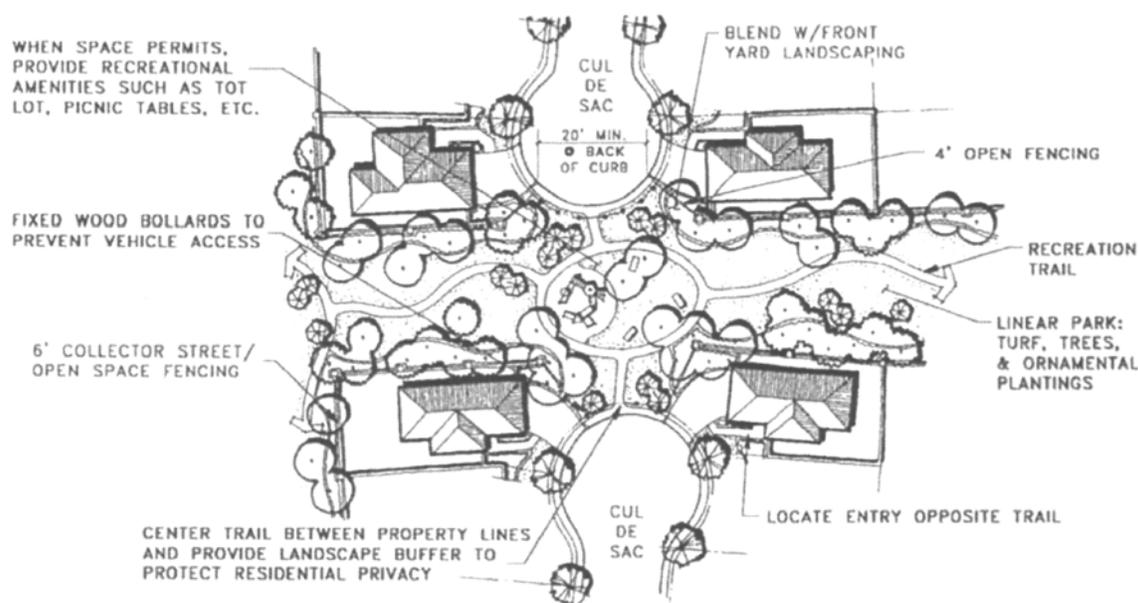
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approval of the City of Sparks Parks and Recreation Department Director and Administrator.

Residential streets provide periodic views into open space and offer opportunities for visually interesting interfaces between the man-made and natural environment. Formal landscaping along pedestrian walkways adjacent to arterial and collector streets will terminate as the streets abut open space. Trees compatible with natural areas will be planted in masses and, along with shrub plantings, used to frame views into open spaces. Groundcover will be planted in all "formalized" ornamental planting areas.

Vehicle access to open space and parks will be prevented through the provision of barriers such as bollards and/or a low, open fence adjacent to the street, as shown in Figures 21. Visual and pedestrian connections between developed land uses and the open space should be maintained where feasible. Pedestrian/bike paths will be incorporated in open space with access to street edges. In these instances landscaping will be installed to provide visual interest and shade along the bike route.

FIGURE 21
CUL-DE-SAC ADJACENT TO OPEN SPACE (WITH TRAIL CONNECTION)



Where pedestrian paths occur in open space corridors adjacent to residential properties, the public reports for adjacent subdivisions shall include notification of the intent to install such public walkways. Pedestrian pathway corridors, including all landscape, pathways, and other improvements, shall be installed concurrent with adjacent homes by individual parcel developers.

Where trails extend to the cul-de-sac, landscaping will be enhanced to clearly denote them as access points, as shown in Figure 21. Street trees shall terminate at the open space, allowing the enhanced landscape and open space character to interface with the neighborhood and blend into adjacent front yard landscaping.

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Design and construction of open space areas shall be the responsibility of developers, with installation concurrent with their associated projects. Upon completion and approval, maintenance of these landscapes shall become the responsibility of the SSHOA.

5. Irrigation

All plants will be grouped into zones according to their water requirements, with one valve per zone to minimize over watering. Trees, shrubs, and groundcover will be irrigated with a drip irrigation system and/or micro spray heads. Lawn areas will be irrigated with a low gallonage spray system.

Reclaimed water may be used for landscaping uses wherever feasible and available. The irrigation specifications may require modification if a special use permit is approved for use of reclaimed water. Use of reclaimed water shall be dependent upon the ability of the City of Sparks to provide such service.

The landscape irrigation system shall be a fully automatic underground system with programmable electronic controller, electric valves, and quick couplers for supplemental watering. All main lines and laterals will be equipped with manual drain valves to drain the system in late fall. Automatic drain valves will not be permitted since the automatic valves waste water throughout the irrigation season. All sprinkler heads subject to line drainage shall have anti-drain check valves integral to their construction or incorporated into their riser installation.

Irrigation plans are to be prepared by a licensed landscape architect. Developers of Phases 2 & 3 must submit irrigation plans to Wingfield Nevada ACC for review and approval. After approval by Wingfield Nevada ACC, the irrigation plans must be submitted to the Administrator for final approval. Phase 1 (residential area) does not hold this same requirement as it is complete.

6. Site Amenities

Site amenities installed by Wingfield Nevada or a project developer will be located within the open space or common/public spaces. Guidelines for site amenities are identified as follows for PD consistency.

Site amenities may include benches provided along the pathway or sidewalk systems and will be set back to prevent obstruction to bicyclists or pedestrians. A small tot lot shall be provided within the drainage areas and open space of the residential area (Phase 1). Benches shall be located near the tot lot for use by watchful parents, and picnic tables shall be provided in nearby areas shaded by trees. A drinking fountain and a trash receptacle(s) shall also be provided in close proximity to the tot lot.

7. Installation and Maintenance

As required by NRS 278A.120, all common open space will be set aside for the use and benefit of the public. The SSHOA will own and maintain the common open space. Linear parks/pedestrian corridors will be constructed by the residential developer as part of Phase 1 and owned and maintained by the SSHOA.

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The residential (Phase 1) developer is responsible for the installation of landscape design elements in common areas including residential front and side yard landscaping outside rear and side yard fencing.

Installation and maintenance of all design elements including walls, landscape, signage, etc. is initially the responsibility of either the Residential Developer for Phase 1 and Wingfield Nevada or the parcel developer for Phases 2 & 3. The developer of each phase of the project shall be responsible for the installation and maintenance of the landscape design elements in the public rights-of-way, landscape easements, and common open space. As streets are constructed, associated landscaping will be installed. Initially, Residential Developer will retain responsibility for the maintenance of these areas. After this initial period, maintenance responsibility will be relinquished to the SSHOA for associated residential developments and property owners of associated commercial developments, or to a lighting and landscape maintenance district.

Landscaping and irrigation installed by all Developers of the various phases of Tierra del Sol shall be maintained in a healthy and operational condition. Maintenance responsibility will eventually be transferred to the SSHOA. All dead or damaged plant material shall be replaced with the same materials matching the size and height of adjacent material.

From the completion of installation, landscaping shall be maintained in an attractive and vigorous condition. All parcel developers will be required to maintain plant materials in common areas utilizing proper horticultural techniques of pruning, pest control, and fertilization. When landscaping is not properly maintained, the appropriate responsible group or association (the initial residential developer or residential HOA for Phase 1 or Wingfield Nevada or other assigned party(ies) for Phases 2 & 3) may, after 30 days notice, enter private property for maintenance purposes and bill the property owner. Residential landscaping installed by the residential developer in front and side yards shall be maintained by the individual homeowners. Damaged or malfunctioning irrigation must be repaired or replaced to match original system. Over-spray and excessive runoff shall be kept to a minimum.

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VI. GENERAL FENCING, LIGHTING AND SIGNAGE DESIGN

A. Screening and Fencing Design

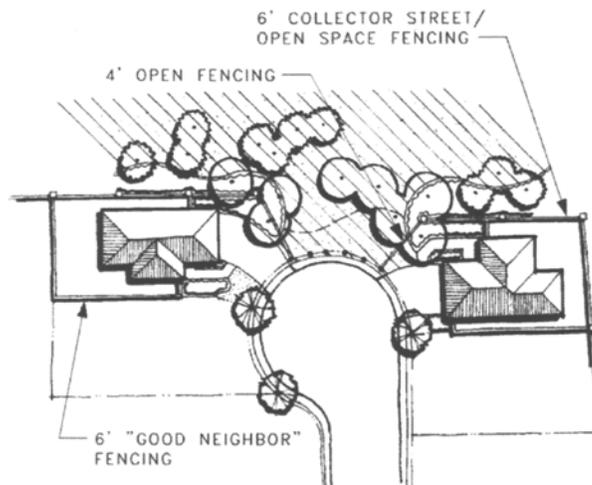
Fencing within the PD is intended to provide privacy and security and screen unsightly elements. To a significantly lesser extent they may be utilized to buffer land use boundaries, mitigate noise, and act as a barrier to entry in environmentally sensitive or hazardous areas. Non-residential fencing is to be kept to a minimum to avoid blocking views or fragmenting land uses in the PD. All fencing material, color and texture shall be consistent with the overall project design theme and subject to approval by Wingfield Nevada ACC and the Administrator.

Mechanical equipment and other similar structures shall be ground-mounted when feasible. If not ground-mounted, such equipment shall be screened from the view of streets, adjacent properties, and areas open to the general public through the use of parapet walls, roof wells, or other means incorporated as an integral part of building design. All noise generating mechanical devices shall be screened with noise reduction barriers so that their potential as a nuisance to abutting properties is minimized.

Fences

Three types of residential fences shall be provided throughout the PD in response to various conditions where privacy, security, safety, and/or screening are required or desirable (see locations shown in Figure 22)

**FIGURE 22
TYPICAL FENCE LOCATIONS**

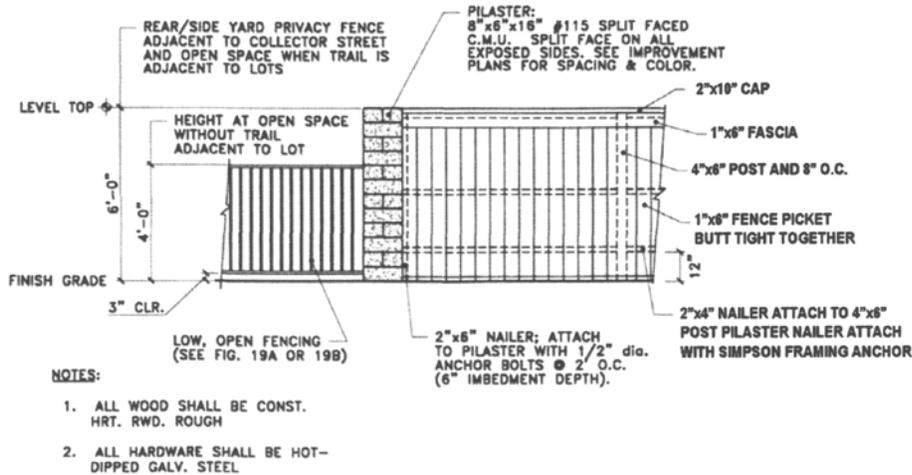


The first type is Collector Street/Open Space fencing. This fence shall be located at all residential rear and side yards abutting Tierra del Sol Parkway, collector streets, linear parks, pedestrian corridors, and open space. These fences shall be six-foot (6') high wood privacy fencing accented with pilasters spaced at intersections of property lines and changes in direction (see Figure 23).

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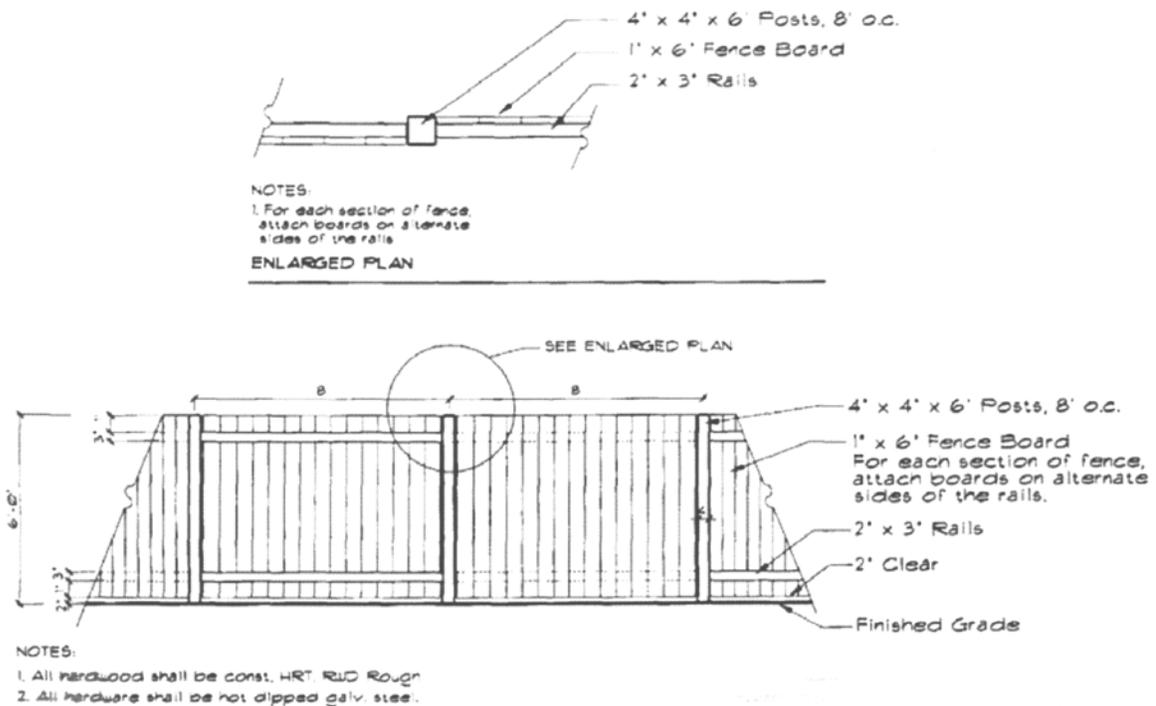
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FIGURE 23
COLLECTOR STREET/OPEN SPACE FENCING



The second type is "Good Neighbor" fencing, a solid, six-foot (6') high privacy fencing located on all common property lines of residential lots (rear and side yards). Good Neighbor fencing shall be of the same or similar wood construction as Collector Street/Open Space fencing but without pilasters (see Figure 24).

FIGURE 24
"GOOD NEIGHBOR" FENCING

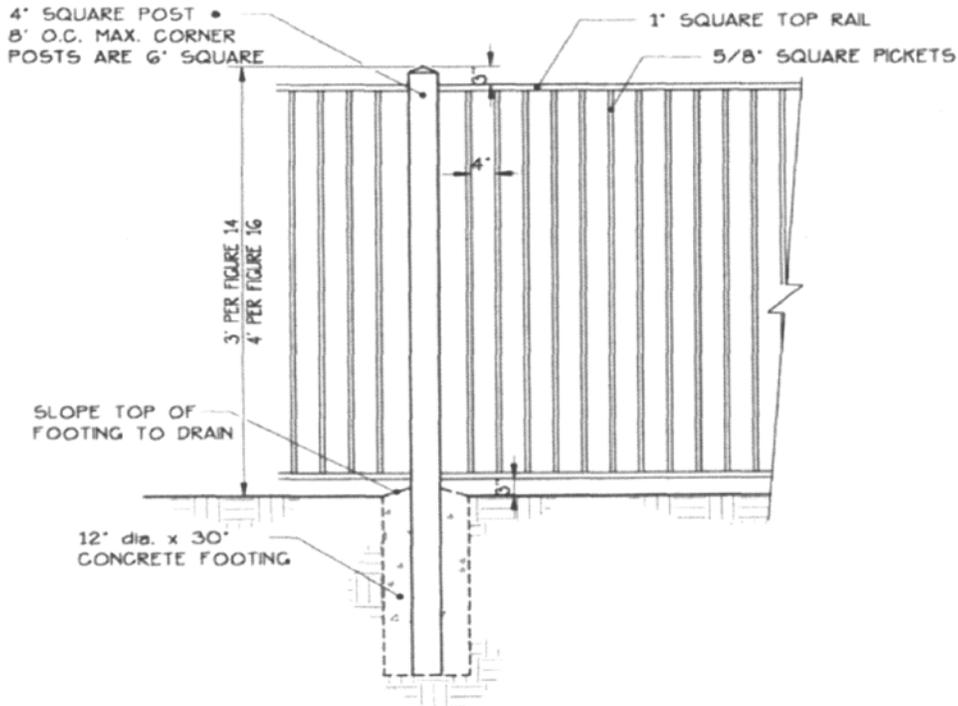


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When residential lotting patterns adjacent to open space result in side-on lots that can provide "eyes to the open space" an enhanced perception of safety may be achieved when a combination of Collector Street/Open Space fencing and Low, Open fencing is utilized. Lots side-on to open space will generally have Collector Street/Open Space fencing at side yards joined with low, open-type fencing along the edge of the front yard areas. Low, open fencing shall be one of the following options: tubular steel, rail & pickets as shown in Figure 25 or wood construction incorporating a colored vinyl coated welded wire mesh as shown in Figure 26 allowing the surrounding landscape in both open space and private front yards to blend together (see Figure 23). The developer will select which option shall be used and applied uniformly throughout the development.

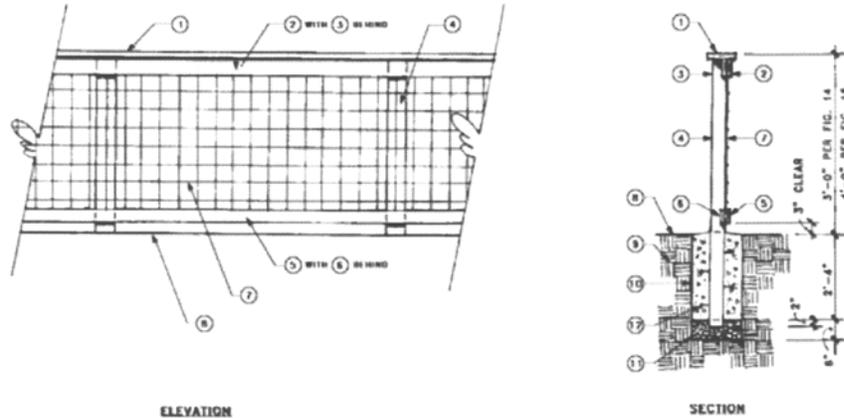
FIGURE 25
LOW, OPEN FENCING - TUBULAR STEEL OPTION



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FIGURE 26
LOW, OPEN FENCING - WOOD CONSTRUCTION OPTION



LEGEND

- ① 2" x 8" CAP
- ② 1" x 6" FASCIA
- ③ 2" x 6" RAIL/MAILER
- ④ 4" x 6" POST @ 8'-0" O.C. MAX.
- ⑤ 1" x 4" FASCIA
- ⑥ 2" x 4" RAIL/MAILER
- ⑦ 6" x 6" / 10 x 10 VINYL COATED WWM; COLOR: BLACK SANDWICH BETWEEN FASCIA AND RAIL/MAILER
- ⑧ FINISH GRADE
- ⑩ COMPACTED SURFACE
- ⑪ 16" DIA. CONC. FOOTING; SLOPE TOP TO DRAIN
- ⑫ DRAIN ROCK
- ⑬ 16# DOUBLE HEAD GALV. STEEL NAILS (8/POST)

B. Lighting Design

B.1 Residential Lighting Standards

Residential areas within the Tierra del Sol PD will include standard "cobra-head" light standards as are typical throughout most of the areas developments.

