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Page 1 of 44

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Per NRS 111.312.1)

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P.O. Box 857
Sparks, Nevada 89432-0857
ATTN: Community Development Dep't

(Space above for recorder's use only)

NOTICE OF ADOPTION OF DEVELOPMENT PLAN
(NRS Chapter 278A)

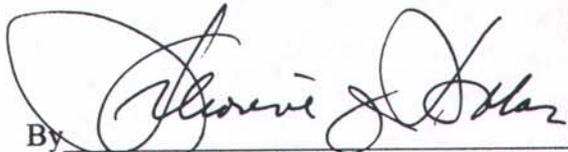
Name of Development: Prater Senior Apartments
Name of Plan: Final Design Standards Handbook.
Approval Date: January 12, 2004
City No. PCN 03003

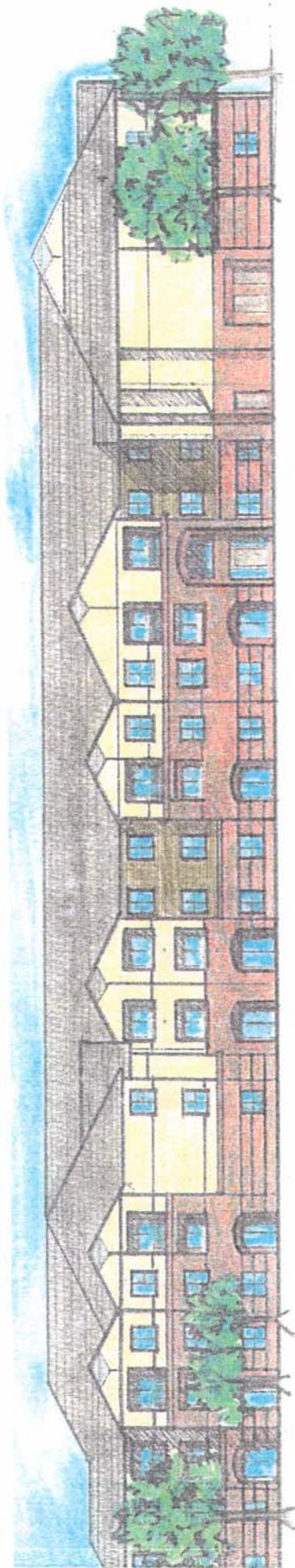
NOTICE IS HEREBY GIVEN that on the above indicated date, the City Council of the City of Sparks, Nevada, finally adopted the development plan for the above named development, whose legal description is attached as **Exhibit A**.

Pursuant to NRS 278A.570 (2) after this amended plan is recorded, all previous approvals and all zoning and subdivision regulations applicable to the property described in Exhibit A cease to apply and are replaced with the plan attached as Exhibit B hereto.

Dated this ^{to} 21 day of March, 2007

City of Sparks, Nevada

By 
Lenda Ulrich 
Acting City Clerk DEBORINE J DUAN



Prater Senior Apartments

*Final Design Standards Handbook
October 2003*

Prepared By:

*Summit Engineering Corporation
5405 Mae Anne Avenue
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Prepared For:

*Prater Partners LP
2375 S. Arlington Avenue
Reno, Nevada 89509*

Contents

CHAPTER 1 - PROJECT DESCRIPTION	1
STATEMENT OF PURPOSE -INTRODUCTION	1
PERMITTED USES	1
PROJECT LOCATION	1
PROJECT GOALS & POLICIES	2
SURROUNDING LAND USES/VICINITY	4
SITE ANALYSIS.....	4
PROJECT DESCRIPTION.....	5
ARCHITECTURAL THEME.....	5
INFRASTRUCTURE	5
PROJECT PHASING	6
ADMINISTRATION	6
CHAPTER TWO - DEVELOPMENT STANDARDS	7
GENERAL PROJECT STANDARDS	7
STREET AND PEDESTRIAN SYSTEM	9
DRIVEWAYS.....	9
SIDEWALKS & PATHS	9
PARKING STANDARDS	10
ARCHITECTURE	10
UNIT FEATURES	10
EXTERIOR MATERIALS	10
TREATMENT OF MECHANICAL EQUIPMENT.....	11
LANDSCAPE ARCHITECTURE	11
SIGNS	11
LIGHTING	12
BUFFERING/WALLS	12
LIST OF FIGURES	
FIGURE 1 - VICINITY MAP	1
FIGURE 2 - SURROUNDING ZONING	4
FIGURE 3 - FEMA MAP	4
FIGURE 4 - SITE PLAN & GROUND FLOOR PLAN	13
FIGURE 5 - SECOND FLOOR PLAN	14
FIGURE 6 - THIRD FLOOR PLAN	15
FIGURE 7 - ROOF PLAN.....	16
FIGURE 8 - TYPICAL ONE & TWO BEDROOM FLOOR PLANS	17
FIGURE 9 - WEST & SOUTH ELEVATIONS	18
FIGURE 10 - EAST & NORTH ELEVATIONS	19

Contents

LIST OF TABLES

TABLE 1 - PROJECT SUMMARY	5
TABLE 2 - DEVELOPMENT STATISTICS	7

APPENDICIES

APPENDIX A - COLOR ELEVATIONS	20
APPENDIX B - PRELIMINARY LANDSCAPE PLAN	23
APPENDIX C - PRELIMINARY HYDROLOGY & SEWER LETTERS	25
APPENDIX D - DEVELOPMENT APPLICATION & AFFIDAVIT	31
APPENDIX E - LEGAL DESCRIPTION / ALTA SURVEY	34

PLANNED DEVELOPMENT DESIGN STANDARDS HANDBOOK

CHAPTER 1 - PROJECT DESCRIPTION

Statement of Purpose -Introduction

The project proposed is Prater Senior Apartments. The development of this project shall be governed by this handbook. The parcel covered within this book was purchased by the City of Sparks November, 2002 with redevelopment agency funds. Concurrent with this purchase, the City of Sparks entered into a 53-year lease arrangement with Prater Partners to develop a 72-unit senior affordable housing project on the site. It is anticipated that the partnership/developer entity will purchase the parcel from the City at the end of the lease period.

The parcel was previously zoned Professional Office (PO) and currently has a vacant bank building on the property. In March 2003, Sparks City Council approved a zone change to New Urban District (NUD) which will allow the development of the proposed project with the approval of this handbook. The master plan land use designation for the project site is Office Professional. Multiple family residential development is allowed in this land use designation with an approved discretionary entitlement. This Planned Development Review is the discretionary entitlement for this project. Construction will be allowed with the issuance of a building permit.

Permitted Uses

The project as proposed consists of a 72-unit, affordable senior housing complex. In addition to the residential use, the project proposes a number of on-site ancillary uses which will include a beauty shop, computer lab, library, exercise facilities, a game room, meeting and common rooms, maintenance facilities, and management offices. Accessory uses customarily associated with independent senior housing, such as those listed above, shall also be permitted.

Project Location

The project site is located on the southeast corner of Pyramid Way and Prater Way (795 Prater Way, APN 033-181-007), and 0.95 acres in size.

*FIGURE 1
VICINITY MAP*



Project Goals & Policies

The project addresses each of the following goals and policies:

PD1 - The plan is consistent with the objective of furthering the public health, safety, morals and general welfare by providing for housing of all types and designs. The plan consists of one project which will provide a multi-family rental project affordable to low-income seniors. There are no other projects of the type of design or type of housing in the neighborhood surrounding the plan site.

PD2 - The plan is consistent with the objective of furthering the public health, safety, morals and general welfare by providing for necessary commercial and industry facilities conveniently located to the housing. The project plan only provides for housing, however, the location of the site is an in-fill parcel in an already developed neighborhood with commercial uses located conveniently to the housing project.

PD3 - The plan is consistent with the objective of furthering the public health, safety, morals and general welfare by providing for the more efficient use of land and public or private services. The proposed project site is currently a vacant building, formerly used as a bank. The vacant building will be removed and a housing project, which utilizes the full site, will be built. The project will be a high-density project on an in-fill site which maximizes the use of the parcel. The site is also located along two major bus routes which will increase efficiency of public transportation.

PD4 - The plan is consistent with the objective of furthering the public health, safety, morals and general welfare by providing for changes in technology of land development so that resulting economies may be available to those in need of homes. The project is a high-density project which provides for the affordability of the units for seniors needing a cost efficient place to live.

PD5 - The plan is consistent with the objective of furthering the public health, safety, morals and general welfare by providing for flexibility of substantive regulations over land development so that proposals for land development are disposed of without undue delay. The plan has only one component that should be able to be processed within six months and allow for the start of construction in November 2003.

PD6 - The plan does not depart from zoning and subdivision regulations otherwise applicable to the property, and therefore, has no impact on the public interest for density. The project plan site has been zoned NUD and conforms to that zoning.

PD7 - The plan does not depart from zoning and subdivision regulations otherwise applicable to the property and therefore has no impact on the public interest for bulk. The project plan site has been zoned NUD and conforms to that zoning.

PD8 - The plan does not depart from zoning and subdivision regulations otherwise applicable to the property and therefore has no impact on the public interest for use. The project plan site will be used only for residential use and conforms to the site zoning.

PD9 - The ratio of residential to nonresidential use in the planned development is 1:0.

PD10 - Common open space in the planned development exists for the purpose of providing open space for the resident's use such as picnic and barbecue areas. Common space is located in the front courtyard of the building near the entrance and surrounding the building. The common space and landscaping comprises approximately 9.853 square feet on the site.

PD11 - The plan does provide for maintenance and conservation of the common open space. The project owners will be fully responsible for all maintenance of common space including upkeep and irrigation.