B.2 Non-Residential Lighting Standards

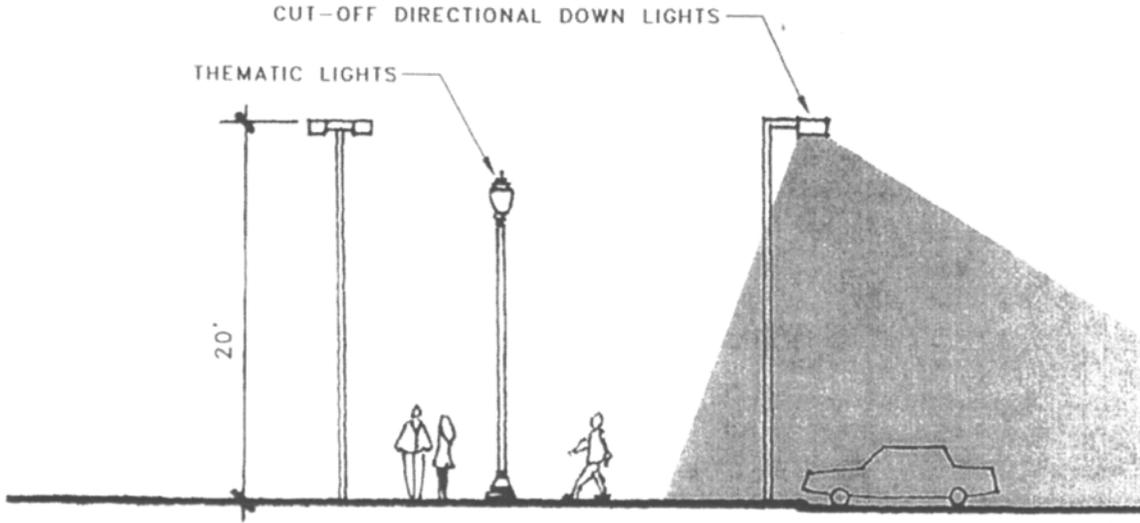
Exterior lighting is intended to promote safety and security, as well as enhance building design and landscaping. Lighting within the public right-of-way shall comply with City of Sparks standards. Cut-off style fixtures shall be used near streets and adjacent residential uses to minimize impacts of glare on neighboring properties. Fixtures shall be located at intervals that provide continuity of pedestrian illumination. Light standards shall be located to avoid shading by tree canopies and buildings.

Final lighting treatments will be defined at final mapping using the below allowed concepts. Acceptance of the final light standards will be to the determination of the Administrator.

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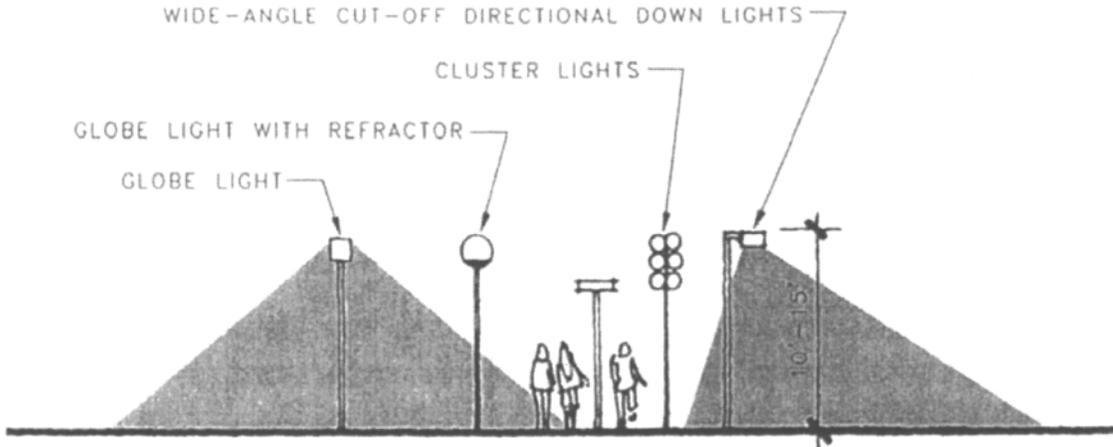
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FIGURE 27
HEIGHT STANDARDS FOR LIGHT FIXTURES: PARKING LOTS & STAGING AREAS



NOTE: USE OF DIRECTIONAL LIGHTING WITH GLARE CUT-OFF FEATURES IS REQUIRED

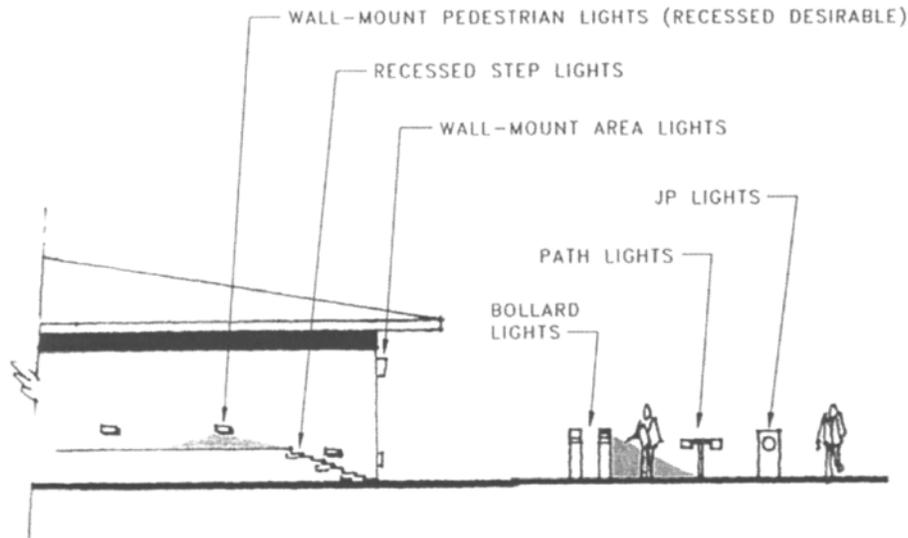
FIGURE 28
HEIGHT STANDARDS FOR LIGHT FIXTURES: WALKWAY & PEDESTRIAN AREAS



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FIGURE 29
HEIGHT STANDARDS FOR LIGHT FIXTURES: ENTRIES & COURTYARDS



C. Signage

The intent of the sign program is to establish a recognizable hierarchy of entries and intersections. The signs will enhance the design elements of the PD and confirm the perceived order of the streetscape.

Five types of signs are proposed for the Tierra del Sol Planned Development: project entries, neighborhood entries, parcel identification signs (free standing), directional/building identification, and temporary signs.

All signs within the development shall adhere to the following general guidelines:

- Signs shall be of proper scale and proportion in terms of their own design and their visual relationship to buildings and surroundings.
- Signs shall be designed as an integral architectural element of the building and/or overall character of the surrounding environment to which it principally relates.
- The colors, materials, and lighting of signs shall be appropriate with the building and site to which it principally relates.
- The number of graphic elements/lettering of signs shall be kept to the minimum necessary to convey the sign's major message and composed in proportion to the area of the sign face.
- Signs shall be placed on buildings such that they do not obscure major architectural elements such as windows, doorways, pilasters, columns, cornices, etc.
- Signs shall be compatible with signs on adjoining buildings/properties avoiding conflicts of color and size.
- Signs shall be sited to avoid obscuring views of natural or scenic landscape features on or off the site.
- Sign lighting shall be compatible with the street and neighborhood and minimize impacts from glare and light beams to adjoining/surrounding properties.

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All signs must be approved by the appropriate non-agency reviewing group and the City of Sparks. A building permit as outlined in the City Code must be obtained prior to installation.

Signs may be located in the landscape easement, but shall not be located within five-feet (5') of the back face of curb or within the vision triangle, as defined in the City Code.

Residential Project and Neighborhood Entries

The developer of each phase is responsible for the installation of project entry signs. Entry signs are subject to the issuance of a permit, as outlined in the City of Sparks Sign Code. These signs will be used to identify and establish the boundaries and formal entries of the residential project area.

Residential entries are located as determined by the Residential Developer to the approval of the Administrator. Residential entry signage shall be allowed along the interior collector streets at the entry to each village or neighborhood. Such signage shall be limited to a maximum of two signs per entry at no more than two entries per residential neighborhood.

Directional Signs

The developer of each phase is responsible for the installation of exterior directional signs. Directional signs shall be similar to the project entry signage. Maximum freestanding height shall be six (6) feet. Signs shall be internal illuminated or have a ground-mounted light source concealed by planting.

Temporary Development Signs

Temporary development signs may be installed on individual parcels to identify future use and for marketing purposes and must be approved by the appropriate non-agency reviewing group. Temporary development signs, located on or off-premises, advertising the sale of the property within the Tierra del Sol PD shall not exceed a vertical height of eight-feet (8'), a horizontal length of ten-feet (10), or a total sign area of thirty-two (32) square feet.

Final Master Signage Design Plans will be submitted to City staff for its approval prior to recordation of the first final map for Phase 1 and building permits for Phases 2 & 3.

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VII. RESIDENTIAL DESIGN STANDARDS

A. Residential Design Standards

All "Standard Developments", sometimes referred to herein as "Standard Building" (typical detached single family homes developed on customary lot sizes), within the Tierra del Sol PD shall be consistent with the R1-6 Single Family Residential District and City of Sparks standards regarding lot size, site coverage, building height, and setbacks except as outlined in this section. Most neighborhoods will be developed as Standard Developments on single family lots ranging in size from fifty (50) to eighty-five (85) feet in width with depths ranging from one hundred (100) to one hundred and ten (110) feet. These Standard Developments shall utilize the standard setback and street design criteria specified in Table 3 and Table 4.

1. Setback Requirements and Local Road Standards

Front Yard Setback (see Summary in Table 3)

The minimum front yard setback to the residence will be fifteen feet (15') measured from the front property line. In no case shall any portion of the second story of any floor plan be allowed closer than twenty feet (20') from the front property line. The garage shall be set back a minimum of twenty feet (20') from the front property line and the porch may be ten feet (10') from the front property line (see Figure 30). Side-loaded garages may be fifteen feet (15') from the property line (see Figure 31).

Variable Front Yard Setbacks

Where the center line of the street does not vary by more than five feet (5') in two hundred feet (200'); The houses fronting along the street shall be staggered. The front setback or building facades of any two contiguous dwellings shall vary a minimum of two feet (2'). The intent is to avoid the appearance of a solid wall of building fronts, particularly garage doors, along the street frontage.

Rear Yard Setbacks (see Summary in Table 3)

No building may be closer than twenty feet (20') to the rear property line except that accessory buildings may be located up to five feet (5') from the rear yard property line and must be three feet (3') minimum from the main building. Where lots are irregular, as in most cul-de-sac lots, the building setbacks shall be an average twenty feet (20') from the rear property line. No two-story structures will be allowed within twenty feet (20') of the rear property line of any parcel adjacent to the perimeter of the project. Where adjacent to open space, the rear setback for buildings may be reduced to fifteen feet (15'). When abutting major arterial streets, such as Tierra del Sol Parkway, the rear yard setbacks of buildings will be a minimum of twenty-five feet (25').

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FIGURE 30
TYPICAL LOT CONFIGURATION

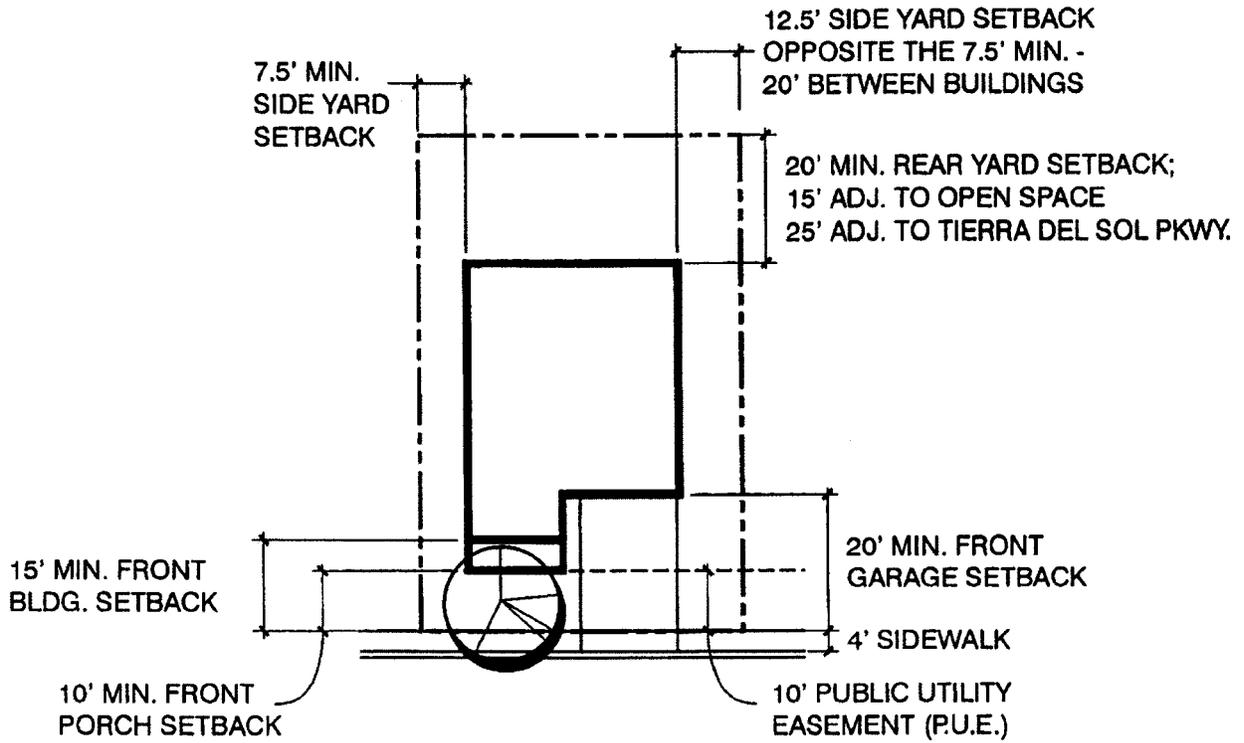
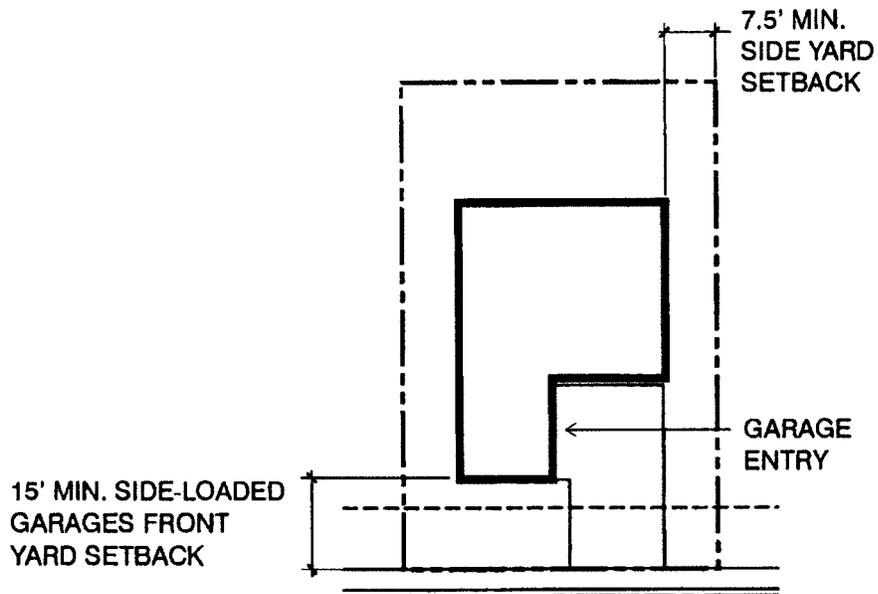


FIGURE 31
SIDE-LOADED GARAGE SETBACK



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Side Yard Setbacks (see Summary in Table 3)

The minimum side yard setback shall be seven and one-half feet (7.5') with an aggregate side yard setback of twenty feet (20').

Architectural Projections

Architectural projections such as roof eaves, fireplaces, box-outs, media niches, porches, etc. are permitted to extend up to two feet (2') into the front, rear and side yard setbacks.

Usable Open Space (see Summary in Table 3)

Minimum usable rear yard open space shall be four hundred (400) square feet for a two-bedroom residence and an additional two hundred (200) square feet for each additional bedroom.

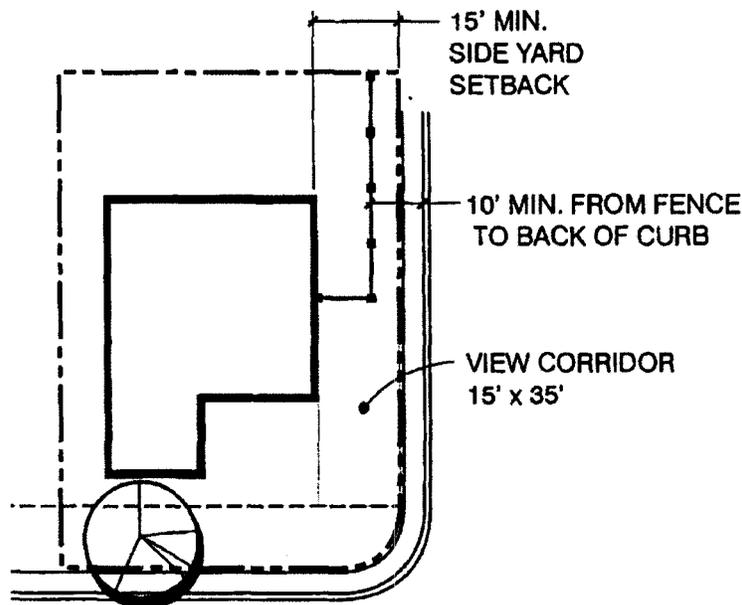
Shade Structures

Shade structures shall have a minimum five-foot (5') setback from any property line and shall not exceed twenty-five percent (25%) of the usable open space. Under no circumstances shall any Shade Structures or portions thereof be permitted within front setbacks.

Corner Lot Side Yard Setback

The minimum side yard adjacent to a street shall be fifteen feet (15') from the property line. Fences may be located ten feet (10') from the back of curb. No structure or fence shall be allowed in the view corridor formed by a rectangle that is fifteen feet (15') wide and thirty-five feet (35') deep measured from the back of curb (see Figure 32).

**FIGURE 32
CORNER LOT SIDE YARD SETBACK**



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**TABLE 4
NEIGHBORHOOD MINIMUM BUILDING SETBACK REQUIREMENTS**

TYPE	FEET	CONDITION
Front Setback	10	To porch
	15	To residence
	20	To garage
	15	To garage side-loaded from street with 20' minimum driveway length from face of garage door (Figure 31)
	20	To upper story of a two story residence where 43' right-of way or narrower streets are utilized.
Rear Set Back	10	At rear corners of single story residences on irregular lot with average 20-foot setback across back yard with square footage equal to standard lot.
	15	Two story residence with irregular lot and average 20' setback with back yard square footage equal to standard lot with 20-foot setback on both sides of the home.
	15	Uncovered second story decks and covered single story decks attached to main structure.
	25	Residences backing onto Tierra del Sol Parkway
Side-Yard Setback	7.5	7.5 7.5' minimum; 20' separation between adjacent main structure
	15	Corner lots where side yard is adjacent to public streets.
Second Story	5	Minimum setback from front of lower story where 49' right-of-way are utilized
Shade Structures	5	Minimum setback from property line, all sides and rear. Not allowed within front yard setbacks
Common Area Equipment	N/A	No minimum setback

2. Garage Width

If the garage front is a single plane aligned with or projecting in front of the living area, the garage width shall not exceed 60% of the total building frontage. If the garage is set back a minimum of five feet (5') behind the front edge of the dwelling, or the facade of the garage is broken in two distinct bays with a minimum 3-foot architectural offset between bays, the garage width shall not exceed 67% of the total front width of the residence.

3. Roll-up Garage Doors

Roll-up doors shall be required on all garages.

4. Covered Porches

Covered porches are recommended on the front or side of dwellings. Porches shall be a minimum of four feet (4') deep and be set back a minimum of ten feet (10') from the back of property line.

B. Plan Conformance

Submitted plans for all developments shall comply with the Uniform Building Codes and all City of Sparks ordinances in effect at the time of building permit issuance.

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The parcel developer shall provide specific plot plans for each individual lot on an 8-1/2 x 11-inch format and a composite of a minimum of ten lots at a time to ensure adequate setbacks between structures. Plot plans and composite drawings are to be submitted and approved by the Planning Department prior to issue of building permits (see Exhibit III "Building Permit Application Checklist").

C. Interior Roadway Design Requirements - Standard Developments

Table 5 (below) and Figures 14 & 15 (see Section IV "General Residential Design Concepts and Street Sections") identify the specific standards established for all interior neighborhood streets throughout the PD.

**TABLE 5
INTERIOR LOCAL STANDARD NEIGHBORHOOD ROADWAY DESIGNS**

TYPE	DIMENSION	CONDITION
Local Standard (see Figure 14 & 15)	55' ROW	Standard local residential street
Cul-de-sacs	49' ROW	Cul-de-sacs with 10 lots or less
	90' ROW	Standard cul-de-sacs, typical all conditions
Sidewalks at Cul-de-sacs	90' ROW	Sidewalks shall be provided on both sides of the street

D. Landscape Design and Installation Requirements

Front Yard Landscaping Requirements

Parcel developers shall be responsible for installation of front yard landscaping on all homes at time of construction. This landscaping shall include turf lawn (maximum 70% coverage), a reasonable abundance of shrubs, and ground cover (minimum of 30% coverage). One 15-gallon street tree shall be provided per residence on standard lots, with two additional 15-gallon street trees at side yard for all corner lots pursuant to Part V.B.2 "Street Tree Concept" elsewhere in these guidelines. Plant materials shall be appropriate to climatic conditions of the Sparks area and selected based upon recommendations of a horticultural soils suitability test and report pursuant to Part V.C.1 "Plant Selection" elsewhere in these guidelines. Additionally, all front yard landscaping shall include an irrigation system designed to conserve water. Front yard landscape and irrigation plans must be submitted to Serena Springs HOA for approval prior to application to the City of Sparks for building permits.

**TABLE 6
FRONT YARD MINIMUM LANDSCAPING REQUIREMENTS**

PLANT MATERIALS	QUANTITY	PLANT SIZE	CALIPER SIZE (min)
Turf lawn	70% maximum cover	Sod	N/A
Shrubs	12	5 gallon	N/A
Ground cover or additional shrubs	30% minimum coverage	5 gallon	N/A
Street trees for standard lot	1	15 gallon	1 ½"
Street trees for corner lots	3	15 gallon	1 ½"

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Other Landscaping Requirements

In addition to front yard landscaping, each parcel developer shall be required to install landscaping, including irrigation and drainage, at the entrance of their respective neighborhood(s) and within all open space in their parcel. The SSHOA shall assume maintenance responsibility for all neighborhood entry and open space landscaping following completion of installation, inspection, and approval by the City of Sparks, and expiration of the 1 year (minimum) contractor's guarantee period related to said improvements.

SSHOA retains the option to design and/or install any portion or all of the common area landscaping that will be maintained by the SSHOA. If the SSHOA exercises this option on behalf of the parcel developer, that parcel developer shall be required to reimburse SSHOA for all costs associated with such design and/or installation.

SSHOA shall retain responsibility to ensure landscaping for neighborhood entrances and open space areas are consistent with the intent and material requirements of the Design Guidelines throughout the PD. Serena Springs HOA shall review and approve all landscaping and irrigation plans by the Master or parcel developer prior to submittal to the City of Sparks.

E. Fencing Design and Installation Requirements

Residential Fencing

At the time of home construction, all parcel developers shall be required to install fencing enclosing the entire back yard for each residence. All fencing abutting or seen from the local streets and/or open space shall conform to a pre-defined design uniform throughout the PD, including open-style fencing. All fence design standards and requirements shall be pursuant to Part VI, "General Fencing, Lighting, and Signage Design" of this document.

All parcel developers will be responsible for installing the perimeter fencing surrounding their respective village. When one parcel developer's neighborhood boundary is contiguous with the back property line of residential lots within a neighborhood of another parcel developer (therefore, not seen by the public), the parcel developers of each contiguous neighborhood shall be responsible for coordinating installation of a wood fence acceptable to both parcel developers. Should a dispute arise between parcel developers with respect to the design and/or cost of such fencing, SSHOA shall dictate the fencing to be utilized.

Common Area Fencing

SSHOA shall retain the option to install all or part of common area fencing visible to the public. In the event SSHOA elects to install such common area fencing on behalf of a parcel developer that parcel developer will be required to reimburse SSHOA for the cost of such installation.

SSHOA shall retain responsibility to ensure all fencing is consistent with the intent and material requirements of the Design Guidelines throughout the PD. All fence design standards and requirements shall be pursuant to Part VI, "General Fencing, Lighting, and Signage Design" elsewhere in these guidelines. SSHOA shall review and approve all fence permits prior to submittal to the City.

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F. Residential Architectural Design Standards

Roofing Materials

All homes within the PD shall be constructed with concrete tile, slate or other "tile-like" roofing materials. No asphalt style shingle roofing materials will be used within the PD without the prior written approval of SSHOA and the Administrator.

Exterior Siding Materials

All homes within the PD will be constructed with high quality siding materials. Stucco, masonite, shiplap wood siding, rock, stone accents, bulminite accents and brick are all acceptable siding materials. T-111 or other plywood style sidings are not acceptable. Serena Springs HOA shall maintain an acceptable sidings material list that may change from time to time at the discretion of SSHOA and the Administrator. Any variance from the established siding materials list must be approved in writing by SSHOA and the Administrator.

Architectural Design Review and Approval

To maintain the quality and integrity of the PD design concepts, SSHOA has established a requirement that all parcel developers submit plans and elevations of their proposed residential architecture to the HOA Architectural Review Committee (initially SSHOA). Each parcel developer not associated with SSHOA will be required to submit the following for architectural review: (1) residential floor plans; (2) elevations (front, side, and rear); (3) exterior siding materials list and color palette; (4) fencing plans; (5) front yard landscape plans or illustrations; and (6) common area landscaping plans within the parcel developer's neighborhood. Where a parcel developer plans to develop a neighborhood in phases or blocks of homes, a plot plan showing the street view of the housing masses designed for their respective neighborhood must also be submitted for architectural review.

Unless otherwise agreed, the Architectural Review Committee (initially SSHOA) shall have up to 15 working days to approve the design of residential homes or to notify the parcel developer of any deficiencies in its submission or design. The 15-day review period shall commence upon full submission of the required architectural package by the parcel developer to the Architectural Review Committee (or SSHOA). The Architectural Review Committee shall issue all approvals or notification of deficiencies in design or submittal in writing.

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VIII. COMMERCIAL

A. Commercial Design Goal

The primary goal is to create a distinctive, high quality commercial center that holds the potential to seamlessly integrate with the planned, adjacent Stonebrook General Commercial area, to the north and east of the Tierra del Sol Commercial site.

Uses and Restrictions

The use of land, buildings and structures in the Commercial area of the Tierra del Sol PD shall be subject to this section of the PD Handbook. No uses are allowed in this district except those specifically listed below whether by-right, site plan review, special use permit or under S.M.C. Any uses or standards that are silent in this section shall refer to S.M.C. C2 zoning ordinance.

Allowed Uses

All new construction (structures) shall require a site plan review unless a special use permit is required

- Uses permitted by-right so long as the operation is conducted wholly within a building are as follows:
 - Neighborhood convenience shopping
 - Shopping facilities
 - Offices and clinics (medical, dental, veterinary)
 - Retail and wholesale stores
 - Personal service shops conducted wholly within a building
 - Financial Institutions including automated tellers
 - Entertainment facilities, based on under 20,000 sq. ft.
 - restaurants,
 - Bars
 - Health clubs less than 3,000 sq. ft.
 - Drive-through businesses that do not exceed 17 hours of operation in any 24 hour period
 - Uses permitted in compliance with S.M.C. 20.41 (Permits Required for Certain Uses)
 - Public utility structures under 6 feet in above ground height,
- Uses requiring a special use permit are as follows:
 - Multi-family residential dwellings (must conform to the requirements of the R4 district)
 - Public utility structures with 6 feet or greater above ground height
 - Drive-through businesses that exceed 17 hours of operation in any 24 hour period
 - Automotive service stations and repair shops
 - Outdoor sales and service operations
 - Mini-warehouses
 - Entertainment facilities, based on over 20,000 sq. ft.
 - Health clubs over 3,000 sq. ft.
 - Child care facilities requiring more than one care giver
 - Schools

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B. Implementation of Commercial Development Standards and Guidelines

All building proposals for development will be reviewed by the Wingfield Nevada ACC to ensure these policies and standards are enforced in a manner that encourages creative design and considers specific site conditions. Each project shall be required to submit specific plans following these standards, and as defined in future Covenants, Conditions and Restrictions (CC&R's) to be recorded prior to finalizing any lease or sales to end users. Wingfield Nevada ACC shall utilize a checklist to review conformance with these guidelines and standards. Successful completion of the required items of the checklist will allow for the certification of the submitted plans (with or without conditional items) through a certification stamp on one copy of the plans by Wingfield Nevada ACC or its designated representative(s). The City of Sparks will not approve plans lacking the required checklist approval/certification.

1. City of Sparks Site Plan Review Process

After review and certification by Wingfield Nevada ACC, the City of Sparks shall review and approve the proposed development of the Commercial Parcel through either its site plan review or special use permit process (as defined per the various allowed uses under "A" of this section) using the following permitted uses and design standards.

2. Lot and Height Requirements

**TABLE 7
COMMERCIAL LOT AND HEIGHT REQUIREMENTS**

Minimum Building Site Area (Interior Lots)	6,000 SF
Minimum Building Site Area (Corner Lots)	7,000 SF
Maximum coverage of site by structures	50%
Minimum lot width (interior lots)	N/A
Minimum lot width (corner lots)	N/A
Minimum lot frontage	N/A – interior parcels within the Commercial area may not have any "street frontage"
Maximum building height*	60 feet maximum

*Note: * - Building height is to be measured from the finish floor elevation of the ground floor to the highest part of the roof element of the building.*

3. Setback Requirements

**TABLE 8
COMMERCIAL SETBACK REQUIREMENTS
(All setbacks are from the exterior site boundary, except for Interior Setback)**

TYPE	FEET	CONDITION
Front Setback	20	To building
	10	To Parking Lot Improvements
	50	Pyramid Highway -- To any Parking Lot or Building Improvement Along Pyramid Highway (from right-of-way)
Rear Setback	20	
Side-Yard Setback	10	
Interior Setback	0	

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4. Landscaping

In addition to concepts and standards specific to the Commercial designation area presented in this section, commercial landscape design shall incorporate the general principles and techniques discussed in Section V, "General Landscape Standards of this document. Conformance with these landscape architectural principles shall be determined as each site plan is reviewed and approved by Wingfield Nevada ACC. Subsequently, Wingfield Nevada ACC shall certify through provision of a certification stamp and possible conditions to the approval to the City of Sparks that the proposed commercial development adheres to all landscape standards and guidelines set forth herein.

General Commercial Landscape Design Criteria

- Minimum landscape area required - 20% of the development site, not inclusive of areas to be dedicated for public rights-of-way.
- All areas where this design criteria is silent shall defer to S.M.C. and Design Standards Manual.
- Drought tolerant plant materials and turf shall be utilized. All landscaping shall be irrigated with permanent, automatic underground irrigation systems pursuant to standards. Drip irrigation and related water saving technologies shall be utilized where practical.
- Hardscape or Non-living material may not be used for more than 10% of the total landscape area and may include public plazas and pedestrian ways of 10 feet or greater in width. Allowed materials in hardscape areas include but are not limited to pavers, stamped/scored or colored concrete, etc.

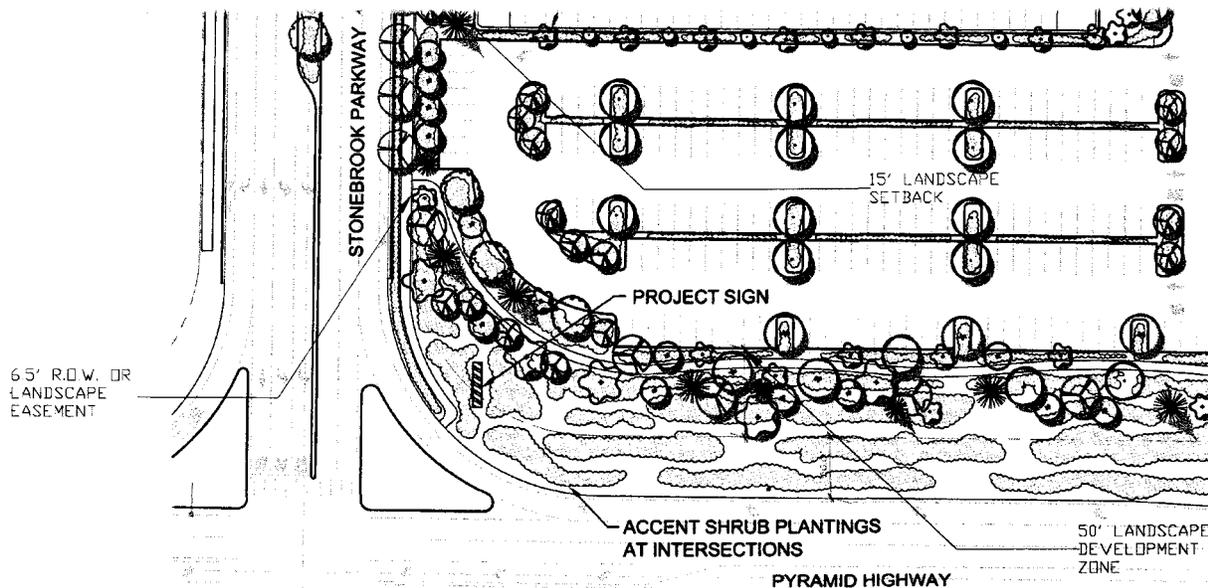
**TABLE 9
COMMERCIAL PLANTING REQUIREMENTS**

PLANT MATERIALS	QUANTITY/REQUIREMENT	MINIMUM PLANT SIZE	CALIPER SIZE or HEIGHT (min)
Trees	1/300 SF of Required Landscape Area, Plus one (1) tree per every 10 required parking spaces	—	—
Evergreen Trees	25% Min.	N/A	50% - 6 feet 50% - 8 feet
Deciduous Trees	75% Max.	N/A	50% - 2 inch 50% - 3 inch
Shrubs	6 per required tree	5 gallon	N/A
Groundcover	Per SMC		
Turf lawn	20% maximum cover	Sod	N/A

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FIGURE 33
LANDSCAPE DEVELOPMENT AT RIGHTS-OF-WAY



Landscape Development Adjacent to Rights-of-Way, Specifics

Screening elements such as undulating berms, low shrubbery and hedges, or low fencing shall be kept to a maximum height of three and one-half feet (3-1/2') above the top of curb elevation at the parking lot edge nearest the roadway. This height allows views into the site while hiding car grills and large expanses of pavement. Use of large shrubs and low-growing ground covers shall be kept to a minimum to preserve the viewing zone between ground plane treatments and the tree canopy. More extensive use of medium and large sized shrubs should occur at the ends of road frontages as a transition to landscapes on adjacent, non-commercial parcels. Tree canopies shall be kept to a minimum of ten feet (10') above the ground plane to permit views underneath from the roadway. This precludes the extensive use of evergreen conifer trees adjacent to rights-of-way because these species tend to keep lower branches for long periods. As pruning the lower branches of young trees inhibits proper development of trunk caliper, resulting in weaker, less attractive trees prone to wind damage, these species would require much more maintenance. Informal massing of trees with large gaps in between masses, rather than linear or orchard style plantings, are encouraged to help preserve view corridors into the site.

Side and Rear Yard Planting Specifics

All side and rear yards not utilized for parking or storage shall be landscaped. A minimum ten-foot (10') landscape buffer shall be placed on all exterior property lines with a minimum of one tree for every 300 square feet. Grouping of trees shall be required. A six-foot (6') high solid masonry-screening wall shall be placed along the property lines bordering residential land use, open space, and street frontages without commercial visibility requirements (conditions such as service areas and rear building facades facing the street). Where this landscape/wall type buffer is adjacent to parking bays resulting in vehicle overhang, the landscape strip shall remain ten feet (10') wide with trees planted a

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minimum five feet (5') from back of curb. When a landscape/wall buffer is not impacted by vehicle overhang, the landscape strip may be reduced to five feet (5') with trees a minimum of three feet (3') from back of curb.

Parking Lot Planting Specifics

Parking Lot Landscaping will be constructed per S.M.C. and the Sparks D.S.M. Tree species preferred in parking lots shall have a pyramidal or upright form and open canopy to preserve visibility to storefronts beyond.

5. Architecture

All buildings must incorporate an architectural theme or identity in a manner that is complementary and compatible with the surrounding area. To enhance the development and maintain the character of the valley, buildings and structures shall adhere to the following standards and guidelines.

All areas where this design criteria is silent shall defer to S.M.C. and Design Standards Manual.

Façades and Exterior Walls

Façades shall be articulated to provide visual interest consistent with the community's identity and character. Articulated façades provide a more human scale by reducing the massive scale and uniform, impersonal appearance of large retail buildings.

Façades greater than fifty feet (50') in length, measured horizontally, shall incorporate wall plane projections or recesses having a depth of at least 5% of the length of the façade and extending at least twenty percent (20%) of the length of the façade. No uninterrupted length of any façade shall exceed fifty feet (50').

Ground floor façades facing public streets shall have arcades, display windows, entry areas, awnings, or other such features along no less than sixty percent (60%) of their horizontal length. These features shall not advertise the business, but may, in the case of display windows, show the goods for sale. Colors of these features shall accent, not contrast with, the colors of the associated structure.

Detail Features

Buildings shall have architectural features and patterns that provide visual interest, reduce perceived building mass, and recognize local character. Elements in the following standard shall be integral parts of the building design, not superficially applied trim, graphics, or paint.

Building façades shall include a repeating pattern that includes no less than three of the elements listed below. At least one of the chosen elements shall repeat horizontally. All elements shall repeat at intervals of no more than thirty (30') feet, either horizontally or vertically. Ultimate acceptance of the chosen treatments and their use in the design shall be to the determination of Wingfield Nevada ACC and the Administrator through the special use permit or site plan review process.

- Color change
- Texture change
- Material change
- Module change (size and scale of building changes)
- Relief change (Min 2')

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Architectural or structural bays shall be expressed through a change in material, form, or alignment no less than twenty-four inches (24") in width, such as an offset reveal or projecting rib.

Roofs

Variations in rooflines shall be used to add architectural interest and reduce the scale of large buildings. The vertical element/feature of the roofs shall be dominant over the horizontal element/feature of the roofs to approval of the Wingfield Nevada ACC and the Administrator. Roof features shall complement the character of the adjoining commercial project (Stonebrook Commercial).