PD12 - The plan's proposed density is 75 units per acre for a senior apartment complex and therefore provide adequate common open space for the intended use.

PD13 - The plan does not provide for public services. All services available through the apartment complex are for residents only.

PD14 - The plan provides for control over vehicular traffic. Vehicular access to the site is provided for only on Wright Avenue and Seventh Street. No access, except pedestrian, will be allowed from the two major thoroughfares, Pyramid and Prater.

PD15 - The plan does provide for the furtherance of access to light, air, recreation and visual enjoyment. The project is planned to provide patios/balconies to each unit which will provide light and air to each individual apartment. The project also will have common recreation space indoors in a weight/exercise room and a library. The exterior of the project will have a courtyard with picnic tables and barbecues for residents.

PD16 - The relationship of the proposed planned development to the neighborhood in which it is proposed to be established is beneficial. A vacant building will be removed and an attractive building for seniors will be built which will provide affordable housing for seniors throughout Sparks. The landscaping and building will provide aesthetic value to the neighborhood.

PD17 - The plan will be developed in one phase through the construction of a single building between November 2003 and November 2004.

PD18 - The project, as submitted and conditioned, is consistent with the City of Sparks Master Plan. The project site has been rezoned by the City of Sparks and findings have been made by the Planning Commission and City Council that the plan is in conformance with the Master Plan.

PD19 - The project is consistent with the surrounding existing land uses. The surrounding existing land uses are residential and office/professional. The proposed project is residential.

PD20 - Public notice was given and a public hearing was held for the zoning of the project site.

PD21 - There is no modification of an existing Planned Development.

Surrounding Land Uses/Vicinity

The project site is surrounded by R1-6, R2, R5, and PO zoned parcels. The surrounding land uses are predominantly residential and office/professional in nature. The neighborhood consists of mostly single-family homes that are currently used as residences or have been converted to office use. In addition, a church, convenience store, and Sparks City Hall are all located within three blocks of the project site. The density of the proposed project is higher than the existing density in the neighborhood, but consistent with the objectives of the New Urban District zoning which encourages higher density housing along major transit corridors.

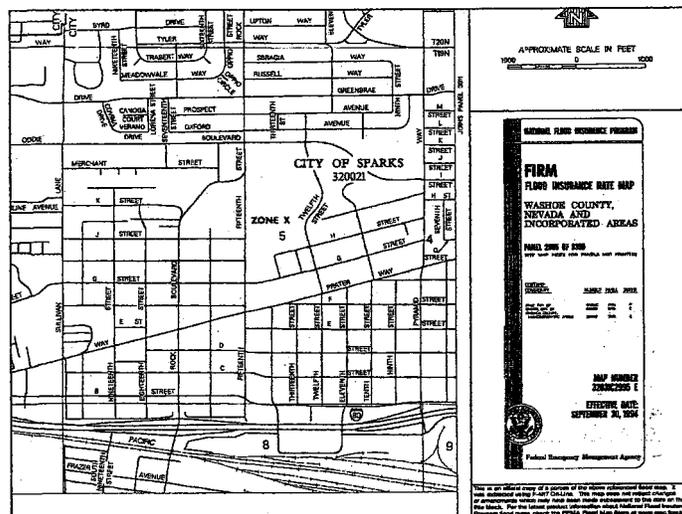
*FIGURE 2
SURROUNDING ZONING*



Site Analysis

According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) community panel numbers 32031C2995 and 32031C3011, the site is located within flood zone "X" (unshaded), which is determined to be outside the 500-year floodplain. In addition, no wetlands exist on the project site. (See Figure 3.)

*FIGURE 3
FEMA MAP OF SITE AND VICINITY*



The site is currently occupied by a vacant bank building and parking lot. The site is virtually flat thereby eliminating the need for a slope analysis map.

Project Description

The project consists on only one component to the plan: a senior affordable housing project consisting of one single building that will provide 72 apartments and common space. The primary land use is residential, with small ancillary uses intended to serve residents only.

*TABLE 1
PROJECT SUMMARY*

Project Name	Land Use	Acres	Size	Density
Prater Senior Apts.	Multi-Family Residential/ Common Space/Multi-Use	0.95	1 lot	75 units/acre

Ancillary uses shall be located within the common space areas and will include uses such as a beauty shop, library, game room, meeting/common rooms, exercise room, computer lab, management offices, and maintenance facilities. There are no parks or proposed school sites as the planned development involves a senior living center only.

The project site is currently located within the Sparks City limits and will not require a fiscal analysis.

Architectural Theme

The overall design concept is to develop building mass elements which are contextually sensitive to the surrounding environment. The building was sited to form a "U" shape which creates a secure outdoor activity area with a sunny orientation. The building acts as a sound buffer from Prater and Pyramid and provides visual privacy from these major arterials. Additional outdoor activity areas are incorporated with the site plan to enliven and add interest to the pedestrian experience. A post-modern approach to the building skin was selected for its street appeal and economy of construction. Multiple colors and a mix of stucco and lapped siding materials provide visual interest and emphasis to the building elements to reduce the overall scale of the project. Reveal joints, balcony railings and molded trim create a human scale and texture to the project when viewed from the pedestrian level.

Infrastructure

It is estimated the project will generate 15,675 gallons per day of sewage. This estimate is based on 1,045 fixture units and 15 gallon/fixture unit-day. (Reference the Prater Senior Apartments Letter Form Sewer Report located in Appendix A). An eight (8) inch sanitary sewer line extends northerly across the middle of the parcel. Verification shall be made to the

satisfaction of the Public Works Director as to the condition of this line. If this line is found dry, i.e. carrying no flow from off-site, this line may be used as the sewer service for the project. Any unused portions of the pipe shall be abandoned and removed.

Upon development of the site as apartments, it is estimated the project will generate flows of 0.76 cfs and 2.63 cfs during the 5-year and 100-year storms respectively. These values are less than the flows generated (0.82 cfs and 2.70 cfs during the 5-year and 100-year storms respectively) by the site in its current developed state. (See Prater Apartments Letter Form Preliminary Hydrology Report located in Appendix C.)

An easement reserved for public utilities, sewer lines and storm drains per document number 609141 exists on the property. The utilities and associated easements shall be abandoned or relocated in conjunction with a reversion to acreage.

An assessment of fire hydrant locations shall be provided. Additional fire hydrants will be provided as required by the Fire Chief. Manholes will also be provided to the approval of the Fire Chief.

Project Phasing

The project will be completed in a single phase. Construction will tentatively begin November 2003 with completion November 2004.

Administration

The administrator shall have the authority at their discretion to administratively approve minor deviations in the plans, standards, and guidelines as requested by the developer. Minor deviations include such items as parcel configuration, parcel size, irregular lots, and special setback conditions (up to 20% of the required setback).

Major deviations will be defined as any deviation that changes the intent of the approved Final Development Plan and Design Standards, such as zoning changes, deviations greater than twenty percent (20%) to the established development standards and or movement of land use classifications, which are not in conformance with the development standards described within this Final Development Plan and Design Standards. Major deviations will be handled as amendments to this Final Development Plan and Design Standards.

When issues arise that are not covered in the Design Standards, the provisions and definitions of the City of Sparks Municipal Code shall apply.

CHAPTER TWO - DEVELOPMENT STANDARDS

General Project Standards

The permitted use is multi-family residential, senior apartments. Uses ancillary to this primary use shall also be permitted. The project will consist of one, three story building with 72 residential units on 0.95 acres.

*TABLE 2
DEVELOPMENT STATISTICS*

Master Plan Designation		Office Professional
Zoning		NUD
Allowed Uses		Senior Housing & Ancillary Uses
Project Data		
Total Site Area	~41,692 SF	100%
Building Footprint	~22,058 SF	53%
Paving	~9,781 SF	23%
Landscape	~9,853 SF	24%
Building Data		
Unit Living Habitable Area	~48,238 SF	77%
Unit Patio & Exterior Storage (Not included in total building area)	~4,756 SF	
Common Area	~14,549 SF	23%
Total Building Area (Patios not included.)	~62,787SF	100%

Unit Data

One Bedroom	45	62%
Two Bedroom	27	38%
Total	72	100%

Unit Distribution	Units/Floor	1 Bed	2 Bed
Ground Floor	23	15	8
Second Floor	24	15	9
Third Floor	25	15	10
Total	72	45	27

Maximum Project Density 72 du (75du/ac)

Landscaping

Required Landscape Area	9,095 SF	20%
Provided Landscape Area	9,853 SF	24%
Trees Required		35
	30 (1 tree per 300 SF of required landscape area, excluding parking area)	
	5 (1 tree per 7 parking spaces, 32 spaces provided)	
Trees Provided		39
Lawn Area - Maximum Allowed	7,275 SF (80% of landscaped area)	
Lawn Area Provided	610 SF (5% of landscaped area)	

Parking Provided - Senior Citizen Housing

Number of Handicapped Spaces	3
Number of Standard Spaces	22
Number of Compact Spaces	7
Total	32

Building Height	(3 stories)	44 feet 2 inches
------------------------	-------------	------------------

Building Setback		
Front Yard		3 feet
Side Yard		3 feet
Rear Yard		3 feet

Street and Pedestrian System

There will be no public or private streets constructed as result of this project. The site is entirely surrounded by existing public streets. Traffic control signs shall be installed as directed by and to the approval of the Public Works Director.

Driveways

Access to the site will be achieved by means of Wright Way and 7th Street. Both points of access shall be 25 feet in width and AC paved. All drive approaches shall be designed per "Orange Book" Standard Detail 1-10. All ADA ramps shall be designed per "Orange Book" Standard Detail 1-8.