Roofs shall have the following features: Parapets concealing flat roofs and rooftop equipment such as HVAC units from public view. The average height of such parapets shall not exceed 15% of the height of the supporting wall and such parapets shall not at any point exceed one-third of the height of the supporting wall. Such parapets shall feature three dimensional cornice treatments. Overhanging eaves extending no less than three feet (3') past the supporting walls.

Sloping roofs shall not exceed the average height of supporting walls, with an average slope greater than or equal to one foot (1') of vertical rise for every three feet (3') of horizontal run and less than or equal to one foot (1') of vertical rise for every one foot (1') of horizontal run.

One of the following material treatments shall be used for any pitched roof or accent other than flat roofs:

- Clay tile
- Concrete tile
- Standing-seam metal roofing
- 40 Yr. composition shingles

Materials and Colors

Exterior building materials and colors shall be chosen at the time of site plan review or special use permit design review. The intent is that the exterior treatments chosen will provide a aesthetic positive to the area, and needn't match the specific design thematic of the Resort property, to the south.

A minimum of three, but not more than four, of the following accent materials shall be used for building structures:

- Block or Brick
- Glass/glazing
- Masonry
- Rock or cultured stone
- Stucco (EIFS)
- Precast Concrete Panels
- Textured or reveal panel tilt up concrete
- Heavy timbers
- Wood

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Colors for all building materials shall be in pastels or earth tones. Accent colors shall be applied to trim, fascias, awnings, door panels and miscellaneous metals. Façade colors shall be low reflectance, subtle, neutral or earth tone colors. Building trim and accent areas may feature brighter colors, including primary colors to the approval of the Wingfield Nevada ACC. Neon tubing shall not be an acceptable feature for building trim or accent areas. The use of high intensity colors, metallic colors, black or fluorescent colors is also prohibited.

All reflective metal fixtures such as chimneystacks, flashing, exhaust vents, and pipes, must be painted to match or blend with surrounding materials.

Entryways

The following standards identify desirable entryway design features.

Each building containing an anchor tenant on a site shall have clearly, highly visible customer entrances featuring no less than three of the following:

- Canopies or porticos
- Awnings/Overhangs
- Recesses/projections
- Arcades
- Raised corniced parapets over the door
- Peaked roof forms
- Arches
- Outdoor Patios
- Decorative exterior wall, door or window treatments (i.e. precast concrete moldings, rille, granite, brick, rock or cultured stone, etc.)
- Integral planters or wing walls that incorporate landscaped areas and/or places for sitting

Where a building is provided without an anchor tenant (such as a small bank of shops) disconnected to an anchor tenant building the building shall incorporate architectural treatments using colors, materials and/or textures similar to those chosen for the anchor tenant entries to thematically tie these builds into the anchor tenant buildings. Entry elements in this example shall be proportional, relative to the anchor tenant treatment.

Where additional stores are located, each such store shall have at least one exterior customer entrance conforming to the above requirements

Back and Side Façades

- Similar horizontal and vertical treatments, recesses and projections in building fronts shall be continued on all side and rear building treatments. The primary color, material and texture changes shall be continued, but may be limited to ½ the frequency of use from the front of the building.
- Major projections such as canopies at entries need not be perpetuated on side and rear treatments.
- The following photo example presents a qualitative treatment that is desired within the Tierra del Sol PD. It should be understood that the specific treatments, colors and textures shown in this qualitative photo example are not foreseen to be the architectural treatment incorporated within this development.

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- The minimum setback for any building façade shall be twenty feet (10') from the nearest property line, except when adjacent to residential properties. Where the façade faces residential property, an earthen berm no less than four feet (4') in height, containing evergreen trees planted at intervals of twenty feet (20') on center or in groves shall be provided.

6. Antennas

Satellite discs shall be screened from view from any adjacent parcel, street, or open space.

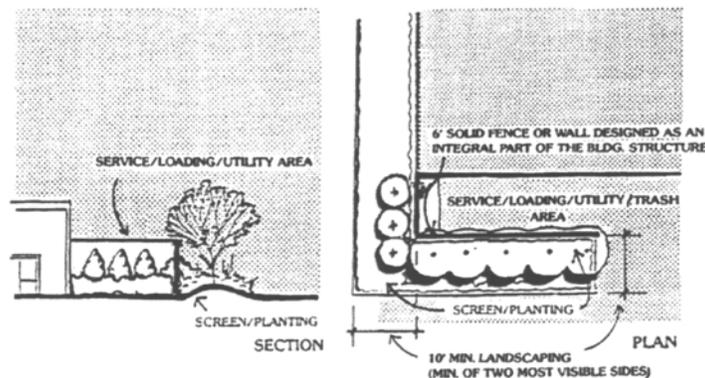
7. Service and Loading Areas

Service and loading areas shall be screened, recessed or enclosed so as to conceal the view of these areas from adjacent properties or public rights-of-way. Landscape screening shall be provided with a fifteen foot (15') on center spacing and shall be comprised of evergreens with an eight foot (8') minimum in height at time of planting.

- The most desired locations for service and loading areas include areas between buildings, where more than one building is located on a site and such buildings are not more than 40-feet apart, or on the sides of buildings that do not have customer entrances. It is understood that this may not be attainable in every case, as such service and loading areas may be located at the rear of the building adjacent to the commercial property edge so long as the screening requirements of this section are met.
- No areas for trash collection or compaction, loading, or other such uses shall be located within twenty feet (20') of any public street, public sidewalk, or internal pedestrian way.

Service functions such as loading docks, truck parking, outdoor storage, utility meters, HVAC equipment, trash collection, trash compaction, and related facilities shall be screened from view from adjacent parcels, streets, and open space. Screening elements shall be incorporated into the overall design of buildings and landscaping by incorporating similar architectural features. No attention shall be attracted to service functions by use of screening materials that are different from or inferior to the principal materials of the building and landscape. Anti-graffiti measures shall also be utilized. See Figures 34 and 35 for illustrations of these standards.

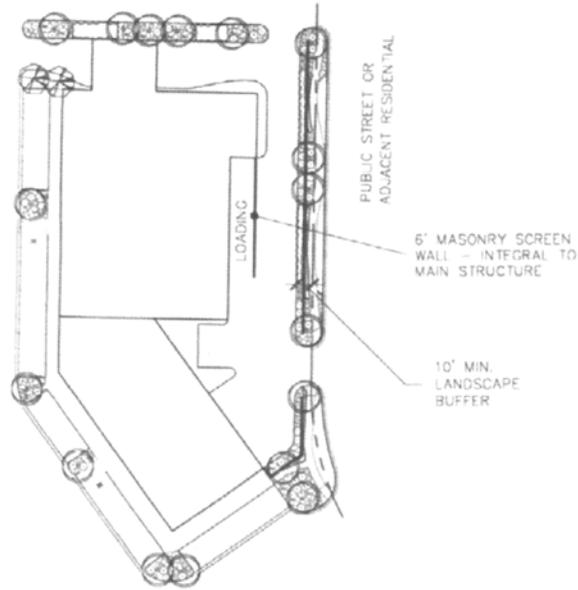
FIGURE 34
SERVICE/UTILITY/LOADING TRASH SCREENING AREA



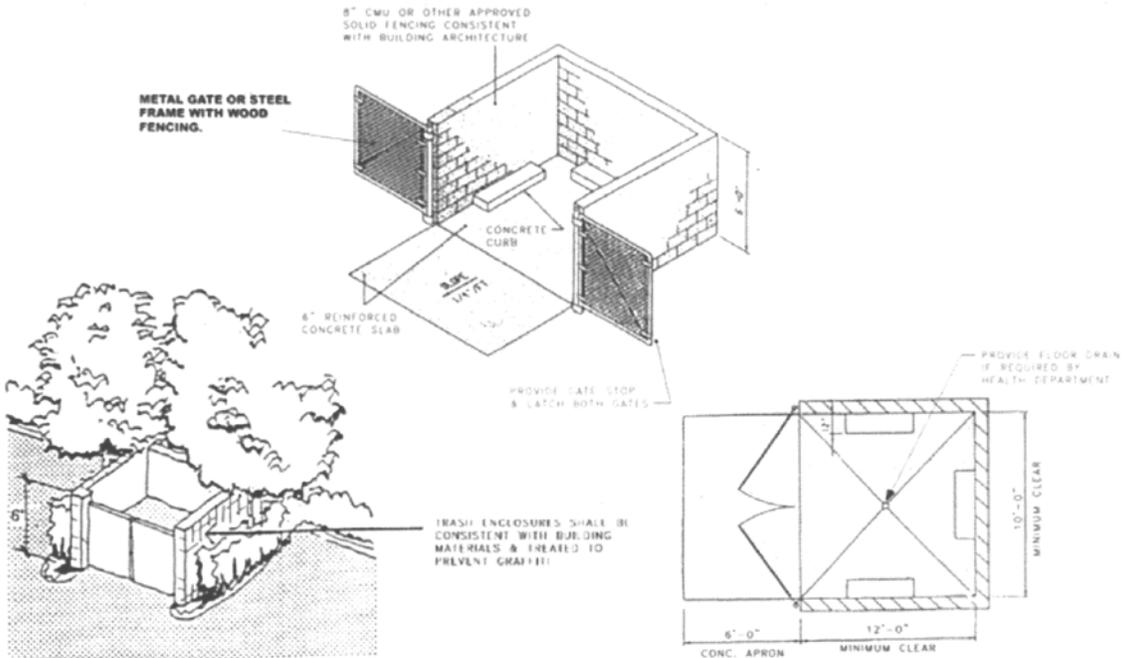
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**FIGURE 35
SCREENING OF SERVICE & LOADING AREAS**



**FIGURE 36
TRASH ENCLOSURE SCREENING**



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- Figure 36 depict a typical/standard trash enclosure. However other enclosures types incorporating trash compactors or other size dumpsters are allowed to the approval of the Administrator.
- Areas designated for the storage and sale of seasonal inventory shall be permanently defined and screened (80%) with walls and/or fences. Materials, colors, and design of screening walls and/or fences and the cover shall conform to those used as predominant materials and colors on the building. If such areas are to be covered, the covering shall conform to predominant materials and colors on the building.
- Ground level HVAC equipment, utility connections, meter boxes, and similar elements shall be screened from view and located at the rear or side of buildings. These elements and/or their associated screening shall be integrated into the architectural design by using similar materials and colors or shall be screened using landscaping. The location of these elements, including pad-mounted transformers, shall be coordinated with the utility company early in the site design process.
- All air conditioning units, ventilating and mechanical equipment, and communications equipment, whether situated on the ground or on the roof of the building, shall be screened or enclosed with materials to integrate with the building design.

8. Delivery and Loading Operations

- No delivery, loading, trash removal or compaction, snow removal, or other such operations shall be permitted between the hours of 10:00 p.m. and 7:00 a.m.

9. Pedestrian Circulation

Primary and secondary walkways shall be designed indicating a relationship with street access, trail access, parking areas, structures, and adjacent uses. Walkways and bikeways located in landscaped setbacks shall provide access separate from vehicular access. All pedestrian ways shall be designed with public safety in mind.

This section sets forth standards for public sidewalks and internal pedestrian circulation systems that provide direct access as well as pedestrian safety, shelter, and convenience within the center grounds.

- Sidewalks at least five feet (5') in width shall be provided along all sides of the lot that abut a public street.
- Pedestrian linkages from the public rights-of-way to the pedestrian walkways along buildings shall be provided in a minimum five (5) foot sidewalk, where practical and crosswalk striping, pavement variations or other treatment to define and delineate pedestrian routes through parking lot areas.
- Sidewalks, not less than eight feet (8') in width, shall be provided along the entire length of any building façade featuring a customer entrance or abutting public parking areas. Such sidewalks shall be located at least six feet (6') from the back of parking lot/aisle curbs to provide planting beds for landscaping, except where features such as arcades or entryways are part of the façade. Internal pedestrian walkways provided in conformance with this standard shall provide weather

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protection features such as awnings or arcades extending thirty feet (30') from all customer entrances.

- To enhance pedestrian safety and comfort, as well as improve project appearance, all internal pedestrian walkways shall be distinguished from driving surfaces by use of durable, low maintenance materials such as pavers, colored and/or scored concrete.

10. Parking

- Parking shall be provided on-site and in accordance with Chapter 20.49 the S.M.C.

11. Central Features and Community Spaces

- Site design shall include at least one (1) Central/pedestrian scale feature, space, or amenity.
- The Central/pedestrian scale feature shall include at least three (3) of the following: seating areas, shade structure(s), trees (landscaping) and a water feature.
- Entrances and parking lots shall be configured to be functional and inviting with walkways conveniently tied to logical destinations.
- Pedestrian ways shall be anchored by special design features such as towers arcades, porticos, pedestrian light fixtures, bollards, planter walls, and other architectural elements that define circulation ways and outdoor spaces. Examples of outdoor spaces are plazas, patios, courtyards, and window shopping areas.

The features and spaces shall enhance the building and the center as integral parts of the community fabric. These areas may count toward the landscape provided as "hardscape" - up to 10% of the total landscape area required.

Retail establishments subject to these standards shall contribute to establishment or enhancement of public spaces that, in the judgment of the Administrator, adequately provide for public spaces within the project. This requirement shall be satisfied by providing at least two of the following: patio/seating area, pedestrian plaza with benches, transportation center, window shopping walkways, outdoor playground areas, kiosks, water features, clock tower, or other such focal elements or amenities. Such areas/features shall have direct access to the public sidewalk network and be constructed of materials that conform to the architectural style and utilize predominant materials and colors of the buildings and landscape.

12. Signage

Prior to issuance of any sign permit, a completed checklist and certification of compliance from the Tierra del Sol Owners shall be submitted to the City of Sparks. All signage shall conform to the following design standards. For items where this section is silent, S.M.C. conforming to C2 zoning shall provide the design control.

General

- The proportion of letter area to the overall sign shall not exceed 75% of the sign panel.

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- Signage shall be included on facades of buildings. Internally illuminated and “can” or cabinet type signs are prohibited. No “can” signs in building. Flashing, animated computer controlled variable message signs shall be prohibited.
- The use of hanging signage shall be limited to locations above covered walkways. Hanging signage shall be visible only from such walkways, not incorporated into the building frontage, and not included in the calculation of total number of signs if perpendicular to building and less than 6 square feet. It shall be counted towards the maximum sign area calculations.
- Projecting signs are prohibited, unless incorporated as an architectural element.
- Signs which advertise the occupying business through the use of graphic or crafted symbols such as shoes, keys, glasses, books, etc. are permitted and encouraged.

Freestanding Signs

- Freestanding signs can reach a maximum height of thirty feet (30'). These signs are attached directly to the ground or are supported by a sign structure that is placed on or anchored in the ground and is independent from any building or other structure. Pylon and pole signs shall be prohibited.
- A freestanding or monument sign will identify no more than five tenants.
- A minimum of 5% of the signage area shall be dedicated to the identification of the street. Multi-store developments shall display the range of store addresses for that development on their sign.
- Freestanding signs shall be placed perpendicular to the street and shall meet the minimum setback for safe siting standards for safe sight distance policies per S.M.C.
- Solid architectural sign bases are required and shall incorporate a base which is a minimum of twelve inches (12”) high. The material(s) shall match the architectural character and elements of the commercial development it serves. Each sign shall incorporate sides or flanking pilasters which have a minimum dimension of twelve inches (12”) by twelve inches (12”) and shall extend at least to the top of the sign panel.
- Each monument sign shall be surrounded by a landscaped planter which extends a minimum of two feet (2') in all directions beyond the base of the sign.
- The center shall be allowed two area identification signs to include up to a maximum of five tenant signage. The signage copy or display unit shall not exceed one hundred and fifty (150') square feet on each side,
- Area signs may be placed in the setback area, but must be located per the safe siting standards in S.M.C.

Wall Signs

- There is allowed a maximum of 2 wall signs per business frontage, and the area(s) of the sign(s) will be calculated, per the S.M.C.
- The address of each building or store is required to be identified using six inch (6”) tall numbers over the main entry door, or place within ten feet (10') of the main entry.
- Sign colors and materials shall be compatible with all other signs on that building, and all freestanding signs on that parcel.
- No wall sign shall be allowed above the bottom of the second floor window line (if applicable), or to the fascia board below the eave line. Signs, or any part thereof, placed above the eave line or parapet shall be considered rooftop signs, and are prohibited.

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Awning Signs

- Internal or back-lit illumination is not permitted.
- Sign text copy is limited to the valence of the awning itself and letter height shall not exceed ten inches (10").

13. Exterior Lighting

- Exterior lights shall not blink, flash or change intensity. Reflective or luminescent wall surfaces are prohibited.
- All area lighting, including parking lots, walkways, plaza/staging areas, and building lights shall be directed downward with no splay of lighting directed off-site. Any light source over ten feet (10') high shall incorporate "cut-off luminaries" with glare shields to prevent direct visibility of the light source from areas beyond the property line. Illumination of any building or surrounding landscape utilizing exterior light fixtures that project light off-site shall be prohibited.
- Overall lighting levels shall be compatible with ambient neighborhood levels and color shall be uniform throughout the development.
- Soft, indirect lighting such as wall lighting and bollards softly illuminating walkways or sidewalks, adjacent shall be employed where feasible.
- Night lighting of building exteriors shall be done in a selective fashion to highlight special features, keynote patterns or rhythmic elements, or shall use the play of light and shadow to articulate the façade. The purpose of illuminating the building shall be to add visual interest and support building identification. Refer to Figures 27 - 29 in Part VI, "General Fencing, Lighting and Signage Design" for illustrations of these standards.

14. Construction, Operation and Maintenance

- The entire site shall be maintained under authority of a Common Area Agreement included in the CC&R's as an irrevocable covenant for the life of the project. A single contact person responsible for common area maintenance shall be identified to the City of Sparks Planning and Community and Development Departments at all times. All common area, paving, building signage, structures, landscaping, walls and lighting shall be maintained in good repair at all times.
- The CC&R's shall designate the party responsible for all grease traps, which shall be approved by the industrial waste division.
- Shopping cart enclosures shall be subject to approval by the City of Sparks during site plan review or special use permit. As a requirement of common area maintenance, commercial centers shall be responsible for keeping shopping carts on-site subject to City ordinances. The center shall provide for prompt retrieval of carts taken off-site.
- All construction and construction-related activities shall be limited to the hours of 7 a.m. to 7 p.m., Monday through Friday and 9 a.m. to 5 p.m. on Saturday. No work shall be performed on Sundays. An exception shall be allowed for large concrete pours (10,000 s.f. or larger) that shall be authorized by the City of Sparks prior to commencement of work.
- Deliveries to the site and noise-generating maintenance such as parking lot sweeping, snow removal and trash service shall be limited to 7 a.m. to 10 p.m. No truck idling shall be permitted on-site outside of these hours.

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15. Miscellaneous

- Current technology shall be considered in all construction material selections to accomplish maximum energy efficiencies and ease of maintenance.
- Except for main area feeder lines, all utilities 25 kV and under shall be placed underground.
- Temporary structures, including, but not limited to, trailers, mobile homes and other structures not affixed to the ground are permitted only during construction of a permanent building. These shall be installed at the start of construction and removed promptly upon completion of the permanent building. Such structures shall be as inconspicuous as possible and present no inconvenience to the general public and shall comply with S.M.C.

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IX. RESORT

A. Resort Design Goal

The Resort designated area is to consist of a multi-use complex that provides a variety of commercial and service facilities for both tourists and residents. The center is focused around limited scale gaming and hotel facilities. The complex will also include entertainment and recreation retail uses such as a movie theater, interactive arcade and/or restaurants. Out parcels may include commercial / service uses and a public building.

Uses and Restrictions

The use of land, buildings and structures in the Commercial area of the Tierra del Sol PD shall be subject to this section of the PD Handbook. No uses are allowed in this district except those specifically listed below whether by-right, site plan review, special use permit or under S.M.C.

Allowed Uses

All new construction (structures) shall require a site plan review unless a special use permit is required

- Uses permitted by-right so long as the operation is conducted wholly within a building are as follows:
 - Neighborhood convenience shopping
 - Shopping facilities
 - Retail and wholesale stores
 - Personal service shops conducted wholly within a building
 - Financial institution with automated teller
 - Accessory uses
 - Entertainment facilities
 - Restaurants
 - Hotels and motels
 - Automotive service station
 - Bars
 - Health clubs less than 3,000 sq. ft.
 - Drive-through businesses that do not exceed 17 hours of operation in any 24 hour period. And compliant with Sparks Municipal Code 20.41 (Permits Required for Certain Uses)
 - Uses permitted in compliance with S.M.C. 20.41(Permits Required for Certain Uses)
 - Public utility structures under 6 feet in above ground height,
 - Non-restricted gaming (Maximum 18,000 s.f. gaming floor area)
- Uses requiring a special use permit are as follows:
 - Multi-family residential dwellings (must conform to the requirements of the R4 district in SMC)
 - Public utility structures with 6 feet or greater above ground height
 - Drive-through businesses that exceed 17 hours of operation in any 24 hour period
 - Private sports and recreation facilities
 - Health clubs over 3,000 sq. ft.

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- o Child care facilities requiring more than one care giver

B. Implementation of Resort Development Standards and Guidelines

All building proposals for development will be reviewed by the Wingfield Nevada ACC to ensure these policies and standards are enforced in a manner that encourages creative design and considers specific site conditions. Each project shall be required to submit specific plans following these standards, and as defined in future Covenants, Conditions and Restrictions (CC&R's) to be recorded prior to finalizing any lease or sales to end users. Wingfield Nevada ACC shall utilize a checklist to review conformance with these guidelines and standards. Successful completion of the required items of the checklist will allow for the certification of the submitted plans (with or without conditional items) through a certification stamp on one copy of the plans by Wingfield Nevada ACC or its designated representative(s). The City of Sparks will not approve plans lacking the required checklist approval/certification.

1. City of Sparks Site Plan Review Process

After review and certification by Wingfield Nevada ACC, the City of Sparks shall review and approve the proposed development of the Resort Parcel through either its site plan review or special use permit process (as defined per the various allowed uses under portion A of this section) using the following permitted uses and design standards.

2. Lot and Height Requirements

**TABLE 10
RESORT LOT AND HEIGHT REQUIREMENTS**

Minimum Building Site Area (Interior Lots)	6,000 SF
Minimum Building Site Area (Corner Lots)	7,000 SF
Maximum coverage of lot by structures	60%
Minimum lot width (interior lots)	N/A
Minimum lot width (corner lots)	N/A
Minimum lot frontage	N/A – interior parcels within the Resort area may not have any “street frontage”
Maximum building height	90 foot maximum to the tallest architectural element(s)

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3. Setback Requirements

TABLE 11
RESORT SETBACK REQUIREMENTS
(All setbacks are from the exterior site boundary)

TYPE	FEET	CONDITION
Front Setback	15	To building from Tierra del Sol Parkway or Stonebrook Parkway
	10	To Parking Lot Improvements from Tierra del Sol Parkway
	50	Pyramid Highway -- To any Parking Lot or Building Improvement Along Pyramid Highway (from right-of-way)
Rear Set Back	10	Standard building setback
Side-Yard Setback	10	Standard building setback
Interior Setback	0	

4. Landscaping

In addition to concepts and standards specific to the Resort designation area presented in this section, Resort landscape design shall incorporate the general principles and techniques discussed in Section V, "General Landscape Standards" of this document. Conformance with these landscape architectural principles shall be determined as each site plan is reviewed and approved by Wingfield Nevada ACC. Subsequently, the Wingfield Nevada ACC shall certify through provision of a certification stamp and possible conditions to the approval to the City of Sparks that the proposed Resort development adheres to all landscape standards and guidelines set forth herein.

General Resort Landscape Design Criteria

- Minimum landscape area required - 20% of the development site, not inclusive of areas to be dedicated for public rights-of-way.
- All areas where this design criteria is silent shall defer to S.M.C. and Design Standards Manual.
- Drought tolerant plant materials and turf shall be utilized. All landscaping shall be irrigated with permanent, automatic underground irrigation systems pursuant to standards. Drip irrigation and related water saving technologies shall be utilized where practical.
- Hardscape or Non-living material may not be used for more than 10% of the total landscape area and may include public plazas and pedestrian ways of 10 feet or greater in width. Allowed materials in hardscape areas include but are not limited to pavers, stamped/scored or colored concrete, etc.

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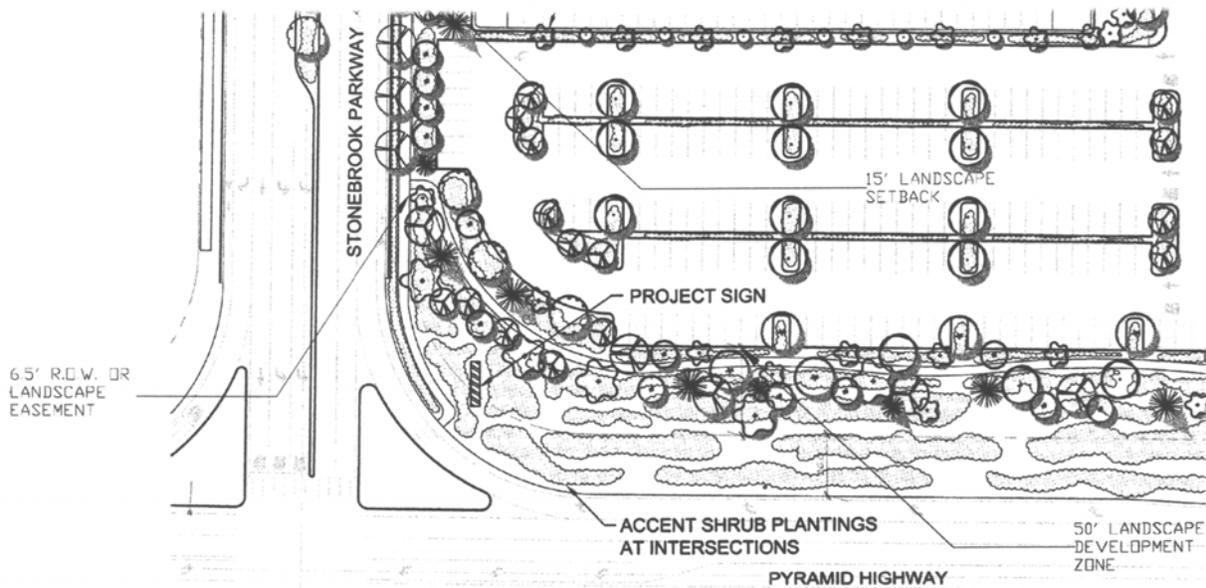
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**TABLE 12
RESORT PLANTING REQUIREMENTS**

PLANT MATERIALS	QUANTITY/REQUIREMENT	MINIMUM PLANT SIZE	CALIPER SIZE or HEIGHT (min)
Trees	1/300 SF of Required Landscape Area, Plus one (1) tree per every 10 required parking spaces*	—	—
Evergreen Trees	25% Min.	N/A	25% - 6 feet 50% - 8 feet 25% - 10 feet
Deciduous Trees	75% Max.	N/A	50% - 2 inch 50% - 3 inch
Shrubs	6 per required tree	5 gallon	N/A
Groundcover	Per SMC 20.32.090(l)		
Turf lawn	20% maximum cover	Sod	N/A

*Parking lot spaces that are provided in or on a parking structure are exempt from the planting standard

**FIGURE 37
LANDSCAPE DEVELOPMENT AT ROW'S**



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Landscape Development Adjacent to Rights-of-Way, Specifics

Screening elements such as undulating berms, low shrubbery and hedges, or low fencing shall be kept to a maximum height of three and one-half feet (3-1/2') above the top of curb elevation at the parking lot edge nearest the roadway. This height allows views into the site while hiding car grills and large expanses of pavement. Use of large shrubs and low-growing ground covers shall be kept to a minimum to preserve the viewing zone between ground plane treatments and the tree canopy. More extensive use of medium and large sized shrubs should occur at the ends of road frontages as a transition to landscapes on adjacent, non-commercial parcels. Tree canopies shall be kept to a minimum of ten feet (10') above the ground plane to permit views underneath from the roadway. This precludes the extensive use of evergreen conifer trees adjacent to rights-of-way because these species tend to keep lower branches for long periods. As pruning the lower branches of young trees inhibits proper development of trunk caliper, resulting in weaker, less attractive trees prone to wind damage, these species would require much more maintenance. Informal massing of trees with large gaps in between masses, rather than linear or orchard style plantings, are encouraged to help preserve view corridors into the site.

Side and Rear Yard Planting Specifics

All side and rear yards not utilized for parking or storage shall be landscaped. A minimum ten-foot (10') landscape buffer shall be placed on all exterior property lines with a minimum of one tree for every 300 square feet. Grouping of trees shall be required. A six-foot (6') high solid masonry-screening wall shall be placed along the property lines bordering residential land use, open space, and street frontages without commercial visibility requirements (conditions such as service areas and rear building facades facing the street). Where this landscape/wall type buffer is adjacent to parking bays resulting in vehicle overhang, the landscape strip shall remain ten feet (10') wide with trees planted a minimum five feet (5') from back of curb. When a landscape/wall buffer is not impacted by vehicle overhang, the landscape strip may be reduced to five feet (5') with trees a minimum of three feet (3') from back of curb.

Parking Lot Planting Specifics

Parking Lot Landscaping will be constructed per S.M.C. and the Sparks D.S.M. Tree species preferred in parking lots shall have a pyramidal or upright form and open canopy to preserve visibility to entries of resort and commercial uses.

Parking Structure Planting Specifics

Planting within the parking structure shall be provided to help break-up the scale and regular pattern of the structure. Planters shall be provided in the form of pop-outs from the structure at each level and shall be a minimum of 4-feet deep and 24-feet long. Planters shall be spaced at a minimum every 70 feet along each level of the parking structure. Plantings within these pop-out planters shall include vines that will grow and cascade down the façade of the structure. Additionally low to mid level vertical growing shrubs shall be incorporated into these planter areas with mature heights ranging from 2 to 4 feet. At least 4 shrubs shall be planted per planter.

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5. Architecture

- The architectural theme for the resort area is intended to incorporate an early 19th century barn appearance.
- All buildings on the Resort site shall be architecturally tied and consistent in appearance
- All areas where this design criteria is silent shall defer to S.M.C. and Design Standards Manual.
- All reflective metal fixtures such as flashing, exhaust vents, and pipes, must be painted to match or blend with surrounding materials.

Façades and Exterior Walls

Façades greater than fifty feet (50') in length, measured horizontally, shall incorporate wall plane projections or recesses having a depth of at least 5% of the length of the façade and extending at least twenty percent (20%) of the length of the façade. No uninterrupted length of any facade shall exceed fifty horizontal feet (50').

Following are a Preliminary Landscape Plan and conceptual architectural elevations of the resort area development (see figures 38-49).

Detail Features

Buildings shall have architectural features and patterns that provide visual interest, reduce perceived building mass, and recognize local character. Elements in the following standard shall be integral parts of the building design, not superficially applied trim, graphics, or paint.

In areas where buildings are proposed adjacent to the existing residential uses within Tierra Del Sol (across Tierra Del Sol Parkway), buildings shall be stepped to keep lower elements (those not requiring a special use permit) closer to the building setback.

Building façades shall include a repeating pattern that includes no less than three of the elements listed below. At least one of the chosen elements shall repeat horizontally. All elements shall repeat at intervals of no more than thirty (30') feet, either horizontally or vertically. Ultimate acceptance of the chosen treatments and their use in the design shall be to the determination of Wingfield Nevada ACC and the Administrator through the special use permit or site plan review process.

- Color change
- Texture change
- Material change
- Module change (size and scale of building changes)
- Relief change (Min 2')

Architectural or structural bays shall be expressed through a change in material, form, or alignment no less than twenty-four inches (24") in width, such as an offset reveal or projecting rib.

Roofs

Variations in rooflines shall be used to add architectural interest and reduce the scale of large buildings. The vertical element/feature of the roofs shall be dominant over the horizontal element/feature of the roofs to approval of the Wingfield Nevada ACC and the Administrator.

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- No visible flat roofs are allowed in the Resort area. The proposed plans show a gambrel style roof. An alternative roofing style may be acceptable to the approval of Wingfield Nevada ACC and the Administrator.
- Roof materials are to be non-reflective metal or slate in green. The proposed plans specify Certainteed Grand Manor Shingle, Colonial Slate Sherwood Forest Green to simulate slate. An alternative color and/or manufactured roofing material may be acceptable to the approval of Wingfield Nevada ACC and the Administrator.
- The use of dormers, copulas and/or clerestories to aid in breaking up the roofline are encouraged, as necessary.

Materials and Colors

Exterior building materials and colors are proposed to be as follows in the listing, below. Sample images of each type of proposed material is provided in Figure 50 of this document. Alternative materials and colors may be acceptable to the approval of Wingfield Nevada ACC and the Administrator.

- Roofing – Grand Manor Colonial Slate Sherwood Forest Composition Shingle.
- Exterior Walls – EFIS Simulated Aged or Antiqued Barnwood with Cultured Stone Bucks County (CVS-2030) at the pedestrian level of the Resort buildings
- Trim and Accents – Copper Patina

Entryways

Each building shall have clear, highly visible customer entrances.

The following identifies proposed entryway design features that are to be used within the Resort facility. Alternative entry design features may be acceptable to the approval of Wingfield Nevada ACC and the Administrator.

- Canopies or porticos
- Overhangs
- Recesses/projections
- Raised corniced parapets over the door
- Peaked roof forms
- Architectural details such as tile work and molding which are integrated into the building structure and design
- Integral planters or wing walls that incorporate landscaped areas and/or places for sitting

Back and Side Façades

Similar horizontal and vertical treatments, recesses and projections in building fronts shall be continued on all side and rear building treatments. The primary color, material and texture changes shall be continued on all four sides.

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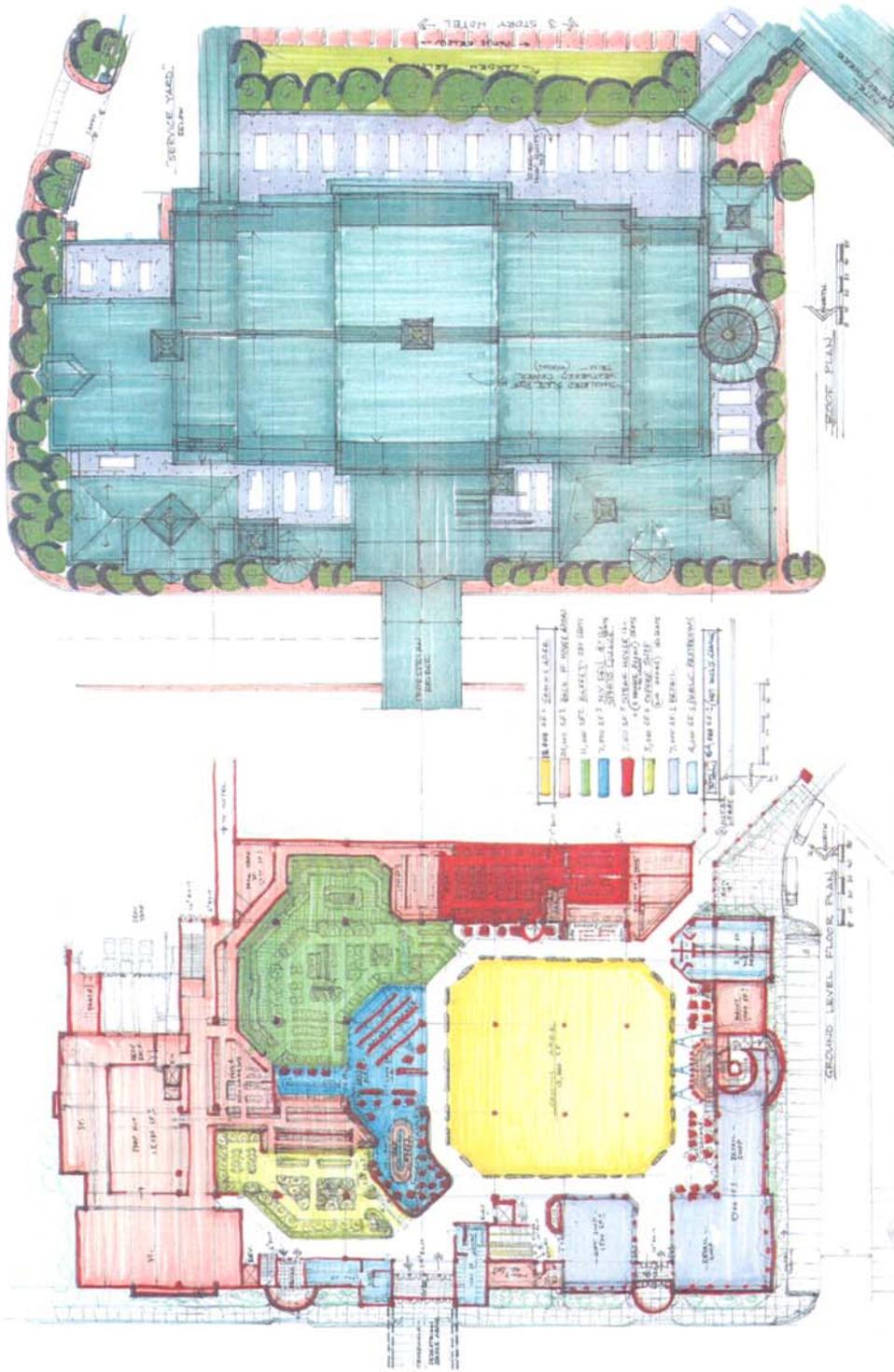