Any existing unused depressed curb shall be replaced with Type I vertical curb. Roll curb on 7th Street shall also be replaced with Type I curb. In addition, any existing deteriorated valley gutter shall be replaced, namely that located at the westerly terminus of Wright Way. All defective curb shall be repaired or replaced as directed by the Public Works Inspector.

Sidewalks & Paths

The pedestrian circulation plan will provide safe connections between offsite walkways and the internal development. It shall provide safe, clear, complete connections to the building, recreation and common areas, and parking.

- All paths will be made of concrete.
- Safe connection shall be provided between the project and existing sidewalk surrounding the project.
- Curb cuts and ramps will be used where any path connects with a curb or other obstacle.
- Existing sidewalks are to be replaced with P.C.C. sidewalk having a minimum four (4) feet width clear of existing telephone/power poles.

Parking Standards

The parking provided shall be a mix of standard and compact parking spaces with three handicapped spaces located at the front entrance of the building. Thirty two parking spaces will be provided. In addition, eighteen (18) RTC/Citifare bus passes shall be provided annually by Prater Partners for tenants use, as the project lies in a Transit Oriented Development (TOD) Corridor.

Architecture (See Figures 4 through 11.)

The project will consist of one, type 5 building. The one building footprint provides an internal corridor circulation system for easy access to all building amenities with minimal exposure to elements.

Unit Features

The one bedroom units are approximately 611 square feet and the two bedroom units range from 744 to 751 square feet in size. (See Figure 9 for the individual floor plans.)

Each unit will have:

- pantry cabinets
- dishwashers
- wall to wall carpeting and drapes
- air conditioning and heating
- ceiling fans
- range/over and hood fan
- garbage disposal
- refrigerator/freezer
- patio/balcony
- washers/dryers
- security/emergency alert system with 24-hour monitoring capabilities

Exterior Materials

- The exterior building materials will consist of a combination of wood siding and stucco. (See Color Elevation renderings, Appendix A.)
- All colors will be earth tone shades.
- The roofing materials will consist of 40-year comp shingles.
- White vinyl window frames shall be implemented.

Treatment of Mechanical Equipment

- All air conditioning units shall be integrated into the building and screened from public view with landscaping or walls that are an extension of the building.
- All mechanical and electrical equipment shall be located at grade and screened from view.

Landscape Architecture

The primary goals for landscape design is to provide an overall visually pleasant environment. The landscape plan shall create an interesting pedestrian and circulation corridor and entry features. It is intended to support the architectural theme and foster a sense of community. The landscape design shall also provide functional screening and buffering where necessary. (See Appendix B, Preliminary Landscape Plan.)

- All planting and irrigation shall be installed per local governing codes.
- Final plant selection and layout will be based on sound horticultural practices relating to micro-climate, soil, and water regimes. All trees will be staked so as to remain upright and plumb following installation. Plant size and quality at time of planting will be per the American Standard for Nursery Stock (ANSI Z60.1-1990).
- All shrub beds will receive four inch depth rock mulch over weed barrier fabric.
- All landscaping will be automatically irrigated. Turf grass will be irrigated using low angle spray, rotary, and/or impact heads to reduce wind drift. Container plantings will be drip irrigated based on the specific horticultural requirements of each species. The irrigation system will be designed to allow full irrigation of the site on a twice-a-week watering basis. A reduced-pressure-type backflow preventor will be provided on the irrigation system as required per code.

Signs

Any signs for this project will be limited to one (1) of the following options:

- The R5 - Multiple Family Residential standards as outlined in the Sparks Municipal Code Chapter 20.56. If the monument sign is an internally illuminated cabinet sign, then fifty percent (50%) of the sign area shall be opaque.
- Or, a maximum of three (3) building signs which are indirectly, internally, or halo illuminated, with no more than two (2) signs per frontage, and the maximum total sign area shall not exceed 32 square feet. The signs shall be individual channel letter.

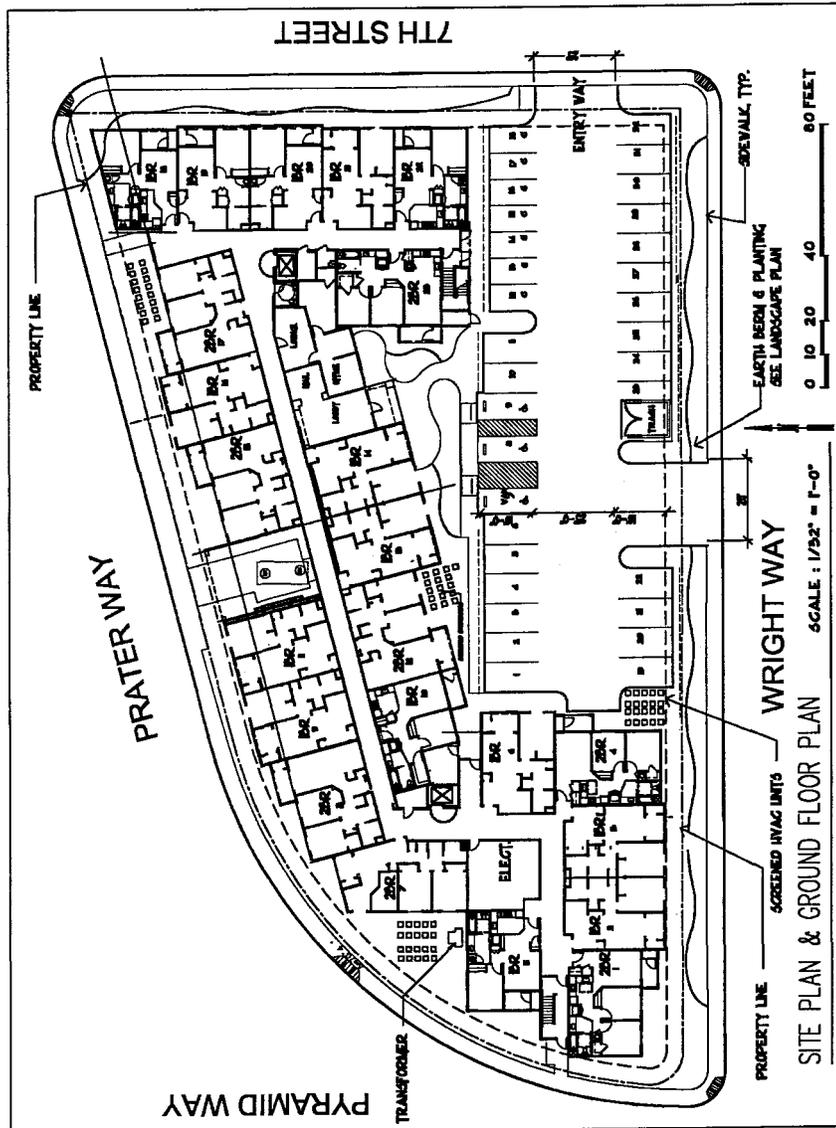
Lighting

Exterior lighting in the parking areas will be provided by a combination of wall and ceiling mounted fixtures with cut off lenses. Lighting along outdoor pathways will be provided with a combination of low level bollards and wall mounted fixtures.

Buffering/Walls

Earth berms and building walls will screen substantial portions of the on-site parking from public view. Open tubular iron fencing will provide security around portions of the site as indicated on the site plan. (See six (6) foot open view fence diagram on Preliminary Landscape Plan, Appendix B.) Mangates shall be provided to the approval of the Fire Chief.

FIGURE 4
SITE PLAN & GROUND FLOOR PLAN



PROJECT DATA

SITE	
TOTAL AREA	41,692 S.F. (100%)
BUILDING FOOTPRINT	22,058 S.F. (53%)
PAVING	9,781 S.F. (23%)
LANDSCAPE	9,853 S.F. (24%)
BUILDING	
TYPE V, 1-HR CONSTRUCTION	
1 BEDROOM UNITS	45 (63%)
2 BEDROOM UNITS	27 (37%)
TOTAL UNITS	72 (100%)
UNIT LIVING HABITABLE AREA	48,256 S.F. (177%)
UNIT PATIO AND EXTERIOR STORAGE	4,756 S.F.
COMMON AREA	14,549 S.F. (35%)
TOTAL BUILDING AREA	62,767 S.F. (151%)
(PATIO AREAS NOT INCLUDED)	