FIGURE 39
RESORT SITE - CASINO/THEATER STRUCTURE CONCEPTUAL 1ST FLOOR AND ROOF PLANS

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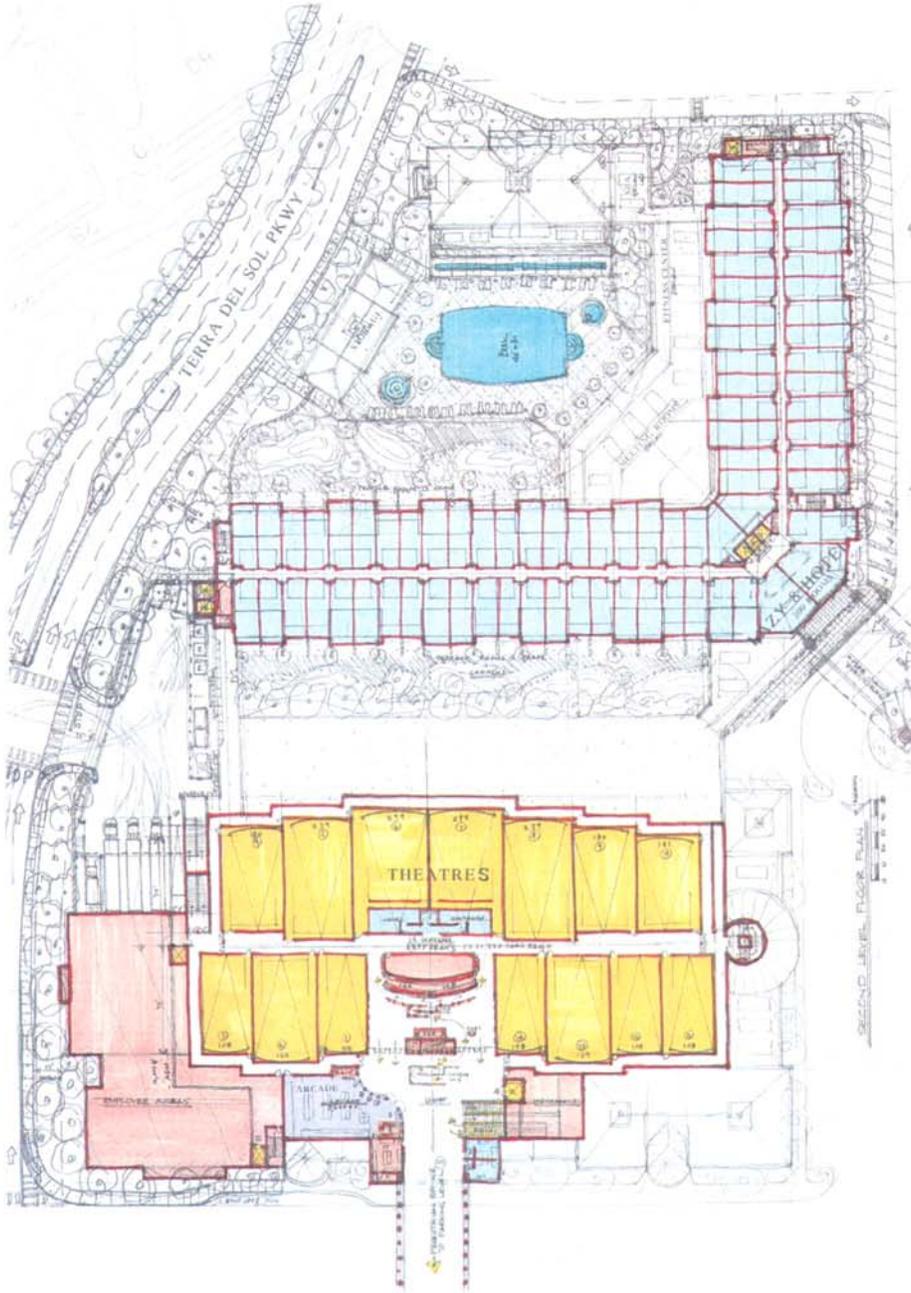


FIGURE 40
RESORT SITE - CASINO/THEATER STRUCTURE CONCEPTUAL 2ND FLOOR AND HOTEL BUILDING 2ND FLOOR PLANS

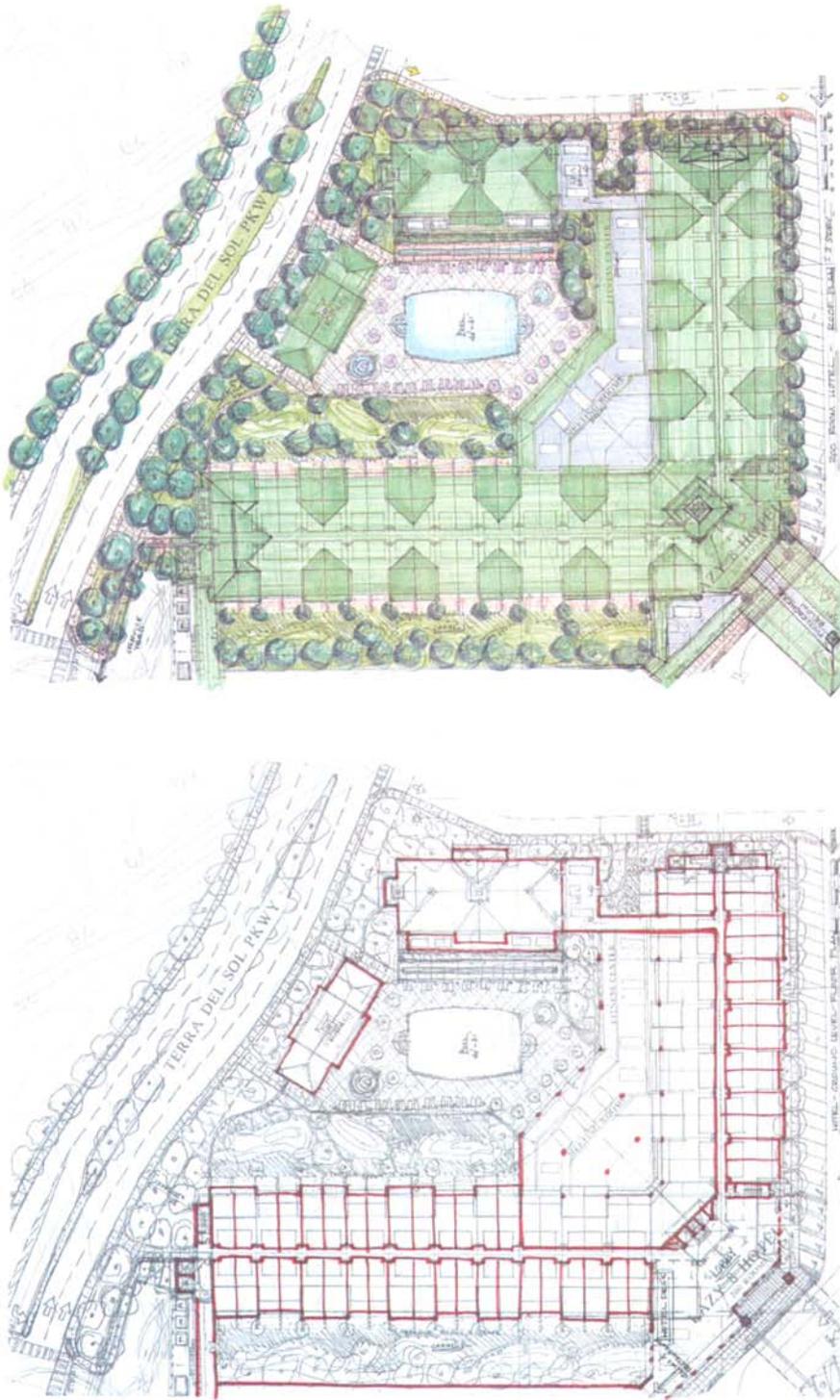


FIGURE 41
RESORT SITE - HOTEL STRUCTURE CONCEPTUAL GROUND LEVEL FLOOR AND ROOF PLANS

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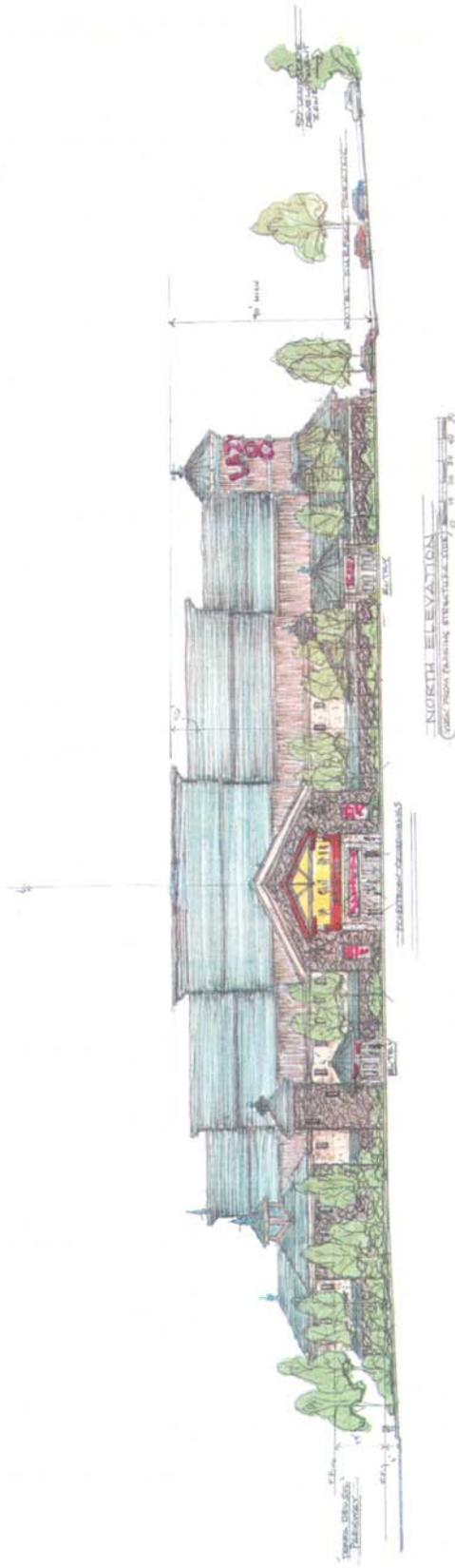
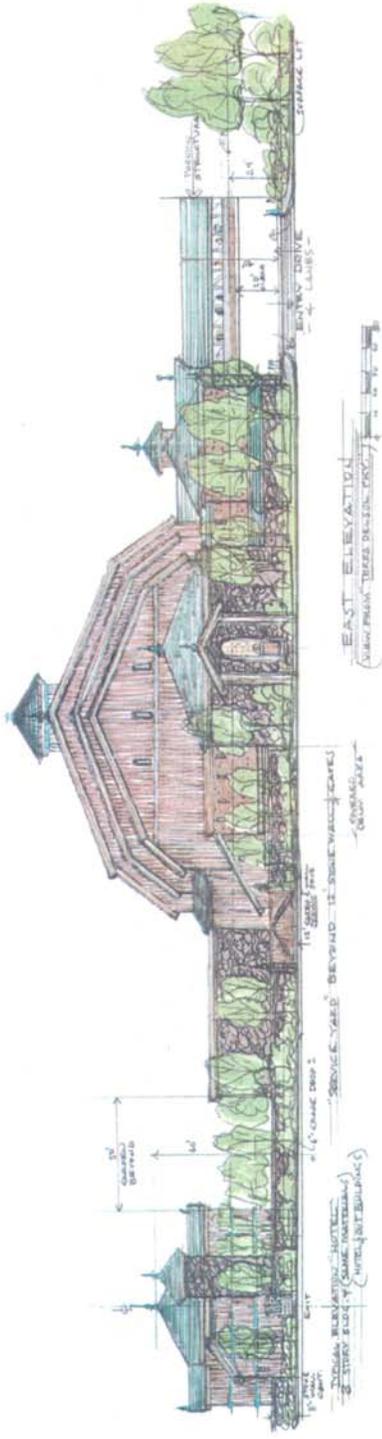


FIGURE 42
RESORT SITE - CASINO THEATER BUILDING EAST AND NORTH ELEVATIONS

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FIGURE 44
RESORT SITE - HOTEL BUILDING WEST ELEVATION

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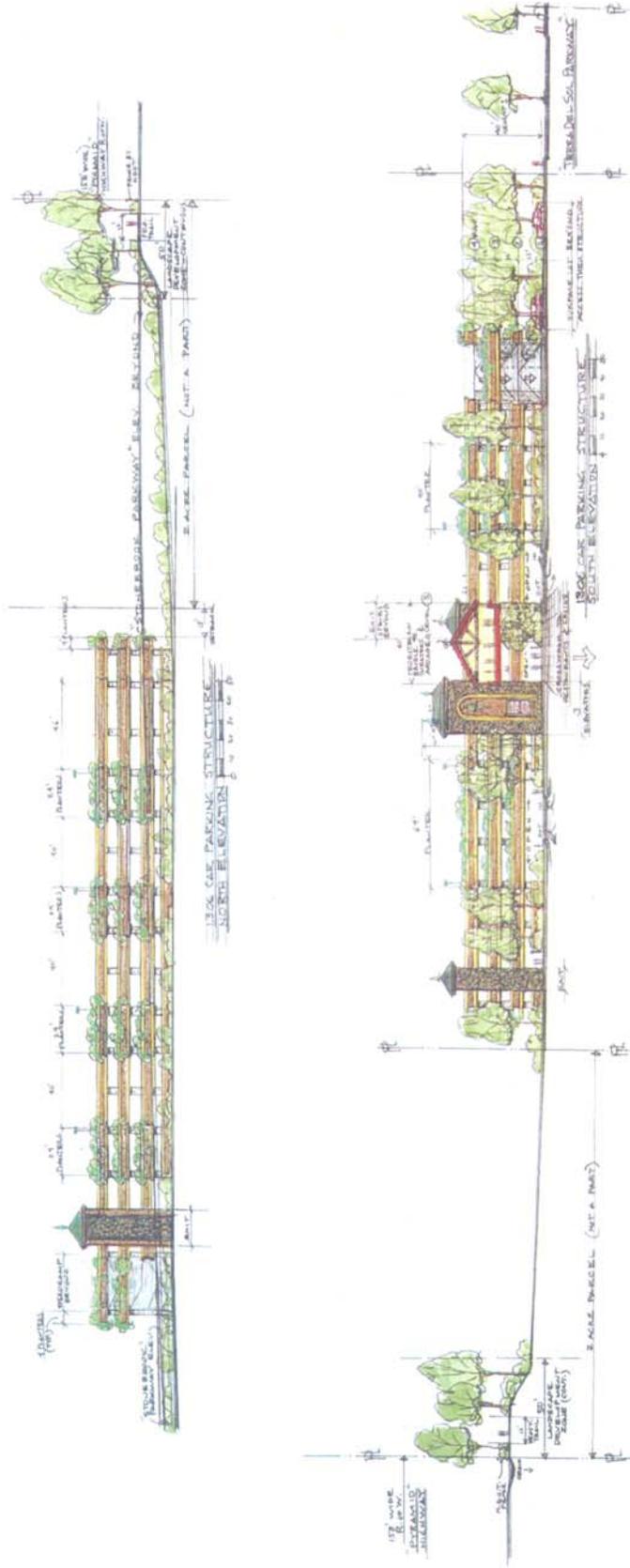


FIGURE 46
 RESORT SITE - PARKING STRUCTURE NORTH AND SOUTH ELEVATIONS



FIGURE 47
 RESORT SITE - PARKING STRUCTURE 1ST FLOOR CONCEPT PLAN

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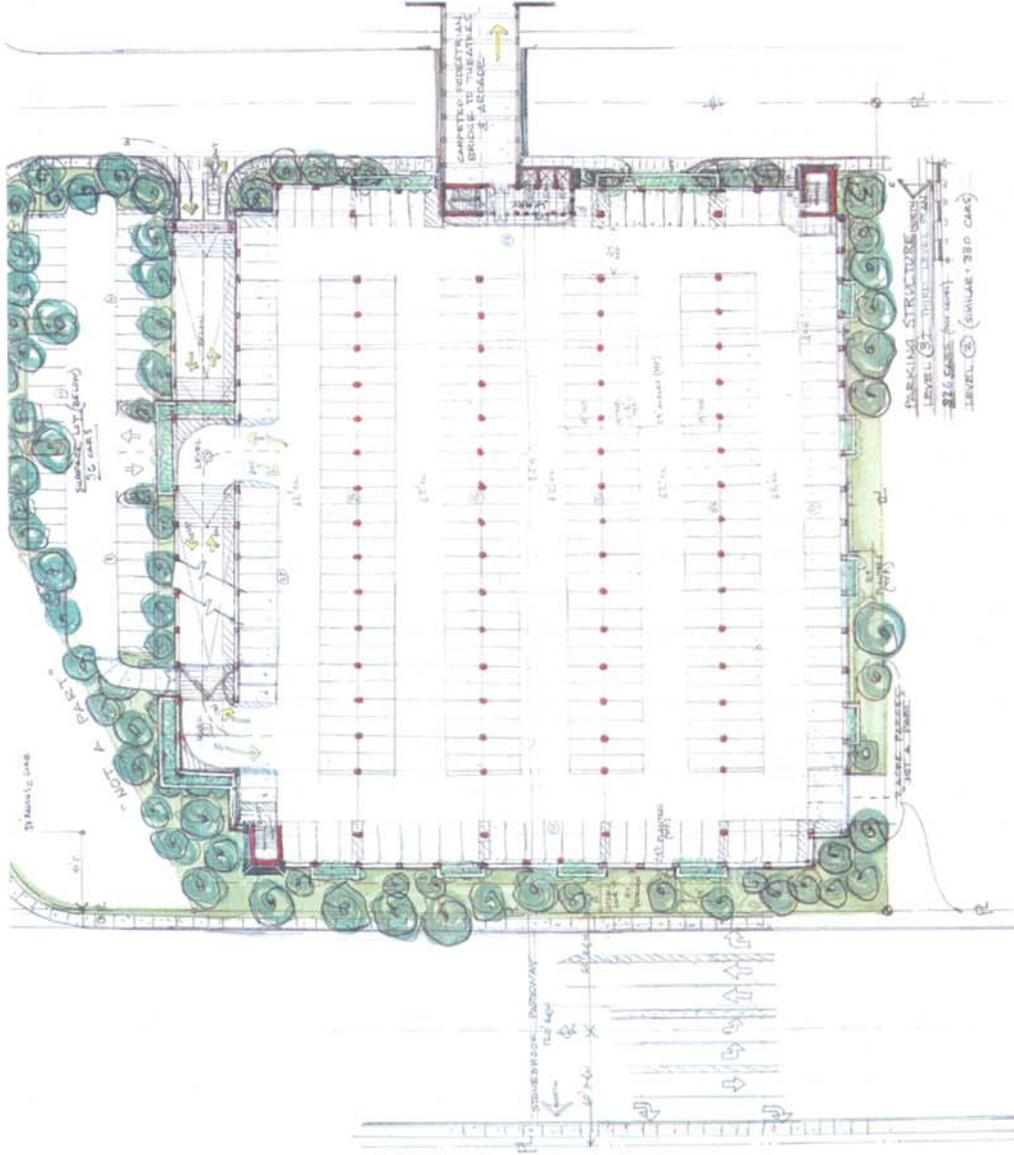


FIGURE 48
RESORT SITE - PARKING STRUCTURE 2ND & 3RD FLOOR CONCEPT PLAN

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Roofing:
Grand Manor Colonial Slate
Sherwood Forest Composite
Shingle.

Trim & Accents:
Copper
Pallina

EIFS:
Simulated Aged Barnwood

Lighting:
Sternburg Heritage 6130C
5800 series pole

Stone Veneer:
Cultured Stone Bucks County CSV-2030

Typical Finishes

Architectural Style

FIGURE 50
RESORT SITE - RESORT BUILDING MATERIALS, STYLES AND THEME CONCEPTS

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7. Antennas

Satellite discs shall be screened from view from any adjacent parcel, street, or open space.