PARKING PROVIDED

STANDARD	22
COMPACT	7
ACCESSIBLE	2
VAN	1
TOTAL PARKING	32

UNITS DISTRIBUTION

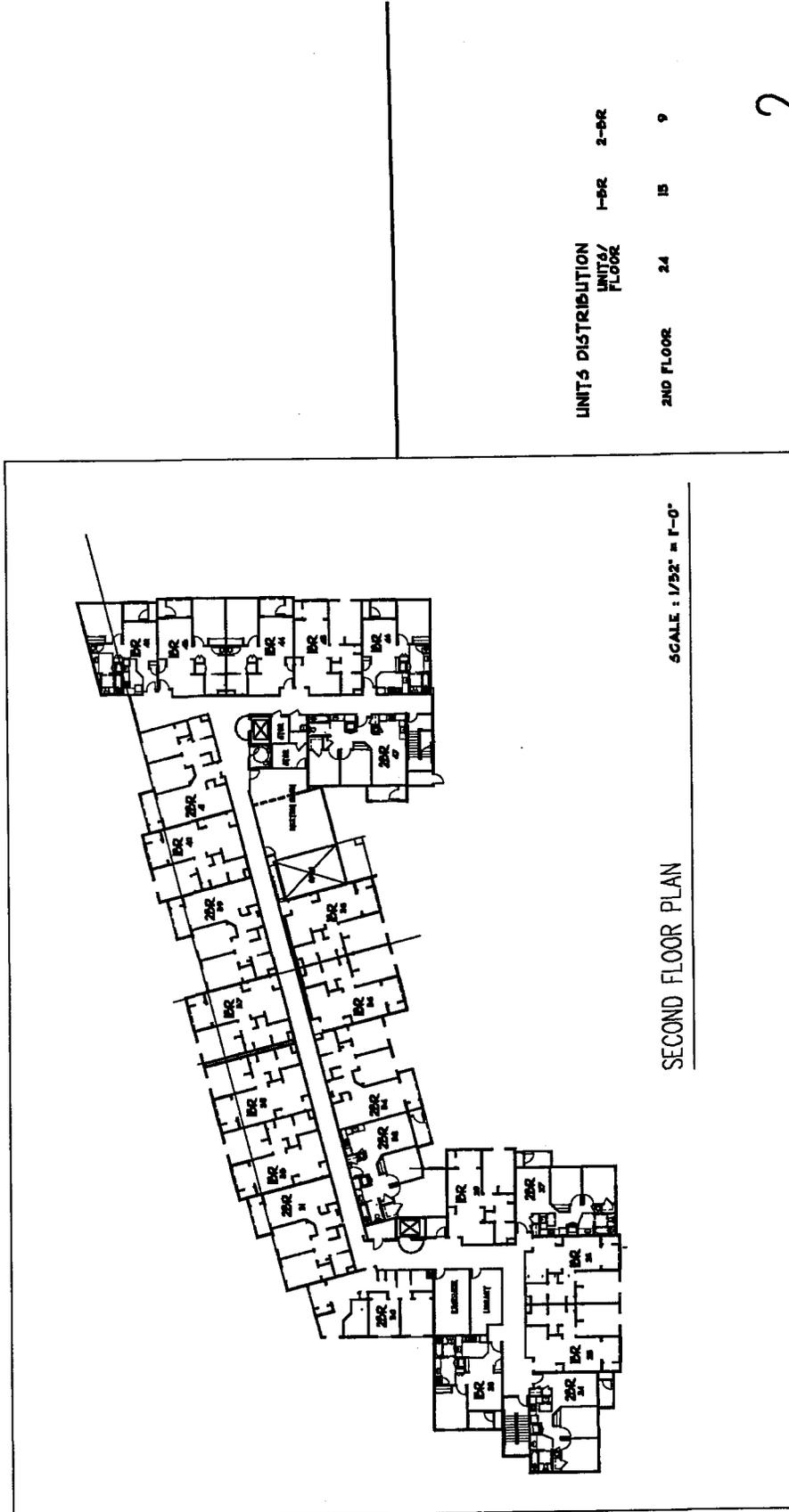
	UNITS/FLOOR	1-BR	2-BR
3RD FLOOR	25	15	10
2ND FLOOR	24	15	9
GROUND FLOOR	23	15	8
TOTAL	72	45	27



Stephen E. Harrison AIA & Associates
Architecture & Interior Design
825-304-1160

Prater Apartments
Sparks, Nevada 89409

**FIGURE 5
SECOND FLOOR PLAN**



UNITS DISTRIBUTION	
UNITS/ FLOOR	FLOOR
24	1-BR
9	2-BR

SCALE : 1/32" = 1'-0"

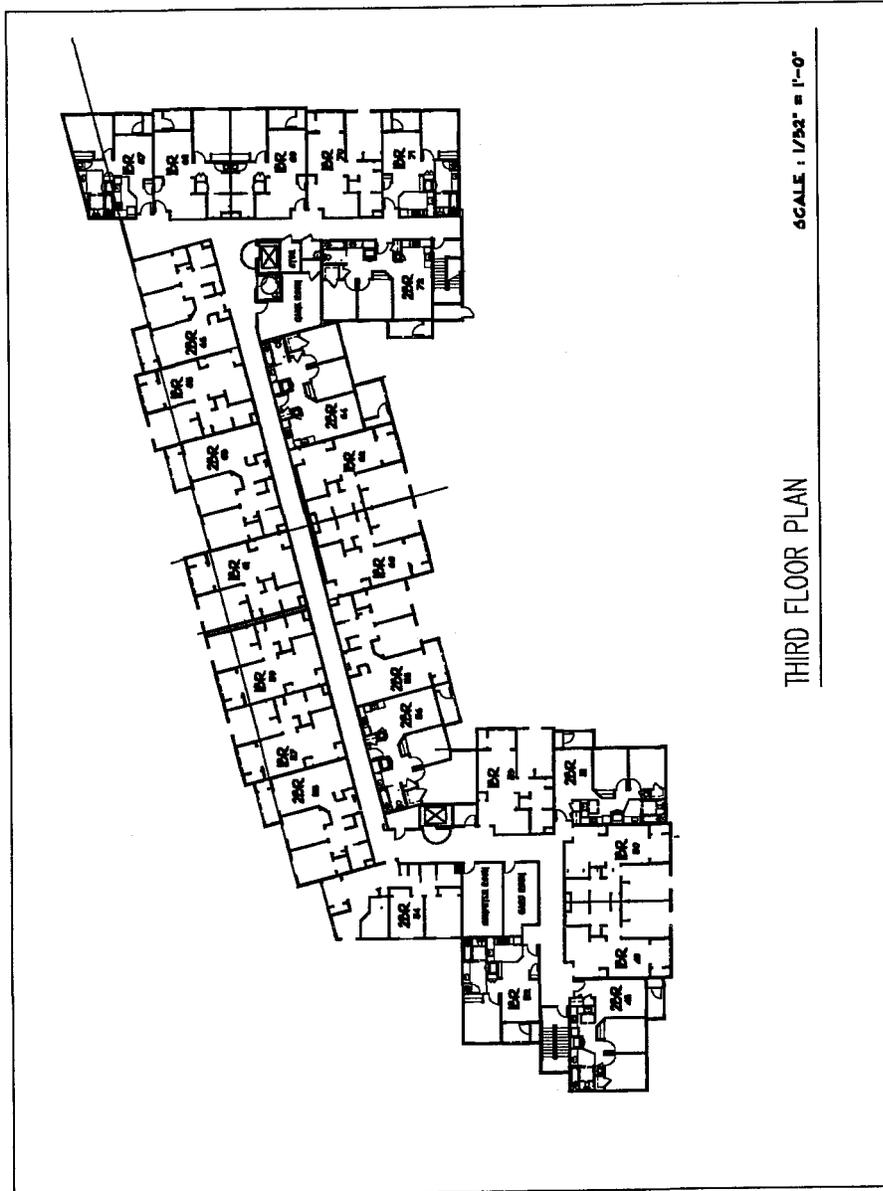
SECOND FLOOR PLAN



Prater Apartments
Sparks, Nevada

Stephen E. Herriman A.L.L. & Associates
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925-994-1760

FIGURE 6
THIRD FLOOR PLAN



UNITS DISTRIBUTION

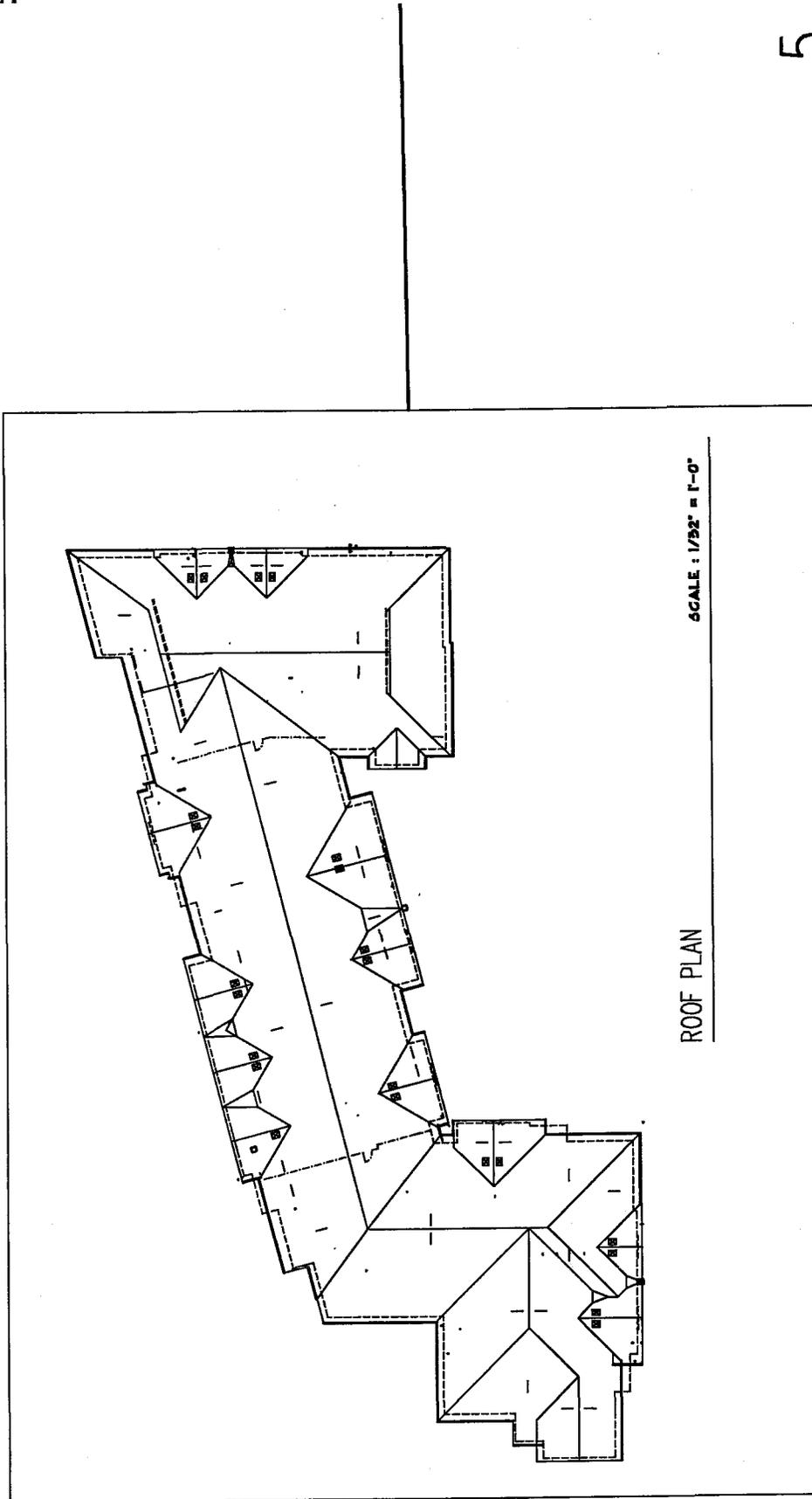
UNITS/ FLOOR	1-BR	2-BR
3RD FLOOR	15	10



Stephen R. Harrison A.L.L. & Associates
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932-934-1160

Prater Apartments
Sparks, Nevada

FIGURE 7
ROOF PLAN

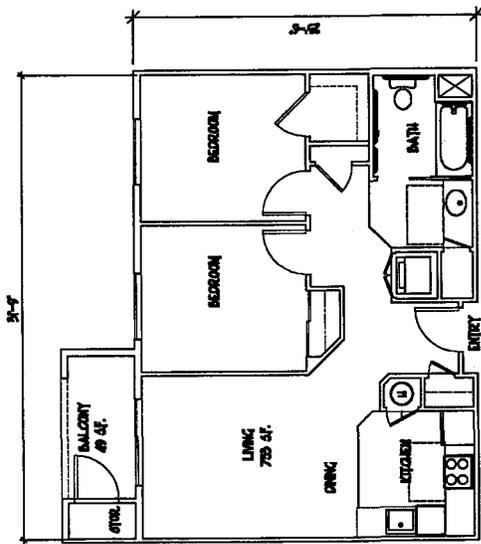


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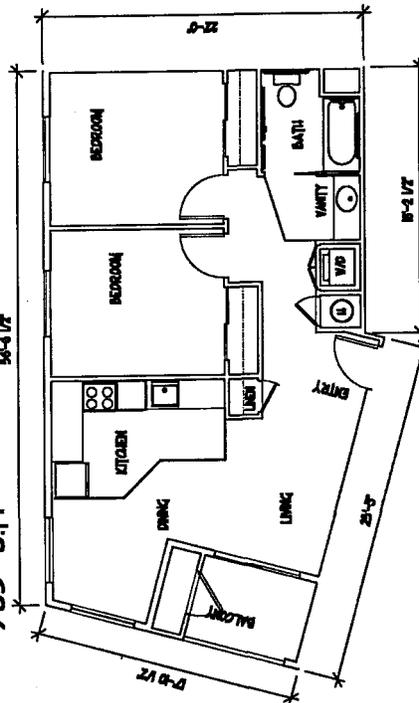
Prater Apartments
Sparks, Nevada

FIGURE 8
TYPICAL ONE AND TWO BEDROOM FLOOR PLANS



TYPICAL TWO BEDROOM UNIT PLAN

753 S.F.



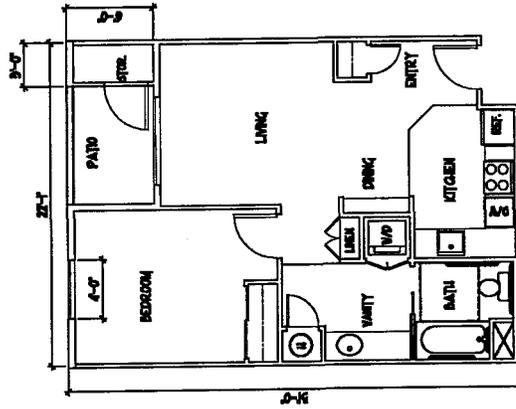
TYPICAL ONE BEDROOM UNIT PLAN

607 S.F.



TWO BEDROOM CORNER UNIT PLAN

763 S.F.



TYPICAL ONE BEDROOM UNIT PLAN

607 S.F.

Prater Apartments

Sparks, Nevada

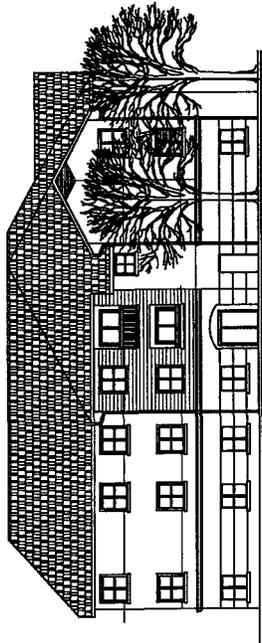
07.11.00

Stephen F. Rasmussen, AIA, & Associates
Architects & Interior Design
800-854-1160

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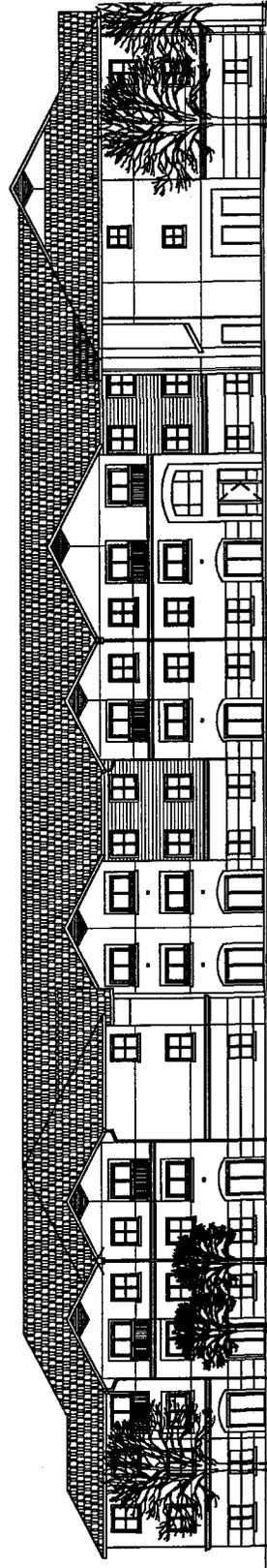
FIGURE 9
WEST & SOUTH ELEVATIONS



WEST ELEVATION

BUILDING MATERIAL AND COLOR

- 1. WALL: BRICK (SEE NOTE 1)
- 2. ROOF: GABLE (SEE NOTE 1)
- 3. WINDOW: WHITE
- 4. DOOR: WHITE
- 5. PORCH: WHITE
- 6. BALCONY: WHITE
- 7. DRIVE: ASPHALT
- 8. DRIVE: ASPHALT