8. Service and Loading Areas

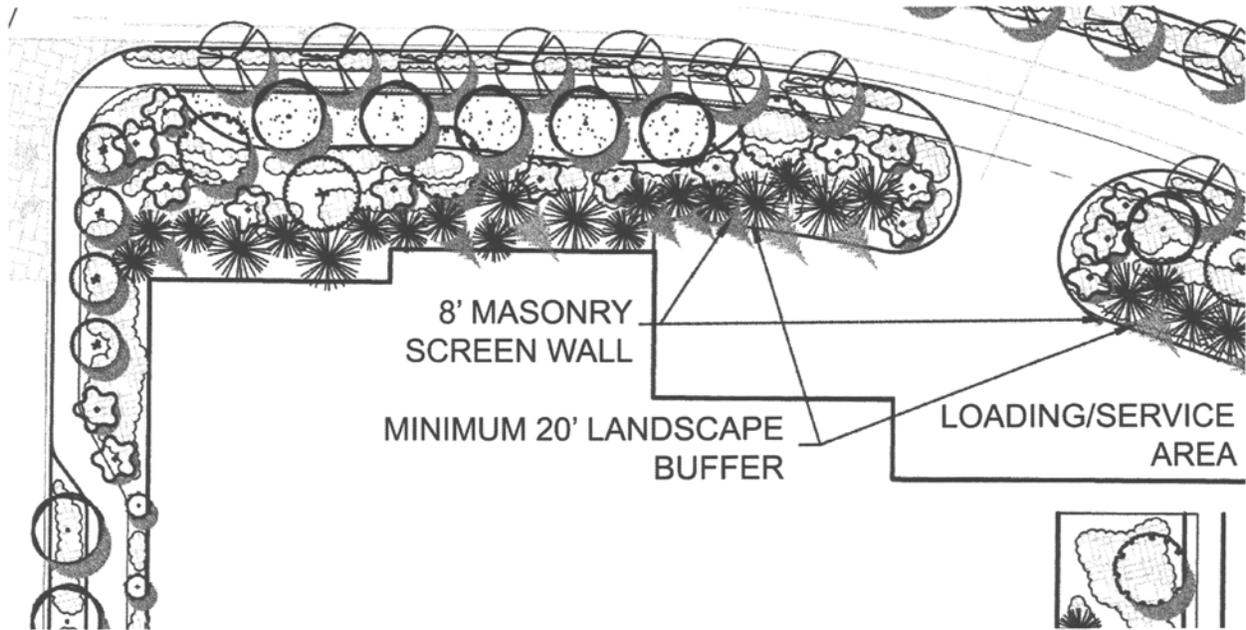
Service and loading areas shall be screened, recessed or enclosed so as to conceal the view of these areas from adjacent properties or public rights-of-way.

- Service and loading areas may be located at the functional rear of the Resort facility so long as the screening requirements of this section are met.
- No areas for trash collection or compaction, loading, or other such uses shall be located within twenty feet (20') of any public street, public sidewalk, or internal pedestrian way.
- A minimum 8-foot screening wall with dense landscaping incorporating evergreens and deciduous trees for year round visual screening.
- A minimum of 50% of the evergreen trees planted adjacent to the service and loading area in the Resort area shall be 10 feet at time of planting with the remaining 50% of the evergreens being provided at 8 feet in height at time of planting. These taller evergreens shall count toward the totals percentage requirements identified in Table 12.
- Service functions such as loading docks, truck parking, outdoor storage, utility meters, HVAC equipment, trash collection, trash compaction, and related facilities shall be screened from view from adjacent parcels, streets, and open space. Screening elements shall be incorporated into the overall design of buildings and landscaping by incorporating similar architectural features. No attention shall be attracted to service functions by use of screening materials that are different from or inferior to the principal materials of the building and landscape. Anti-graffiti measures shall also be utilized. See Figures 51 and 52 for illustration of these standards
- The graphics provided above for trash enclosures depict a typical/standard trash enclosure. However other enclosures types incorporating trash compactors or other size dumpsters are allowed to the approval of the Administrator so long as they are provided in a screened service area.
- Ground level HVAC equipment, utility connections, meter boxes, and similar elements shall be screened from view and located at the rear or side of buildings. These elements and/or their associated screening shall be integrated into the architectural design by using similar materials and colors or shall be screened using landscaping. The location of these elements, including pad-mounted transformers, shall be coordinated with the utility company early in the site design process.
- All air conditioning units, ventilating and mechanical equipment, and communications equipment, whether situated on the ground or on the roof of the building, shall be screened or enclosed with materials to integrate with the building design,

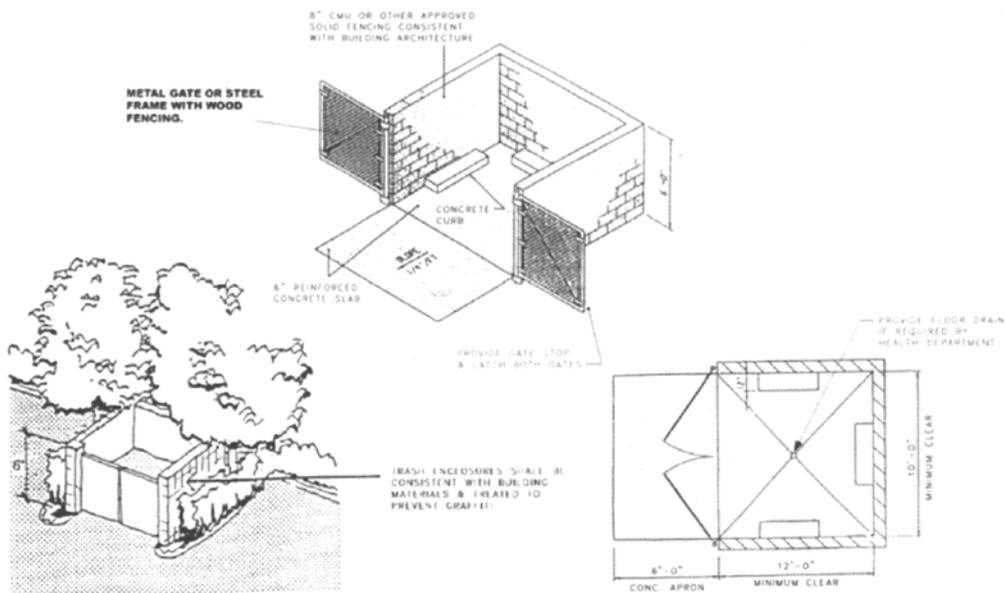
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**FIGURE 51
SCREENING OF SERVICE & LOADING AREAS**



**FIGURE 52
TRASH ENCLOSURE SCREENING**



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9. Delivery and Loading Operations

- No delivery, loading, trash removal or compaction, snow removal, or other such operations shall be permitted between the hours of 10:00 p.m. and 7:00 a.m.

10. Pedestrian Circulation

Pedestrian accessibility opens auto-oriented developments to the neighborhood, thereby reducing traffic impacts and offering a friendlier, more inviting image. Primary and secondary walkways shall be designed indicating a relationship with street access, trail access, parking areas, structures, and adjacent uses. Walkways and bikeways located in landscaped setbacks shall provide access separate from vehicular access. All pedestrian ways shall be designed with public safety in mind.

This section sets forth standards for public sidewalks and internal pedestrian circulation systems that provide direct access as well as pedestrian safety, shelter, and convenience within the center grounds.

- Sidewalks at least five feet (5') in width shall be provided along all sides of the lot that abut a public street.
- Pedestrian linkages from the public rights-of-way to the pedestrian walkways along buildings shall be provided in a minimum five (5) foot sidewalk, where practical and crosswalk striping, pavement variations or other treatment to define and delineate pedestrian routes through parking lot areas.
- Sidewalks, not less than eight feet (8') in width, shall be provided along the entire length of any building façade featuring a customer entrance or abutting public parking areas. Such sidewalks shall be located at least six feet (6') from the back of parking lot/aisle curbs to provide planting beds for landscaping, except where features such as arcades or entryways are part of the façade. Internal pedestrian walkways provided in conformance with this standard shall provide weather protection features such as awnings or arcades extending thirty feet (30') from all customer entrances.
- To enhance pedestrian safety and comfort, as well as improve project appearance, all internal pedestrian walkways shall be distinguished from driving surfaces by use of durable, low maintenance materials such as pavers, colored and/or scored concrete

11. Parking

- Parking shall be provided on-site and in accordance with Chapter 20.49 of S.M.C.

12. Central Features and Community Spaces

- Site design shall include at least one (1) attractive and inviting pedestrian scale feature, space or amenity.
- Entrances and parking lots shall be configured to be functional and inviting with walkways conveniently tied to logical destinations.
- Pedestrian ways shall be anchored by special design features such as towers, arcades, porticos, pedestrian light fixtures, bollards, planter walls, and other architectural elements that define circulation ways and outdoor spaces. Examples of outdoor spaces are plazas, patios, courtyards, and window shopping areas. These areas may count toward the landscape provided as "hardscape" - up to 10% of the total landscape area required.

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15. Signage

The signage for the Tierra del Sol resort is intended to be unique and appropriately tied to the building architecture. Prior to issuance of any sign permit, a completed checklist and certification of compliance from the Wingfield Nevada ACC shall be submitted to the City of Sparks. All signage shall conform to the following design standards. For items where this section is silent, S.M.C. conforming to C2 zoning shall provide the design control.

General

- Total allowed signage area shall be calculated as the larger of: (1) 2.5 square feet for each foot of allowable business frontage or (2) 1 square foot for each foot of site frontage. Allowable business frontage means the articulated distance of up to two sides of the resort structure.
- Total allowed sign area includes all site signage (Freestanding – main and secondary project signage and wall signs or any other signs not exempted or not included in the computation of sign area as per SMC 20.56 (Signs)).
- The use of hanging signage shall be limited to locations above covered walkways. Hanging signage shall be visible only from such walkways and not incorporated into the building frontage. Signage structures shall be made of the same materials as the buildings and match building architecture.
- The address of the facility is required to be identified using six-inch (6") high numbers over the main entry door or within ten feet (10') of the main entry.
- Approximate locations for Freestanding or Monument Signs (main and secondary project signs) and direction signs are provided in Figure 53

Freestanding & Monument Signs

- Freestanding or monument signs are attached directly to the ground or are supported by a sign structure that is placed on or anchored in the ground and is independent from any building or other structure. Pylon and pole signs are prohibited.
- One freestanding or monument sign is allowed per street frontage. The Resort site possesses three street frontages and will be allowed three freestanding or monument signs. Only one of the signs is to be classified as the Main Project Sign.
- Freestanding or monument signs may be placed in the setback area, but must be located per the safe siting standards in S.M.C.
- The Main Project Sign is allowed a maximum height of thirty (30) feet measured from the nearest adjacent roadway. This sign may incorporate an LED or similar technology reader board for advertisement of services or events provided within the facility or community interest messages. The size of the reader board is limited to 28 feet by 40 feet.
- The Resort area shall be allowed two secondary project signs to be located near the project entries at the southwestern corner of Stonebrook Parkway and Tierra del Sol Drive and at the Northeastern corner of Pyramid Highway and Tierra del Sol Drive.
- Secondary project signs are allowed a maximum of twenty (20) feet measured from the nearest adjacent roadway. If the nearest adjacent roadway is 5 feet or more, below the average grade of the sign, the maximum height of the secondary sign shall be fifteen (15) feet.

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- Architectural capping or similar treatments to tie freestanding or monument signs with the project building architecture shall not be counted into the sign height.
- Freestanding signs shall be placed perpendicular to the street and shall meet the minimum setback for safe siting standards for safe sight distance policies per S.M.C.
- Solid architectural sign bases and sides are required, and shall incorporate a base which is a minimum of twelve inches two (2) feet high. The material(s) shall match the architectural character and elements of the Resort development it serves. Each sign shall incorporate sides or flanking pilasters which have a minimum dimension of five (5) feet and shall extend at least to the top of the sign panel.
- Each monument sign shall be surrounded by a landscaped planter which extends a minimum of two feet (2') in all directions beyond the base of the sign.

Wall or Building Signs

- Sign colors shall be compatible with all other signs on that building, and all freestanding signs on that parcel.
- Signs, or any part thereof, placed above the eave-line or parapet shall be considered rooftop signs and are prohibited.
- Large historical themed paintings or murals may be included on the sides of the resort/entertainment building, so long as these paintings or murals do not advertise a service or product associated with the resort building use. They will not count toward the signage allowance for the project.
- Signage is allowed on facades of buildings. Where such signage is incorporated, internally illuminated pan channel letters are required. Cabinet type signs are prohibited. Flashing, animated computer controlled variable message signs shall be prohibited on building walls but may be incorporated on the Main Project Sign. Allowance of any other type of signage not specifically identified in the above listing for the building façade shall be to the determination and approval of the Wingfield Nevada ACC and the Administrator.

Directional Signs

- Directional signs noting project entrances for various resort facility components shall be provided at all project entries.
- Directional signs shall not incorporate the use of cabinet type signage
- Directional signage shall be allowed to have a business defining logo along with the directional message for pedestrian or vehicular access and shall not count against the total sign area allowed.
- Directional signage shall be provided with a maximum size of 12 square feet per sign.
- Directional signage at the southern access points on Tierra del Sol Parkway adjacent to the residential area shall have a maximum size of eight (8) square feet.
- Directional signs may be located may be placed in the setback area, but must be located per the safe siting standards in S.M.C.

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16. Exterior Lighting

- Light standards within parking lot areas are proposed to be Stemburg Heritage 6130C with a 5800 series pole. An example photo of this proposed light standard is provided in Figure 50. Alternative light standards may be approved to the acceptance of the Wingfield Nevada ACC and the Administrator.
- Exterior lights shall not blink, flash or change intensity. Reflective or luminescent wall surfaces are prohibited.
- All area lighting, including parking lots, walkways, plaza/staging areas, and building lights shall be directed downward with no splay of lighting directed off-site. Any light source over ten feet (10') high shall incorporate "cut-off luminaires" with glare shields to prevent direct visibility of the light source from areas beyond the property line. Illumination of any building or surrounding landscape utilizing exterior light fixtures that project light off-site shall be prohibited.
- Overall lighting levels shall be compatible with ambient neighborhood levels and color shall be uniform throughout the development.
- Soft, indirect lighting such as wall lighting and bollards softly illuminating walkways or sidewalks, adjacent shall be employed where feasible.
- Night lighting of building exteriors shall be done in a selective fashion to highlight special features, keynote patterns or rhythmic elements, or shall use the play of light and shadow to articulate the façade. The purpose of illuminating the building shall be to add visual interest and support building identification. Refer to Figures 27 - 29 in Part VI, "General Fencing, Lighting and Signage Design" for illustrations of these standards.
- Lighting intensity shall be reviewed through the provision of a photometric plan to be provided with the final plans for the project.

17. Construction, Operation and Maintenance

- The entire site shall be maintained under authority of a Common Area Agreement included in the CC&R's as an irrevocable covenant for the life of the project. A single contact person responsible for common area maintenance shall be identified to the City of Sparks Planning and Community and Development Departments at all times. All common area, paving, building signage, structures, landscaping, walls and lighting shall be maintained in good repair at all times.
- The CC&R's shall designate the party responsible for all grease traps, which shall be approved by the industrial waste division.
- All construction and construction-related activities shall be limited to the hours of 7 a.m. to 7 p.m., Monday through Friday and 9 a.m. to 5 p.m. on Saturday. No work shall be performed on Sundays. An exception shall be allowed for large concrete pours (10,000 s.f. or larger) that shall be authorized by the City of Sparks prior to commencement of work.
- Deliveries to the site and noise-generating maintenance such as parking lot sweeping, snow removal and trash service shall be limited to 7 a.m. to 10 p.m. No truck idling shall be permitted on-site outside of these hours.
- Security patrol for resort and parking lots shall be provided 24 hours per day

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18. Miscellaneous

- Current technology shall be considered in all construction material selections to accomplish maximum energy efficiencies and ease of maintenance.
- Except for main area feeder lines, all utilities 25 kV and under shall be placed underground. Overhead utilities shall be prohibited.
- Temporary structures, including, but not limited to, trailers, mobile homes and other structures not affixed to the ground are permitted only during construction of a permanent building. These shall be installed at the start of construction and removed promptly upon completion of the permanent building. Such structures shall be as inconspicuous as possible and present no inconvenience to the general public and shall comply with S.M.C.

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X. PUBLIC FACILITIES

A. Public Facilities Design Goal

The primary goal is to create distinctive, high quality public facilities that are visually harmonious and functionally integrated with the conceptual design and overall thematic character of Tierra del Sol PD.

Uses and Restrictions

The use of land, buildings and structures in the Public Facilities area of the Tierra del Sol PD shall be subject to this section of the PD Handbook. No uses are allowed in this district except those specifically listed below whether by-right, site plan review or under S.M.C.

Allowed Uses

All new construction (structures) shall require a site plan review.

Uses permitted by-right so long as the operation is conducted wholly within a building are as follows:

- Public buildings and Facilities
- Open Parking Lot
- Parking Structure
- Accessory Uses
- Uses permitted in compliance with S.M.C. 20.41 (Permits Required for Certain Uses)
- Public utility structures under 6 feet in above ground height,

B. Implementation of Public Facilities Development Standards and Guidelines

All building proposals for development will be reviewed by the Wingfield Nevada ACC to ensure these policies and standards are enforced in a manner that encourages creative design and considers specific site conditions. Each project shall be required to submit specific plans following these standards, and as defined in future Covenants, Conditions and Restrictions (CC&R's) to be recorded prior to finalizing any lease or sales to end users. Wingfield Nevada ACC shall utilize a checklist to review conformance with these guidelines and standards. Successful completion of the required items of the checklist will allow for the certification of the submitted plans (with or without conditional items) through a certification stamp on one copy of the plans by Wingfield Nevada ACC or its designated representative(s). The City of Sparks will not approve plans lacking the required checklist approval/certification.

1. City of Sparks Site Plan Review Process

After review and certification by Wingfield Nevada ACC, the City of Sparks shall review and approve the proposed development of the Public Facilities Parcel through either its site plan review or special use permit process (as defined per the various allowed uses under portion A of this section) using the following permitted uses and design standards.

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2. Lot and Height Requirements

**TABLE 13
PUBLIC FACILITIES LOT AND HEIGHT REQUIREMENTS**

Minimum Building Site Area (Interior Lots)	6,000 SF
Minimum Building Site Area (Corner Lots)	7,000 SF
Maximum coverage of site by structures	50%
Minimum lot width (interior lots)	N/A
Minimum lot width (corner lots)	N/A
Minimum lot frontage	N/A – interior parcels within the Public Facility area may not have any “street frontage”
Maximum building height	35 foot maximum

3. Setback Requirements

**TABLE 14
PUBLIC FACILITIES SETBACK REQUIREMENTS
(All setbacks are from the exterior site boundary)**

TYPE	FEET	CONDITION
Front Setback	20	To building
	10	To Parking Lot Improvements
	50	Pyramid Highway -- To any Parking Lot or Building Improvement Along Pyramid Highway
Rear Set Back	20	
Side-Yard Setback	10	
Interior Setback	0	

4. Landscaping

In addition to concepts and standards specific to the Public Facility designation area presented in this section, Public Facility landscape design shall incorporate the general principles and techniques discussed in Section V, “General Landscape Standards” of this document. Conformance with these landscape architectural principles shall be determined as each site plan is reviewed and approved by Wingfield Nevada ACC. Subsequently, Wingfield Nevada ACC shall certify through provision of a certification stamp and possible conditions to the approval to the City of Sparks that the proposed Public Facility development adheres to all landscape standards and guidelines set forth herein.