SOUTH ELEVATION

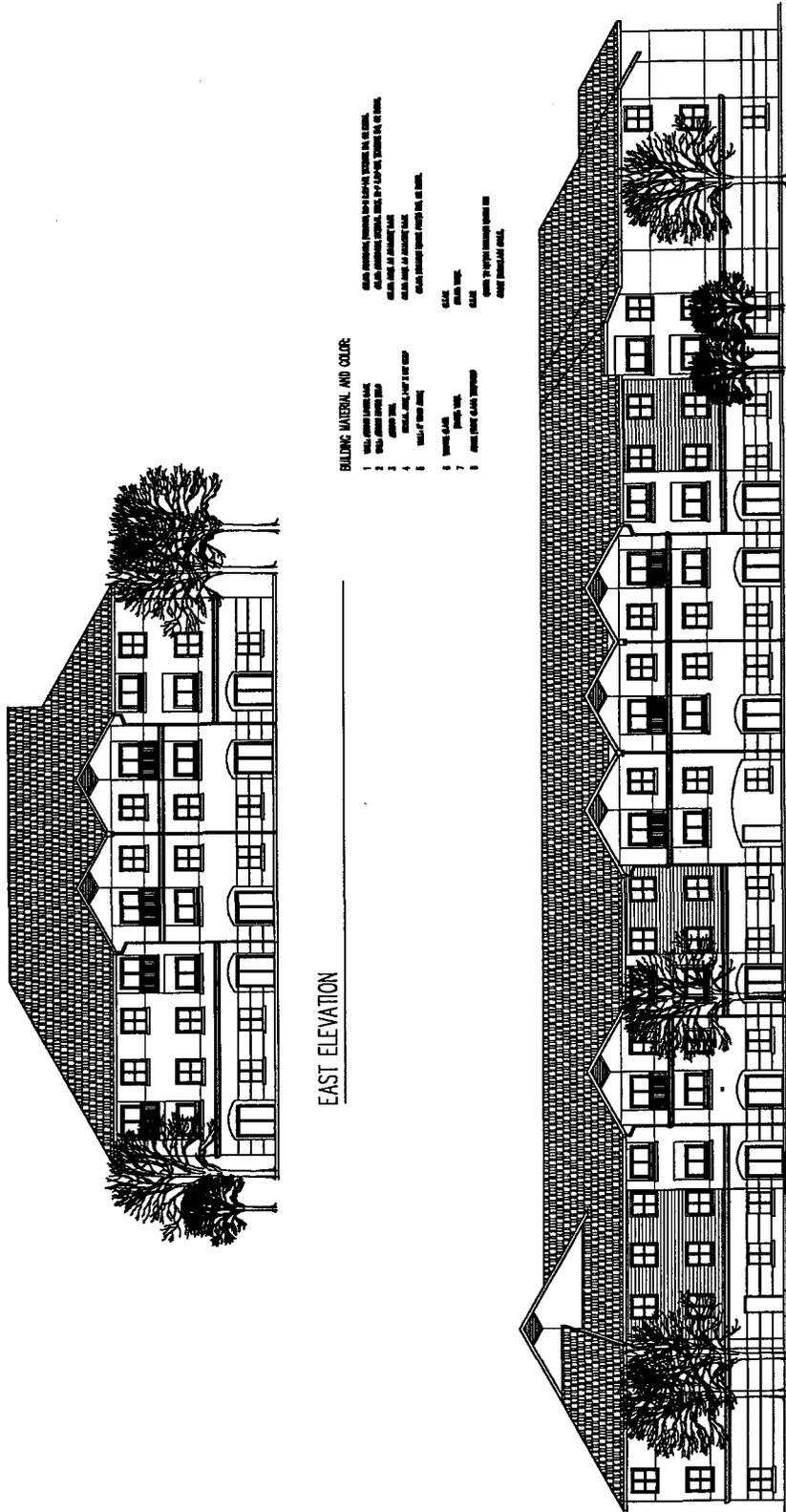


Prater Apartments
Sparks, Nevada



Stephen R. Ferriman, A.I.A. & Associates
Architects & Interiors Design
885-257-1155

**FIGURE 10
EAST & NORTH ELEVATIONS**



EAST ELEVATION

NORTH ELEVATION

BUILDING MATERIAL AND COLOR

1. BRICK
2. STUCCO
3. CONCRETE
4. GLASS
5. WOOD
6. METAL
7. PAINT
8. OTHER



SCALE 1/8" = 1'-0"

Prater Apartments
Sparks, Nevada

Stephen P. Richardson, AIA, & Associates
Architects & Interior Design
887-94-1188

APPENDIX A

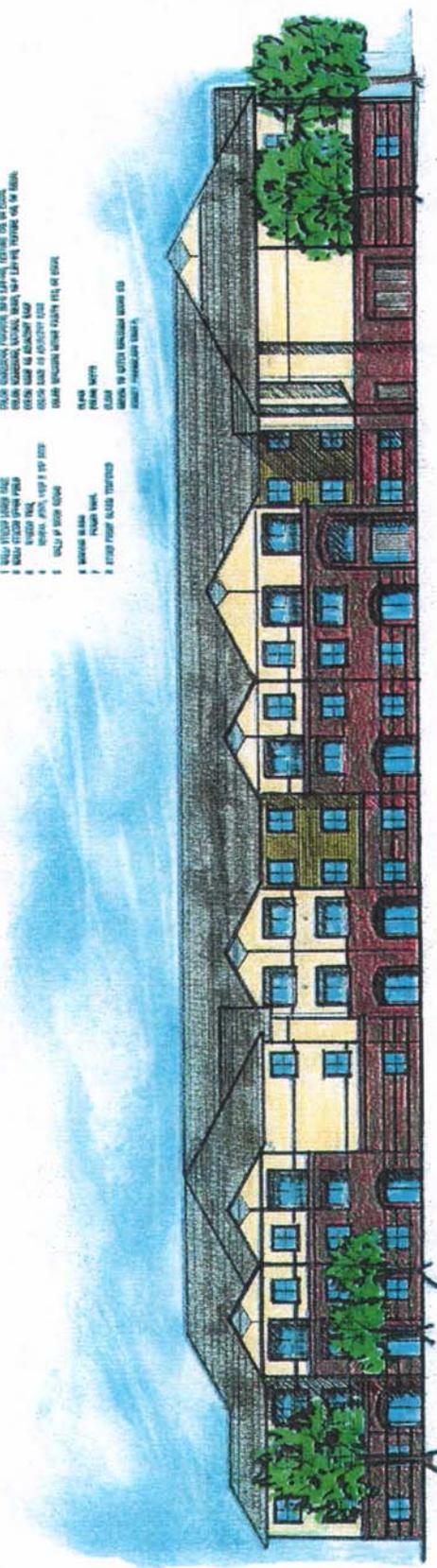
COLOR ELEVATIONS



WEST ELEVATION

BUILDING MATERIAL AND COLOR

- BRICK (WEST SIDE)
- BRICK (EAST SIDE)
- BRICK (CORNER)
- BRICK (BASE)
- BRICK (ROOF)
- BRICK (GABLE)
- BRICK (CHIMNEY)
- BRICK (DORMER)
- BRICK (PORCH)
- BRICK (WALKWAY)
- BRICK (LANDING)
- BRICK (STAIR)
- BRICK (ELEVATOR)
- BRICK (CORNER)
- BRICK (BASE)
- BRICK (ROOF)
- BRICK (GABLE)
- BRICK (CHIMNEY)
- BRICK (DORMER)
- BRICK (PORCH)
- BRICK (WALKWAY)
- BRICK (LANDING)
- BRICK (STAIR)
- BRICK (ELEVATOR)



SOUTH ELEVATION



Prater Apartments

Stephen E. Aguirre, AIA, & Associates
Architects & Interior Design
812-24-1100



EAST ELEVATION

NORTH ELEVATION

- MATERIALS, FINISHES AND COLORS**
- 1. BRICK - RED BRICK
 - 2. BRICK - BROWN BRICK
 - 3. BRICK - LIGHT BROWN BRICK
 - 4. BRICK - DARK BROWN BRICK
 - 5. BRICK - LIGHT RED BRICK
 - 6. BRICK - LIGHT BROWN BRICK
 - 7. BRICK - LIGHT BROWN BRICK
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 - 48. BRICK - LIGHT BROWN BRICK
 - 49. BRICK - LIGHT BROWN BRICK
 - 50. BRICK - LIGHT BROWN BRICK

Prater Apartments
 Sparks, Nevada

Scale: 1/8" = 1'-0"

Page 8 of Appendix A to the
 Ordinance of the City of Sparks
 Adopted on 11/15/2011
 Ordinance No. 2011-012

APPENDIX B

PRELIMINARY LANDSCAPE PLAN

PRATER SENIOR APARTMENTS

PRELIMINARY LANDSCAPE PLAN

Sparks, Nevada

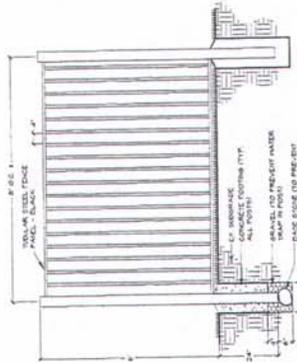


- GENERAL NOTES**
- 1) ALL PLANTING AND IRRIGATION SHALL BE INSTALLED PER LOCAL GOVERNING CODES.
 - 2) FINAL PLANT SELECTION AND LAYOUT WILL BE BASED ON SOIL AND CLIMATE DATA. PLANTS WILL BE STAKED SO AS TO BEHOLD UPRIGHT AND PLUMB FOLLOWING INSTALLATION. PLANT SIZE AND SPACING SHALL BE DETERMINED BY THE AMERICAN STANDARD FOR PLANTING AND IRRIGATION PRACTICES, 1988.
 - 3) ALL SHRUB BEDS WILL RECEIVE 4" DEPTH HOOD MULCH OVER WOOD BARRIER FABRIC. MULCH SHALL BE 2" THICK AND 100% ORGANICALLY DECOMPOSED. TURF GRASS SHALL BE IRRIGATED USING A LOW ANGLE SPRAY AND/OR IMPACT HEADS TO REDUCE WIND DRIFT. CONTAINER PLANTS WILL BE IRRIGATED USING A SOAKING CAN. ALL IRRIGATION SHALL BE DESIGNED TO ALLOW FULL IRRIGATION OF THE SITE ON A TWICE-A-WEEK WATERING BASIS. A PERMANENT FLOW METER AND FLOW PREVENTION WILL BE PROVIDED ON THE IRRIGATION SYSTEM AS REQUIRED PER LOCAL.

PLANT LEGEND

These Plant quantities indicated are approximate, subject to evolution during development of final construction documents. Final species selection may vary upon development of the final construction documents.

SYMBOL	DESCRIPTION	QUANTITY
	DECIDUOUS SHADE TREE (50% 2" CAL. & 50% 1" CAL.)	9 +/-
	FLOWERING ORNAMENTAL TREE (50% 2" CAL. & 50% 1" CAL.)	20 +/-
	EVERGREEN TREE (Minimum 6' Height)	10 +/-
	MIXED SHRUB BED (80% - 5 Gall., 40% - 1 Gall.)	630 +/-
	TURF GRASS	



6' OPEN VIEW FENCE



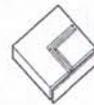
HANSEN LANDSCAPE ARCHITECTS, INC.
 Plant Planning, Landscape Architecture & Landscape Construction
 2215 First Street, Suite 200
 Sparks, NV 89411
 Telephone: (775) 343-1111
 Fax: (775) 343-1111
 Email: hansen@hansen.com
 NLR# 114,880-81
 MAY 19, 2003

LANDSCAPE DATA

- SITE AREA: 46,478 S.F.
- ZONING: PUD
- REQUIRED LANDSCAPE AREA: 9,098 S.F.
- 9,098 S.F. OF TOTAL SITE AREA
- PROVIDED LANDSCAPE AREA: 13,433 S.F.
- TREES REQUIRED: 37
- 30 (1) TREE PER 300 SF OF OPEN SPACE AREA (EXCLUDING PARKING AREA)
- 7 (1) TREE PER 100 SF OF OPEN SPACE (EXCLUDING PARKING AREA)
- TREES PROVIDED: 39
- LAWN AREA MAXIMUM ALLOWED: 7,275 S.F. (16% OF LANDSCAPED AREA)
- LAWN AREA PROVIDED: 810 S.F. (15% OF LANDSCAPED AREA)

SITE AMENITIES:

- 1) PAVING TABLES (2) WROUGHT IRON FENCE COLOR: BLUE
- 2) LOCAL IRON FENCE (GOTTSCHEWAL, 40 ENTERPRISE) 8\"/>



Stephen E. Harriman A.L.A. & Associates
 Architecture & Interior Design
 925-834-1160

APPENDIX C

HYDROLOGY & SEWER LETTERS



- April 18, 2003

Mr. Richard Brookes
 Engineering Associate
CITY WORKS
 1675 E. Prayer Way, Suite 107
 P.O. Box 857
 Sparks, Nevada 89432-0857

Re: *Prater Apartments letter form preliminary Hydrology Report, City of Sparks, Nevada.*

Dear Mr. Brookes,

The proposed Prater apartments are located to the East of Pyramid Highway and to the South of Prater Way in Sparks, Nevada. The site consists of 0.96 acres of currently developed land consisting of a bank building and associated parking lot. Utilizing the values contained within the City of Sparks drainage manual for rational formula calculations, the site in the current developed state generates a flow during the 5-year and 100-year storms of 0.82 cfs and 2.70 cfs respectively. Upon development the site generates flows of 0.76 cfs and 2.63 during the 5-year and 100-year storms respectively. Upon development as apartments the runoff from the site will be essentially the same.

Due to the relatively small size of the site the impact to existing drainage facilities are felt to be minimal. Various figures and tables have been attached for your review.

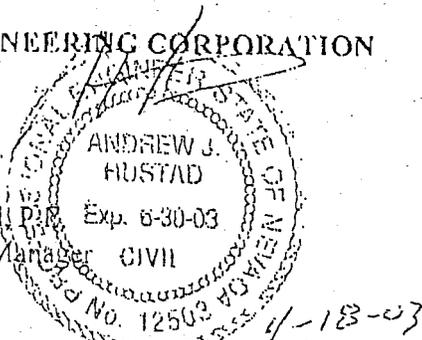
Respectfully submitted,

SUMMIT ENGINEERING CORPORATION

Andrew J. Hustad, P.E. Exp. 8-30-03
 Las Vegas Area Manager CIVIL

AJH/jnw

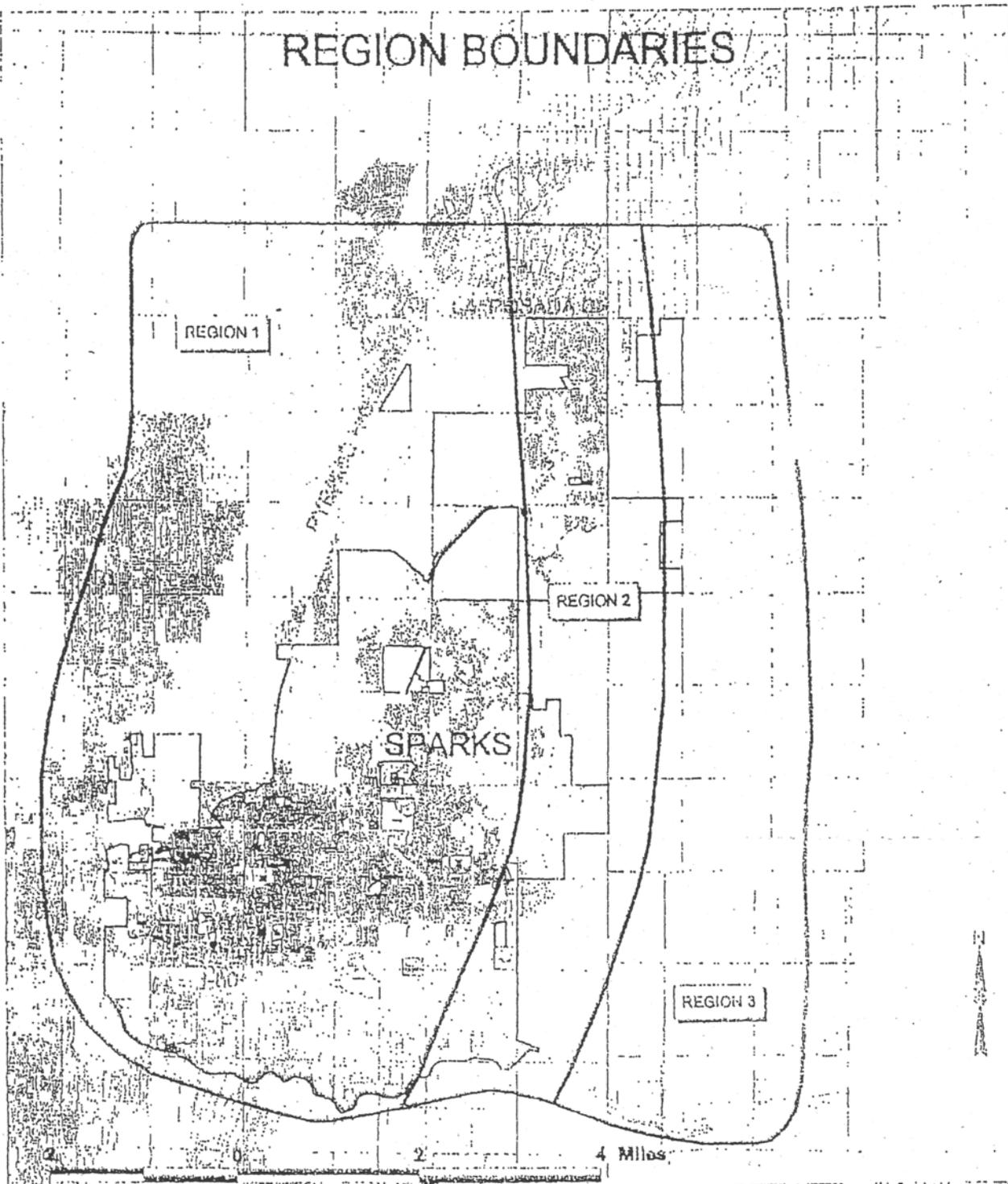
D:\Documents\Engineering\proposals\City Works\waterhydro



CITY OF SPARKS

HYDROLOGIC CRITERIA AND DRAINAGE DESIGN MANUAL

REGION BOUNDARIES



VERSION: Feb 23, 2000

REFERENCE:

NOAA Semi-arid Precipitation Study - Nevada, 1997

FIGURE
601



CITY OF SPARKS
HYDROLOGIC CRITERIA AND DRAINAGE DESIGN MANUAL

RAINFALL DEPTH - DURATION - FREQUENCY DATA
REGION 1

DEPTH (inches)										
Return Period (Yr.)	5 min	10 min	15 min	30 min	1 hr	2 hr	3 hr	6 hr	12 hr	24 hr
2 yr	0.11	0.16	0.20	0.27	0.33	0.44	0.52	0.70	0.88	1.06
5 yr	0.15	0.22	0.27	0.37	0.45	0.59	0.69	0.91	1.13	1.36
10 yr	0.19	0.28	0.34	0.47	0.57	0.72	0.83	1.06	1.33	1.50
25 yr	0.25	0.38	0.46	0.63	0.77	0.92	1.03	1.27	1.58	1.90
50 yr	0.32	0.47	0.58	0.79	0.96	1.10	1.21	1.43	1.78	2.13
100 yr	0.39	0.59	0.72	0.98	1.19	1.31	1.40	1.58	1.97	2.35

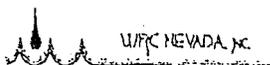
INTENSITY (in/hr)										
Return Period (Yr.)	5 min	10 min	15 min	30 min	1 hr	2 hr	3 hr	6 hr	12 hr	24 hr
2 yr	1.31	0.97	0.79	0.54	0.33	0.22	0.17	0.12	0.07	0.04
5 yr	1.78	1.32	1.08	0.74	0.45	0.29	0.23	0.15	0.09	0.06
10 yr	2.25	1.67	1.36	0.93	0.57	0.36	0.28	0.18	0.11	0.07
25 yr	3.03	2.25	1.84	1.26	0.77	0.46	0.34	0.21	0.13	0.08
50 yr	3.80	2.82	2.30	1.57	0.96	0.55	0.40	0.24	0.15	0.09
100 yr	4.73	3.51	2.87	1.96	1.19	0.66	0.47	0.26	0.16	0.10

VERSION: July 2, 1998

REFERENCE:

NOAA Semi-arid Precipitation Study - Nevada, 1997

TABLE
601



CITY OF SPARKS
HYDROLOGIC CRITERIA AND DRAINAGE DESIGN MANUAL

RATIONAL FORMULA METHOD
RUNOFF COEFFICIENTS

Runoff Coefficients

Land Use or Surface Characteristics	Aver. % Impervious Area	5-Year (C ₅)	100-Year (C ₁₀₀)
<u>Business/Commercial:</u>			
Downtown Areas	85	.82	.85
Neighborhood Areas	70	.65	.80
<u>Residential:</u> (Average Lot Size)			
1/8 Acre or Less (Multi-Unit)	65	.60	.78
1/4 Acre	38	.50	.65
1/2 Acre	30	.45	.60
3/4 Acre	25	.40	.55
1 Acre	20	.35	.50
<u>Industrial:</u>			
	72	.68	.82
<u>Open Space:</u> (Lawns, Parks, Golf Courses)			
	5	.05	.30
<u>Undeveloped Areas:</u>			
Range	0	.20	.50
Forest	0	.05	.30
<u>Streets/Roads:</u>			
Paved	100	.88	.93
Gravel	20	.25	.50
<u>Drives/Walks:</u>			
	95	.87	.90
<u>Roofs:</u>			
	90	.85	.87

Notes:

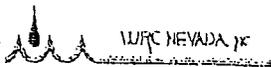
- Composite runoff coefficients shown for Residential, Industrial, and Business/Commercial Areas assume irrigated grass landscaping for all previous areas. For development with landscaping other than irrigated grass, the designer must develop project specific composite runoff coefficients from the surface characteristics presented in this table.