General Public Facility Landscape Design Criteria

- Minimum landscape area required - 20% of the development site, not inclusive of areas to be dedicated for public rights-of-way.
- All areas where this design criteria is silent shall defer to S.M.C. and Design Standards Manual.
- Drought tolerant plant materials and turf shall be utilized. All landscaping shall be irrigated with permanent, automatic underground irrigation systems pursuant

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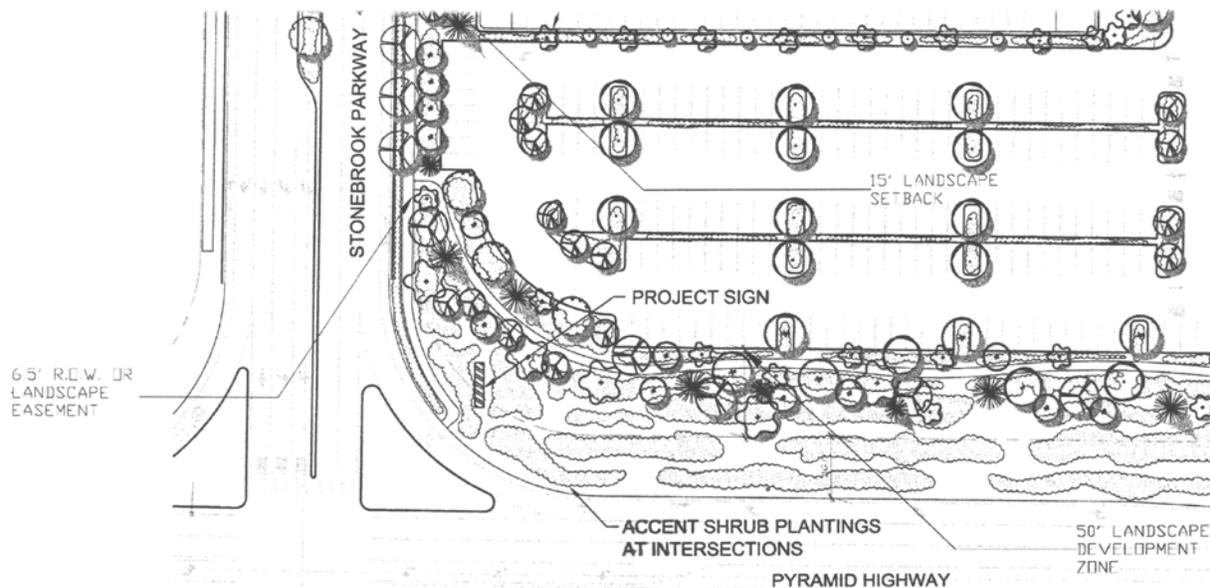
to standards. Drip irrigation and related water saving technologies shall be utilized where practical.

- Hardscape or Non-living material may not be used for more than 10% of the total landscape area and may include public plazas and pedestrian ways of 10 feet or greater in width. Allowed materials in hardscape areas include but are not limited to pavers, stamped/scored or colored concrete, etc.

**TABLE 15
PUBLIC FACILITY PLANTING REQUIREMENTS**

PLANT MATERIALS	QUANTITY/REQUIREMENT	MINIMUM PLANT SIZE	CALIPER SIZE or HEIGHT (min)
Trees	1/300 SF of Required Landscape Area, Plus one (1) tree per every 10 required parking spaces	—	—
Evergreen Trees	25% Min.	N/A	50% - 6 feet 50% - 8 feet
Deciduous Trees	75% Max.	N/A	50% - 2 inch 50% - 3 inch
Shrubs	6 per required tree	5 gallon	N/A
Groundcover	Per SMC		
Turf lawn	20% maximum cover	Sod	N/A

**FIGURE 54
LANDSCAPE DEVELOPMENT AT RIGHTS-OF-WAY**



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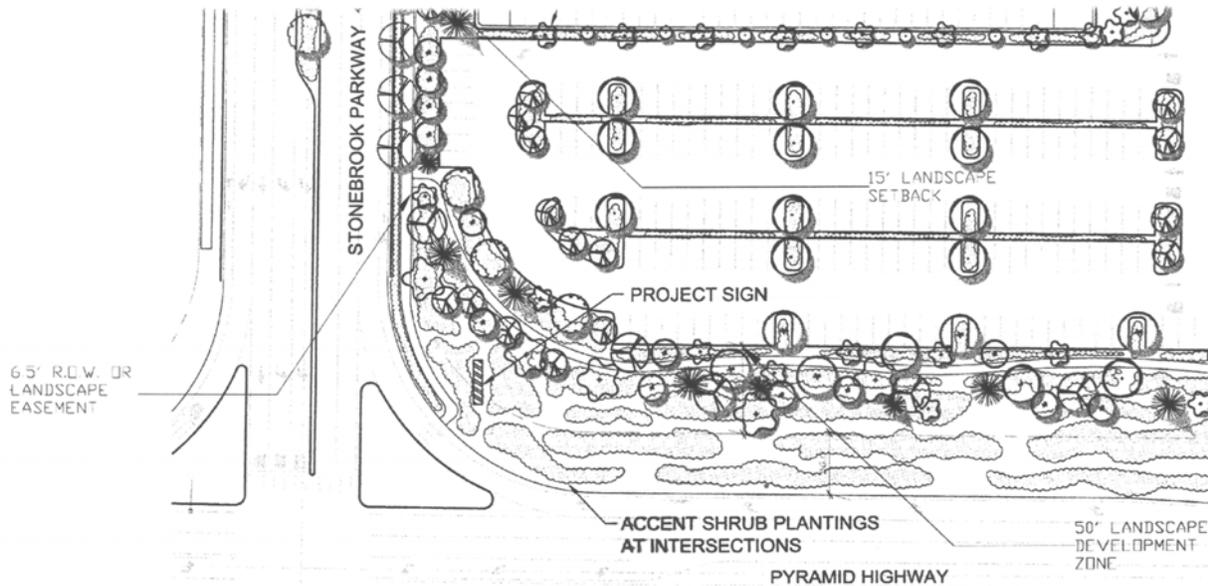
to standards. Drip irrigation and related water saving technologies shall be utilized where practical.

- Hardscape or Non-living material may not be used for more than 10% of the total landscape area and may include public plazas and pedestrian ways of 10 feet or greater in width. Allowed materials in hardscape areas include but are not limited to pavers, stamped/scored or colored concrete, etc.

**TABLE 15
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Trees	1/300 SF of Required Landscape Area, Plus one (1) tree per every 10 required parking spaces	—	—
Evergreen Trees	25% Min.	N/A	50% - 6 feet 50% - 8 feet
Deciduous Trees	75% Max.	N/A	50% - 2 inch 50% - 3 inch
Shrubs	6 per required tree	5 gallon	N/A
Groundcover	Per SMC		
Turf lawn	20% maximum cover	Sod	N/A

**FIGURE 54
LANDSCAPE DEVELOPMENT AT RIGHTS-OF-WAY**



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Landscape Development Adjacent to Rights-of-Way, Specifics

Screening elements such as undulating berms, low shrubbery and hedges, or low fencing shall be kept to a maximum height of three and one-half feet (3-1/2') above the top of curb elevation at the parking lot edge nearest the roadway. This height allows views into the site while hiding car grills and large expanses of pavement. Use of large shrubs and low-growing ground covers shall be kept to a minimum to preserve the viewing zone between ground plane treatments and the tree canopy. More extensive use of medium and large sized shrubs should occur at the ends of road frontages as a transition to landscapes on adjacent, non-Public Facility parcels. Tree canopies shall be kept to a minimum of ten feet (10') above the ground plane to permit views underneath from the roadway. This precludes the extensive use of evergreen trees adjacent to rights-of-way because these species tend to keep lower branches for long periods. As pruning the lower branches of young trees inhibits proper development of trunk caliper, resulting in weaker, less attractive trees prone to wind damage, these species would require much more maintenance. Informal massing of trees with large gaps in between masses, rather than linear or orchard style plantings, are encouraged to help preserve view corridors into the site.

Side and Rear Yard Planting Specifics

All side and rear yards not utilized for parking or storage shall be landscaped. A minimum ten-foot (10') landscape buffer shall be placed on all exterior property lines with a minimum of one tree for every 300 square feet. Grouping of trees shall be required. A six-foot (6') high solid masonry-screening wall shall be placed along the property lines bordering residential land use, open space, and street frontages without Public Facility visibility requirements (conditions such as service areas and rear building facades facing the street). Where this landscape/wall type buffer is adjacent to parking bays resulting in vehicle overhang, the landscape strip shall remain ten feet (10') wide with trees planted a minimum five feet (5') from back of curb. When a landscape/wall buffer is not impacted by vehicle overhang, the landscape strip may be reduced to five feet (5') with trees a minimum of three feet (3') from back of curb.

Parking Lot Planting Specifics

Parking Lot Landscaping will be constructed per S.M.C. and the Sparks D.S.M. Tree species preferred in parking lots shall have a pyramidal or upright form and open canopy to preserve visibility to and from the Public Facility structure.

5. Architecture

All buildings within the Public Facility area must be designed with consistent theme, materials and colors to match the architectural treatment, materials and colors of the Resort facility to the north.

- All buildings on the Public Facility area shall be architecturally tied and consistent in appearance
- All areas where this design criteria is silent shall defer to S.M.C. and Design Standards Manual.
- All reflective metal fixtures such as flashing, exhaust vents, and pipes, must be painted to match or blend with surrounding materials.

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Façades and Exterior Walls

Façades greater than fifty feet (50') in length, measured horizontally, shall incorporate wall plane projections or recesses having a depth of at least 5% of the length of the façade and extending at least twenty percent (20%) of the length of the façade. No uninterrupted length of any facade shall exceed fifty horizontal feet (50').

Detail Features

Buildings shall have architectural features and patterns that provide visual interest, reduce perceived building mass, and recognize local character. Elements in the following standard shall be integral parts of the building design, not superficially applied trim, graphics, or paint.

Building façades shall include a repeating pattern that includes no less than three of the elements listed below. At least one of the chosen elements shall repeat horizontally. All elements shall repeat at intervals of no more than thirty (30') feet, either horizontally or vertically. Ultimate acceptance of the chosen treatments and their use in the design shall be to the determination of Wingfield Nevada ACC and the Administrator through the special use permit or site plan review process.

- Color change
- Texture change
- Material change
- Module change (size and scale of building changes)
- Relief change (Min 2')

Architectural or structural bays shall be expressed through a change in material, form, or alignment no less than twenty-four inches (24") in width, such as an offset reveal or projecting rib.

Roofs

Variations in rooflines shall be used to add architectural interest and reduce the scale of large buildings. The vertical element/feature of the roofs shall be dominant over the horizontal element/feature of the roofs to approval of the Wingfield Nevada ACC and the Administrator.

- No visible flat roofs are allowed in the Public Facility area.
- Roof materials are to be non-reflective metal or slate in green. Any material and color choice for the Public Facility building(s) must match or provide similar appearance to the roofing material for the Resort. An alternative color and/or manufactured roofing material may be acceptable to the approval of Wingfield Nevada ACC and the Administrator so long as it matches or is similar in appearance
- The use of dormers, copulas and/or clerestories to aid in breaking up the roofline are encouraged, as necessary.

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Materials and Colors

Exterior building materials and colors are proposed to be as follows in the listing, below. Alternative materials and colors may be acceptable to the approval of Wingfield Nevada ACC and the Administrator.

- Roofing – Grand Manor Colonial Slate Sherwood Forest Composition Shingle.
- Exterior Walls – EFIS Simulated Aged or Antiqued Barnwood with Cultured Stone Bucks County (CVS-2030) at the pedestrian level of the Resort buildings
- Trim and Accents – Copper Patina

Entryways

Each building shall have clear, highly visible customer entrances.

The following identifies a list of desirable entryway design features. The Public Facility building(s) must incorporate at least three (3) of these design features. Alternative entry design features may be acceptable to the approval of Wingfield Nevada ACC and the Administrator.

- Canopies or porticos
- Overhangs
- Recesses/projections
- Raised corniced parapets over the door
- Peaked roof forms
- Architectural details such as tile work and molding which are integrated into the building structure and design
- Integral planters or wing walls that incorporate landscaped areas and/or places for sitting

Back and Side Façades

- Similar horizontal and vertical treatments, recesses and projections in building fronts shall be continued on all side and rear building treatments. The primary color, material and texture changes shall be continued on all four sides.

6. Antennas

Satellite discs shall be screened from view from any adjacent parcel, street, or open space.

7. Service and Loading Areas

Service and loading areas shall be screened, recessed or enclosed so as to conceal the view of these areas from adjacent properties or public rights-of-way.

- No areas for trash collection or compaction, loading, or other such uses shall be located within twenty feet (20') of any public street, public sidewalk, or internal pedestrian way.
- Service functions such as loading docks, truck parking, outdoor storage, utility meters, HVAC equipment, trash collection, trash compaction, and related facilities shall be screened from view from adjacent parcels, streets, and open space. Screening elements shall be incorporated into the overall design of buildings and landscaping by incorporating similar architectural features. No attention shall be attracted to service functions by use of screening materials that are different from or inferior to the principal materials of the building and landscape. Anti-graffiti measures

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shall also be utilized. See Figures 51 and 52 in this PD Handbook for illustrations of these standards.

- Areas designated for the storage shall be permanently defined and screened (80%) with walls and/or fences. Materials, colors, and design of screening walls and/or fences and the cover shall conform to those used as predominant materials and colors on the building. If such areas are to be covered, the covering shall conform to predominant materials and colors on the building.
- Ground level HVAC equipment, utility connections, meter boxes, and similar elements shall be screened from view and located at the rear or side of buildings. These elements and/or their associated screening shall be integrated into the architectural design by using similar materials and colors or shall be screened using landscaping. The location of these elements, including pad-mounted transformers, shall be coordinated with the utility company early in the site design process.
- All air conditioning units, ventilating and mechanical equipment, and communications equipment, whether situated on the ground or on the roof of the building, shall be screened or enclosed with materials compatible with the building siding with landscaping.

8. Delivery and Loading Operations

- No delivery, loading, trash removal or compaction, snow removal, or other such operations shall be permitted between the hours of 10:00 p.m. and 7:00 a.m.

9. Pedestrian Circulation

Primary and secondary walkways shall be designed indicating a relationship with street access, trail access, parking areas, structures, and adjacent uses. Walkways and bikeways located in landscaped setbacks shall provide access separate from vehicular access. All pedestrian ways shall be designed with public safety in mind.

This section sets forth standards for public sidewalks and internal pedestrian circulation systems that provide direct access as well as pedestrian safety, shelter, and convenience within the center grounds.

- Sidewalks at least five feet (5') in width shall be provided along all sides of the lot that abut a public street.
- Pedestrian linkages from the public rights-of-way to the pedestrian walkways along buildings shall be provided in a minimum five (5) foot sidewalk, where practical and crosswalk striping, pavement variations or other treatment to define and delineate pedestrian routes through parking lot areas.
- Sidewalks, not less than eight feet (8') in width, shall be provided along the entire length of any building façade featuring a customer entrance or abutting public parking areas. A landscaped area of at least six feet (6') shall be provided between the sidewalk and building. A six foot (6') planter are shall be provided either between the sidewalk and parking or drive aisle, or between the sidewalk and building. These planter areas shall be provided between the sidewalk and parking or drive aisles where pedestrian access is not desired or encouraged.
- To enhance pedestrian safety and comfort, as well as improve project appearance, all internal pedestrian walkways shall be distinguished from driving surfaces by use of durable, low maintenance materials such as pavers, colored and/or scored concrete.

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10. Parking

- Parking shall be provided on-site and in accordance with Chapter 20.49 of S.M.C.

11. Central Features and Community Spaces

- Buildings shall provide attractive and inviting pedestrian scale features, spaces, and amenities.
- Entrances and parking lots shall be configured to be functional and inviting with walkways conveniently tied to logical destinations.

The features and spaces shall enhance the building and the center as integral parts of the community fabric. These areas may count toward the landscape provided as "hardscape" - up to 10% of the total landscape area required.

Retail establishments subject to these standards shall contribute to establishment or enhancement of public spaces that, in the judgment of the Administrator, adequately provide for public spaces within the project. This requirement shall be satisfied by providing at least two of the following: patio/seating area, pedestrian plaza with benches, transportation center, window shopping walkways, outdoor playground areas, kiosks, water features, clock tower, or other such focal elements or amenities. Such areas/features shall have direct access to the public sidewalk network and be constructed of materials that conform to the architectural style and utilize predominant materials and colors of the buildings and landscape.

12. Signage

Prior to issuance of any sign permit, a completed checklist and certification of compliance from Wingfield Nevada ACC shall be submitted to the City of Sparks. All signage shall conform to the following design standards. For items where this section is silent, S.M.C. conforming to PF zoning shall provide the design control.

General

- Co-location of signage identifying the Public Facility use(s) on the secondary project sign (freestanding sign) for the Resort at the northeastern corner of Tierra del Sol Parkway and Pyramid Highway shall be permit to the acceptance of Wingfield Nevada ACC and the Administrator.
- The proportion of letter area to the overall sign background shall not exceed 75% of the sign panel.
- Signage shall be included on facades of buildings. Internally illuminated and "can" or cabinet type signs are prohibited. Flashing, animated computer controlled variable message signs shall be prohibited.
- The use of hanging signage shall be limited to locations above covered walkways. Hanging signage shall be visible only from such walkways and not incorporated into the building frontage. Signage structures shall be made of the same materials as the buildings.
- Projecting signs are prohibited, unless incorporated as an architectural element.

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13. Exterior Lighting

- Exterior lights shall not blink, flash or change intensity. Reflective or luminescent wall surfaces are prohibited.
- All area lighting, including parking lots, walkways, plaza/staging areas, and building lights shall be directed downward with no splay of lighting directed off-site. Any light source over ten feet (10') high shall incorporate "cut-off luminaires" with glare shields to prevent direct visibility of the light source from areas beyond the property line. Illumination of any building or surrounding landscape utilizing exterior light fixtures that project light off-site shall be prohibited.
- Overall lighting levels shall be compatible with ambient neighborhood levels and color shall be uniform throughout the development.
- Soft, indirect lighting such as wall lighting and bollards softly illuminating walkways or sidewalks, adjacent shall be employed where feasible.
- Night lighting of building exteriors shall be done in a selective fashion to highlight special features, keynote patterns or rhythmic elements, or shall use the play of light and shadow to articulate the façade. The purpose of illuminating the building shall be to add visual interest and support building identification. Refer to Figures 27 - 29 in Part VI, "General Fencing, Lighting and Signage Design" for illustrations of these standards.
- Lighting intensity shall be reviewed through the provision of a photometric plan to be provided with the final plans for the project.

14. Construction, Operation and Maintenance

- The entire site shall be maintained under authority of a Common Area Agreement included in the CC&R's as an irrevocable covenant for the life of the project. A single contact person responsible for common area maintenance shall be identified to the City of Sparks Planning and Community and Development Departments at all times. All common area, paving, building signage, structures, landscaping, walls and lighting shall be maintained in good repair at all times.
- The CC&R's shall designate the party responsible for all grease traps, which shall be approved by the industrial waste division.
- All construction and construction-related activities shall be limited to the hours of 7 a.m. to 7 p.m., Monday through Friday and 9 a.m. to 5 p.m. on Saturday. No work shall be performed on Sundays.
- Deliveries to the site and noise-generating maintenance such as parking lot sweeping, snow removal and trash service shall be limited to 7 a.m. to 10 p.m. No truck idling shall be permitted on-site outside of these hours.

15. Miscellaneous

- Current technology shall be considered in all construction material selections to accomplish maximum energy efficiencies and ease of maintenance.
- Except for main area feeder lines, all utilities under 25kV shall be placed underground.
- Temporary structures, including, but not limited to, trailers, mobile homes and other structures not affixed to the ground are permitted only during construction of a permanent building. These shall be installed at the start of construction and removed promptly upon completion of the permanent building. Such structures shall be as

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inconspicuous as possible and present no inconvenience to the general public and shall comply with S.M.C.



WASHOE COUNTY RECORDER

OFFICE OF THE RECORDER
KATHRYN L. BURKE, RECORDER

1001 E. NINTH STREET
POST OFFICE BOX 11130
RENO, NEVADA 89520-0027
PHONE (775) 328-3661
FAX (775) 325-8010

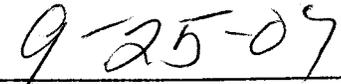
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