VERSION: June 30, 1998

REFERENCE:

USDCM, DROCOG, 1969
(with modifications)

TABLE
701





April 18, 2003

Richard W. Brookes, P.E.
 Engineering Associate
CITY WORKS
 1675 E. Prater Way, Suite 107
 P.O. Box 857
 Sparks, NV 89432-0857

RE: *Prater Senior Apartments letter form sewer report, City of Sparks, Nevada.*

Dear Mr. Brookes,

Steven E. Harriman A.I.A. & Associates has retained Summit Engineering Corporation to provide design and engineering services for the proposed Prater Senior Apartments. The project is located at the intersection of Prater Way and Pyramid Highway.

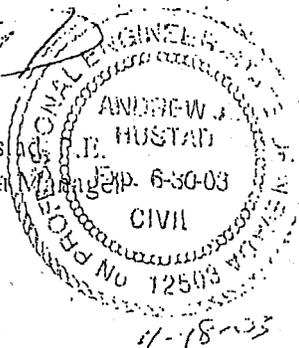
The Water Fixture count, for the proposed project, is 1,045 fixture units. The estimated sewer to be generated is the result of the calculation 1,045 fixture units x 15 gal/fixture unit-day = 15,675 gallons per day of sewage per day average water flow capacity.

If you have any questions concerning this letter, please call me at 702-252-3236.

Respectfully submitted,

SUMMIT ENGINEERING CORPORATION

[Handwritten Signature]
 Andrew J. Hustad
 Las Vegas area Manager



APPENDIX D

DEVELOPMENT APPLICATION & AFFIDAVIT

DEVELOPMENT APPLICATION

ACTION REQUESTED:

- Administrative Review
- Annexation
- Planned Development
- Rezoning
- Special Use Permit
- Tentative Subdivision Map
- Master Plan Amendment
- Site Plan Review



CASE NUMBER	FEE
	\$
	\$
	\$
Noticing fee	\$
TOTAL FEE	\$
Record by	Date
For Planning Department Use	

DATE: 04/22/03

PROJECT NAME: PRATER SENIOR APARTMENTS

PROJECT DESCRIPTION: 2-4 Story Wood Frame Low Income Senior Apartment Buildings

SEE ATTACHED TITLE REPORT AND ALTA SURVEY

LEGAL DESCRIPTION OF PROPERTY: Lot _____ Block _____ Subdivision _____ (If property is not in a recorded subdivision, attach legal description and map)

PROPERTY OWNER/APPLICANT*

Name Prater Partners, a Nevada Partnership

Address 380 Linden Street
Reno, NV 89502

Phone 775-827-0488

Fax 775-827-1172

DEVELOPER/LESSEE*

Name Ann Harrington

Address 2375 South Arlington Street
Reno, NV 89509

Phone 775-827-0488

Fax 775-827-1172

PERSON/FIRM PREPARING PLANS:

Name Stephen E. Harriman A.I.A. & Associates

Address 47 Quail Court, Suite 309
Walnut Creek, CA 94596

Phone 925-934-1160

Fax 925-934-8132

PROJECT ADDRESS:

S.E. Corner of Prater Way and Pyramid Way

PARCEL NO. (APN): 33-181-07

PROPERTY SIZE: 1.04 AC

EXISTING ZONING: NUD

PROPOSED ZONING: -

MASTER PLANNED USE: _____

EXISTING USE: Vacant Bank Building

SURROUNDING USES:

North Commercial

East Residential

South Residential

West Commercial

NOTE: Affidavits on reverse side must be signed and notarized before the application is submitted.

(Mark one box to indicate responsible party and mailing address.)

* If a corporation, please attach a list of corporate officers. If a partnership, please list all general partners.

OWNER AFFIDAVIT

STATE OF NEVADA }
COUNTY OF WASHOE } SS.

I, _____
being duly sworn, depose and say that I am an owner of property/authorized agent involved in
this petition and that I authorize _____
to request development related applications on my property. I also give permission for site visitation by the
Planning Commission, City Council and City Staff.

Name: _____
Title: _____
Signed: _____

Subscribed and sworn to before me this _____ Day of _____, 20____.

Notary Public in and for said County and State

My commission expires: _____

APPLICANT AFFIDAVIT

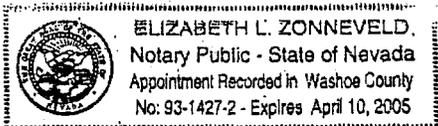
STATE OF NEVADA }
COUNTY OF WASHOE } SS.

I, Robert Nielsen
being duly sworn, depose and say that I am the applicant involved in this petition and that the foregoing statements
and answers herein contained and the information herewith submitted are in all respects complete, true and correct
to the best of my knowledge and belief. I also give permission for site visitation by the Planning Commission, City
Council and City Staff.

Name: Robert Nielsen
Title: Managing Member Prater Partners, LLC
Prater Partners, LP
Signed: _____

Subscribed and sworn to before me this 22nd Day of April, 2003.

Elizabeth L. Zonneveld
Notary Public in and for said County and State
My commission expires: 4/10/05



APPENDIX E

LEGAL DESCRIPTION / ALTA SURVEY

**LEGAL DESCRIPTION
PRATER SENIOR APARTMENTS
APN 33-181-07**

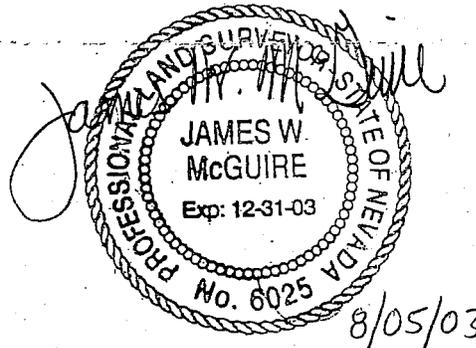
A parcel of land situate in the SW 1/4 of Section 4, Township 19 North, Range 20 East, M.D.M., City of Sparks, Washoe County, Nevada, more particularly described as follows:

BEGINNING at the Southeast corner of Lot 1, Block A as shown on the Official Plat of the Cantlon Tract, Subdivision Tract Map 265, File Number 96573, filed in the Official Records of Washoe County, Nevada on May 1, 1941, said corner being at the intersection of the Northerly right-of-way line of Wright Way with the Westerly right-of-way line of 7th Street; thence along the Northerly right-of-way line of Wright Way North $88^{\circ}40'38''$ West a distance of 287.01 feet to the beginning of a tangent curve to the right; thence 16.55 feet along the arc of said curve, having a radius of 10.00 feet and a central angle of $94^{\circ}50'31''$ to the beginning of a compound curve to the right and the Easterly right-of-way line of Pyramid Way; thence along said line 177.11 feet along the arc of said curve, having a radius of 143.50 feet and a central angle of $70^{\circ}42'59''$ to the Southeasterly right-of-way line of Prater Way; thence along said line North $76^{\circ}52'52''$ East a distance of 195.90 feet to the Westerly right-of-way line of 7th Street; thence along said line South $01^{\circ}18'04''$ West a distance of 186.55 feet to the Point of Beginning.

The above described parcel contains an area of 41,692 square feet, more or less.

Basis of Bearings: Nevada Coordinate System, West Zone (NAD 83/94).

Description prepared by:
James W. McGuire, PLS 6025
Summit Engineering Corp.
5405 Mae Anne Ave.
Reno, NV 89523





WASHOE COUNTY RECORDER

OFFICE OF THE RECORDER
KATHRYN L. BURKE, RECORDER

1001 E. NINTH STREET
POST OFFICE BOX 11130
RENO, NEVADA 89520-0027
PHONE (775) 328-3661
FAX (775) 325-8010

LEGIBILITY NOTICE

The Washoe County Recorder's Office has determined that the attached document may not be suitable for recording by the method used by the Recorder to preserve the Recorder's records. The customer was advised that copies reproduced from the recorded document would not be legible. However, the customer demanded that the document be recorded without delay as the parties rights may be adversely affected because of a delay in recording. Therefore, pursuant to NRS 247.120 (3), the County Recorder accepted the document conditionally, based on the undersigned's representation (1) that a suitable copy will be submitted at a later date (2) it is impossible or impracticable to submit a more suitable copy.

By my signing below, I acknowledge that I have been advised that once the document has been microfilmed it may not reproduce a legible copy.

Helga M. Muhle
Signature

3-21-07
Date

Helga M. Muhle
Printed Name